

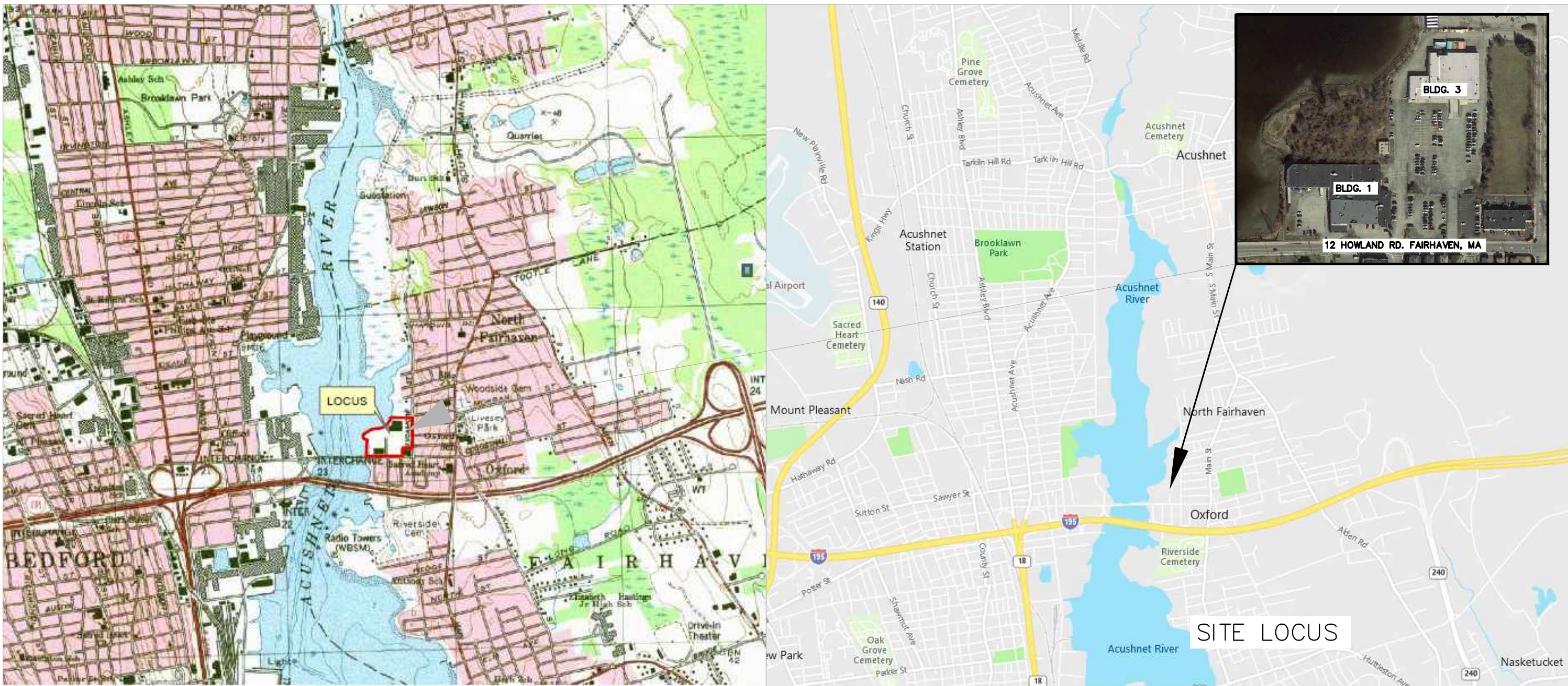
BUILDING 3 EXPANSION PROJECT
NYE LUBRICANTS, INC.
12-16 RIO WAY
FAIRHAVEN, MA

PROJECT OWNER:
NYE LUBRICANTS, INC.
12 HOWLAND ROAD
FAIRHAVEN, MA 02719

DESIGN TEAM:
APEX COMPANIES, LLC
58H CONNECTICUT AVE.
SOUTH WINDSOR, CT 06074

HARRIMAN
19 KINGSTON STREET, SUITE 4
BOSTON, MA 02110

LEC ENVIRONMENTAL CONSULTANTS, INC.
12 RESNIK ROAD, SUITE 1
PLYMOUTH, MA 02360



LIST OF DRAWINGS:

- T-1 TITLE SHEET
E-1 EXISTING CONDITIONS
E-2 EXISTING WATERSHED PLAN
P-1 PROPOSED CONDITIONS
P-2 PROPOSED PARKING LAYOUT
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P-4 PROPOSED CHAPTER 91 PUBLIC ACCESS
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D-1 DETAIL SHEET
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D-3 DETAIL SHEET
D-4 DETAIL SHEET
L40-1 LANDSCAPING PLAN
L40-2 LANDSCAPING PLAN
L40-3 LANDSCAPING PLAN
L40-4 LANDSCAPING PLAN

LEGEND	
EXISTING	DESCRIPTION
---	PROPERTY LINE
---	CONTOUR LINE
---	EDGE OF PAVEMENT
---	BITUMINOUS CONCRETE CURB
---	VERTICAL GRANITE CURB
---	VERTICAL CONCRETE CURB
---	CAPE COD BERM
---	OVERHEAD WIRES
---	CHAINLINK FENCE
---	WOOD GUARD RAIL
---	HYDRAULIC
---	WATER GATE
---	GAS GATE
---	SIGN
---	BOLLARD
---	LIGHT
---	UTILITY POLE
---	GUY WIRE
---	CATCH BASIN
---	DRAIN MANHOLE
---	SEWER MANHOLE
---	GAS METER
---	ELECTRIC HAND HOLE
---	CLEAN OUT
---	MONITORING WELL
---	EVERGREEN TREE
---	DECIDUOUS TREE
---	BUSH
---	SALT MARSH
---	COASTAL BUSH
---	CONCRETE BANK
---	100 FT BUFFER
---	200 FT BUFFER
---	FLOOD ZONE
---	CHAPTER 91 JURISDICTION
---	ZONING SETBACKS
---	PROPOSED CHAINLINK FENCE
---	PROPOSED BUILDING EXPANSION AREA
---	PROPOSED LANDSCAPED STORMWATER AREA
---	PROPOSED NEW ASPHALT AREA
---	PROPOSED ENHANCED LANDSCAPED AREA
---	SOIL BORING LOCATION
---	PROPOSED REINFORCED PERMEABLE AREA

GENERAL NOTES:

- EXISTING CONDITIONS ARE INTENDED TO PROVIDE GENERAL OVERVIEW OF PROJECT SITE CONDITIONS.
- NOTES BELOW ARE NOT INTENDED TO REPLACE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES.
- THE CONTRACTOR IS ADVISED THAT THE DRAWINGS AND SPECIFICATIONS FORM A PART OF THE CONTRACT DOCUMENTS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL KEEP A COPY OF THE DRAWINGS AND SPECIFICATIONS ON SITE AT ALL TIMES DURING THE PROJECT.
- CONTRACTOR SHALL MAINTAIN ADEQUATE SURVEY CONTROL AT ALL TIMES TO ESTABLISH AND MAINTAIN ALL LINES AND ELEVATIONS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND AND SUBMERGED UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO COMMENCING ANY EXCAVATION OR GROUND PENETRATING WORK. THE CONTRACTOR SHALL NOTIFY "DIG SAFE" (1-888-344-7223) AT LEAST 3 BUSINESS DAYS PRIOR TO THE COMMENCEMENT OF THE EXCAVATION OR GROUND PENETRATING ACTIVITY.
- EXISTING UTILITIES WITHIN OR SURROUNDING THE PORTIONS OF THE SITE HAVE NOT BEEN IDENTIFIED. IDENTIFICATION AND PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOTIFY DIGSAFE 72 HOURS PRIOR TO START OF ANY ON SITE WORK.
- ALL DIMENSIONS AND DETAILS OF THE EXISTING CONDITIONS AND THE PROPOSED CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND MAINTAIN ENVIRONMENTAL CONTROLS AS REQUIRED BY STATE, LOCAL, AND FEDERAL REGULATIONS AND LAW, AS WELL AS REQUIRED WITHIN EXISTING PERMITS AND APPROVALS.
- ALL APPLICABLE FEDERAL AND STATE REGULATIONS AND PERMITS SHALL BE FOLLOWED, INCLUDING, BUT NOT LIMITED TO, THE CLEAN WATER ACT, THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY, HEALTH ACT, AS WELL AS THE ORDER OF CONDITIONS AND SPECIAL PERMITS ISSUED BY THE TOWN OF FAIRHAVEN.

SURVEY NOTES:

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP., IN JANUARY 2021.
- TOPOGRAPHIC SURVEY DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) IN FEET.
- TO OBTAIN VALUES IN NGVD29 SUBTRACT 1.49 FEET FROM THE INDICATED VALUE AT ANY POINT.
- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THE PROPERTY DEPICTED ON THIS PLAN FALLS IN ZONE AE AND ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP, JULY 16, 2014, COMMUNITY PANEL 25005 C 0391G.

NOTES:

- WASH STATION TO BE UTILIZED AS NECESSARY TO CLEAN WHEELS OF TRUCK PRIOR TO LEAVING SITE.
- ALL CATCH BASINS ADJACENT TO THE WORK SITES SHALL BE PROTECTED AS DEPICTED ON THE EROSION AND SEDIMENTATION CONTROL PLAN.
- PRIOR TO THE START OF CONSTRUCTION, FILTER FABRIC BARRIERS AND STRAW WATTLE SHALL BE INSTALLED AS SHOWN ON THESE PLANS AND REQUIRED BY REGULATORY AUTHORITIES.
- ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED OR REPLACED DURING CONSTRUCTION AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE PROPER AGENCY.
- ANTI-TRACKING APRON SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE TO BE ADDED TO OR REPLACED AS REQUIRED, AND CONTRACTOR WILL BE RESPONSIBLE FOR SWEEPING EXISTING ROADS AS REQUIRED.
- OFF SITE FILL TO BE LEFT BARE FOR MORE THAN 14 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIPS, MULCH, OR SEEDED WITH PERENNIAL FESCUE-GRASS UNTIL FINAL GRADING AND STABILIZATION IS TO TAKE PLACE.
- AREAS TO BE LEFT BARE FOR MORE THAN 7 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIPS, MULCH OR SEEDED WITH PERENNIAL FESCUE-GRASS UNTIL FINAL GRADING AND STABILIZATION IS TO TAKE PLACE.
- ALL DISTURBED SLOPE AREAS IN EXCESS OF 3:1 SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING RECOMMENDED APPLICATION RATES:

MULCH:	RATE:
CERTIFIED WEED-FREE STRAW	90# / 1000 S.F.
TEMPORARY SEEDING:	RATE:
PERENNIAL FESCUE-GRASS	1.0# / 1000 S.F.
- CONTRACTOR SHALL PERIODICALLY CLEAN CATCH BASIN SUMPS AS REQUIRED DURING CONSTRUCTION.
- CONTRACTOR SHALL PREVENT SEDIMENT FROM ENTERING THE WATERWAY VIA DISCHARGES THROUGH ANY DRAINAGE STRUCTURES OR RUNOFF FROM WITHIN THE LIMITS OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING, RESTORING AND REPAIRING ALL DAMAGE AS A RESULT OF UNAUTHORIZED WORTH OR DISCHARGES AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL BARRIERS SHALL BE MODIFIED OR EXPANDED AS FIELD CONDITIONS WARRANT.
- ALL EROSION CONTROL BARRIERS SHALL BE INSPECTED AT LEAST ONCE PER WEEK. ANY DAMAGED AREAS OF THE EROSION CONTROL BARRIER SHALL BE REPAIRED WITHIN 24 HOURS OF DISCOVERY.
- DEWATERING BASINS SHALL CONSIST OF HAY BALE ENCLOSURES, TANKS, PERMEABLE BLADDERS, OR OTHER APPROPRIATE METHOD. DEWATERING WASTE WATERS SHALL BE PUMPED TO THE DEWATERING BASINS AND TREATED PRIOR TO DISCHARGE.
- DISCHARGE OF TURBID WATER TO THE WATERWAY SHALL BE PROHIBITED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL PROJECT DEMOLITION AND EXCESS MATERIAL IN ACCORDANCE WITH MASSACHUSETTS, LOCAL, AND FEDERAL LAWS.

- THE CONTRACTOR SHALL PROTECT ALL ADJACENT STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ALL DAMAGE TO ADJACENT STRUCTURES AND UTILITIES AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL ENSURE THAT ADEQUATE SHORING AND FALSEWORK ARE PROVIDED TO THE EXISTING STRUCTURE(S) RESULTING IN A STABLE AND SAFE STRUCTURE AT ALL TIMES.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, AND SAFETY OF WORK.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VISIT THE SITE AND SHALL NOTIFY THE ENGINEER OF ANY ADDITIONAL UTILITIES, STRUCTURES, OR ANY OTHER ELEMENTS WHICH MAY IMPEDE WORK. UTILITY AND/OR STRUCTURE RELOCATIONS, IF NECESSARY, SHALL BE COORDINATED THROUGH THE OWNER'S ENGINEER.
- ALL CONSTRUCTION ACTIVITIES SHALL BE CONFINED TO THE LIMITS OF WORK AND TEMPORARY EASEMENTS DEFINED HEREIN.
- THE CONTRACTOR WILL BE REQUIRED TO SUBMIT A CONSTRUCTION SCHEDULE TO THE OWNER WITH 5 DAYS OF THE NOTICE OF AWARD. THE CONTRACTOR SHALL UPDATE SCHEDULE AS NEEDED THROUGHOUT THE COURSE OF WORK.
- THE CONTRACTOR SHALL STAGE ALL EQUIPMENT IN THE DESIGNATED STAGING AREA. ALL GREASING AND FUELING ACTIVITIES SHALL OCCUR IN THE STAGING AREA. ALL NECESSARY MEASURES SHALL BE TAKE TO PREVENT BY ANY METHOD, OIL, CONSTRUCTION DEBRIS, STOCKPILED MATERIALS, AND OTHER MATERIALS ON THE SITE, FROM ENTERING THE WATERWAY. STAGING/LAYDOWN AREAS, AS APPROVED BY THE ENGINEER, SHALL BE RESTORED BY THE CONTRACTOR TO THE EXISTING CONDITION. IN ADDITION, THE CONTRACTOR SHALL REPLACE ALL DAMAGED MATERIALS AS A RESULT OF HIS OPERATIONS, TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ALL CONSTRUCTION DEBRIS OR WASTE FROM FALLING INTO THE WATER. ANY DEBRIS FALLING INTO THE WATER SHALL BE REMOVED AND PROPERLY DISPOSED OF.
- THE CONTRACTOR SHALL MAINTAIN A SECURE SITE AND PROVIDE APPROPRIATE SAFETY MEASURES TO PREVENT ACCIDENTS. THE SAFETY MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FENCES, FLASHING WARNING LIGHTS, AND POLICING IF NECESSARY.
- IN CASE OF CONTRADICTION BETWEEN THE DRAWINGS, THE SPECIFICATIONS, AND THE CODES, OR IF ANY CHANGE IS REQUIRED, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY. NO CHANGE SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
- UPON COMPLETION OF THE PROJECT, CONTRACTOR IS TO PROVIDE TWO AS-BUILT PLAN SETS TO THE OWNER DEPICTING ANY FIELD CHANGES OF DIMENSION OR DETAIL, LOCATION OF UNDERGROUND STRUCTURES AND/OR UTILITIES, CONSTRUCTION DEVIATIONS, CHANGES TO DUE TO FIELD OR CHANGE ORDER, AND DETAILS NOT ON THE ORIGINAL DRAWINGS.



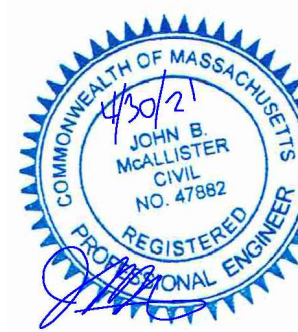
ROCKVILLE, MD
WATERTOWN, MA
NEW BEDFORD, MA
SOUTH WINDSOR, CT

124 WATERTOWN ST, SUITE 3F
WATERTOWN, MA

1213 PURCHASE STREET SUITE 301
NEW BEDFORD, MA

58H CONNECTICUT AVENUE
SOUTH WINDSOR, CT

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PROJECT
NYE LUBRICANTS
BUILDING 3 EXPANSION
PROJECT

OWNER
NYE LUBRICANTS, INC.
12 HOWLAND RD.
FAIRHAVEN, MA

NO. DATE DESCRIPTION BY

PROJECT NO. 6893-003

CADD FILE

DESIGNED BY JBM

DRAWN BY ANC

CHECKED BY JBM

DATE 4/30/21

DRAWING SCALE AS NOTED

GRAPHIC SCALE

SHEET TITLE

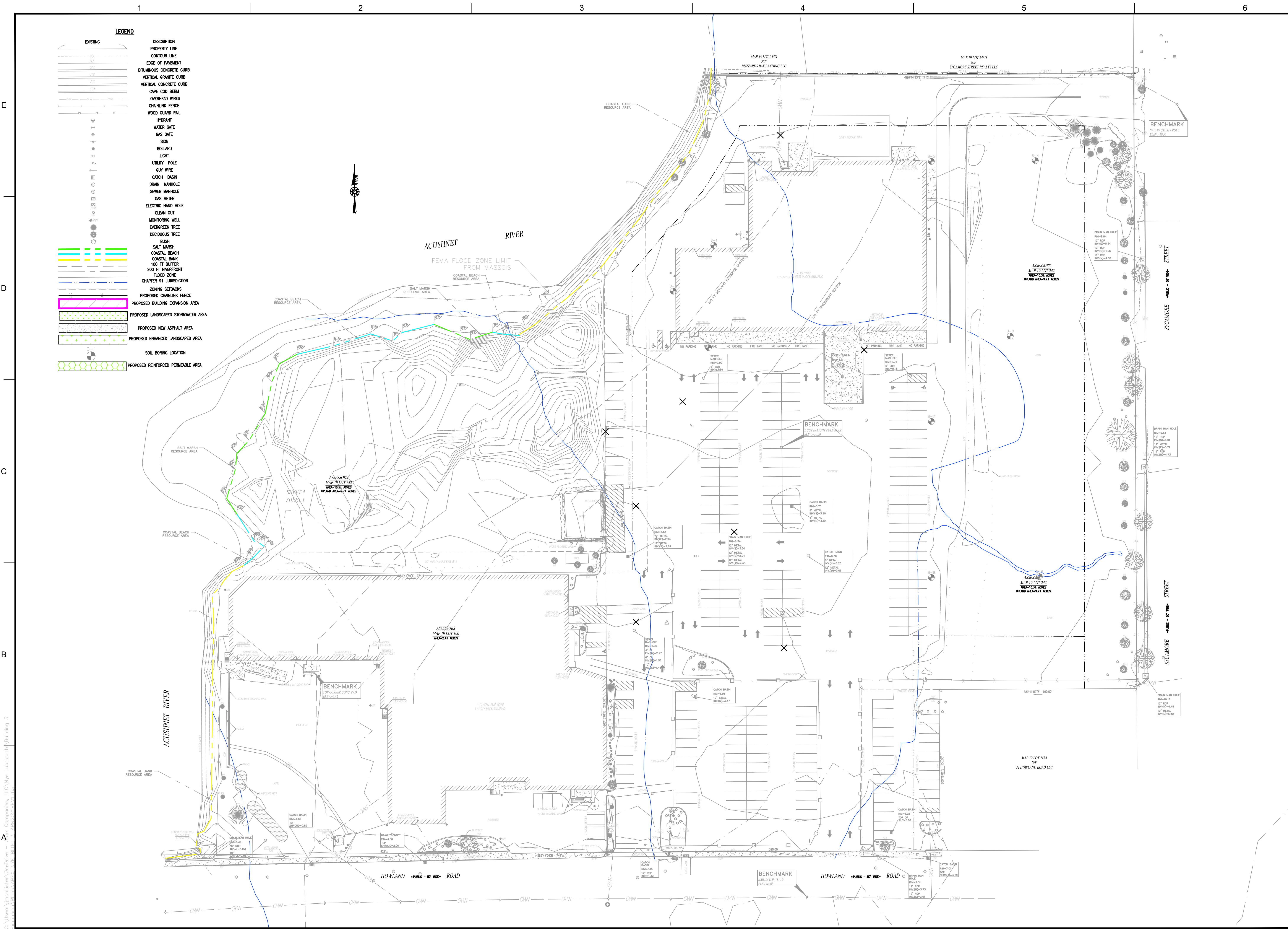
TITLE
SHEET

DRAWING NO.

T-1

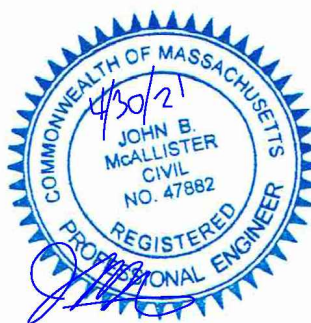
1 OF 13

PLOT SCALE 1/16"=1'-0"



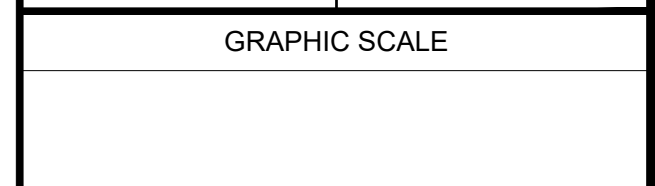
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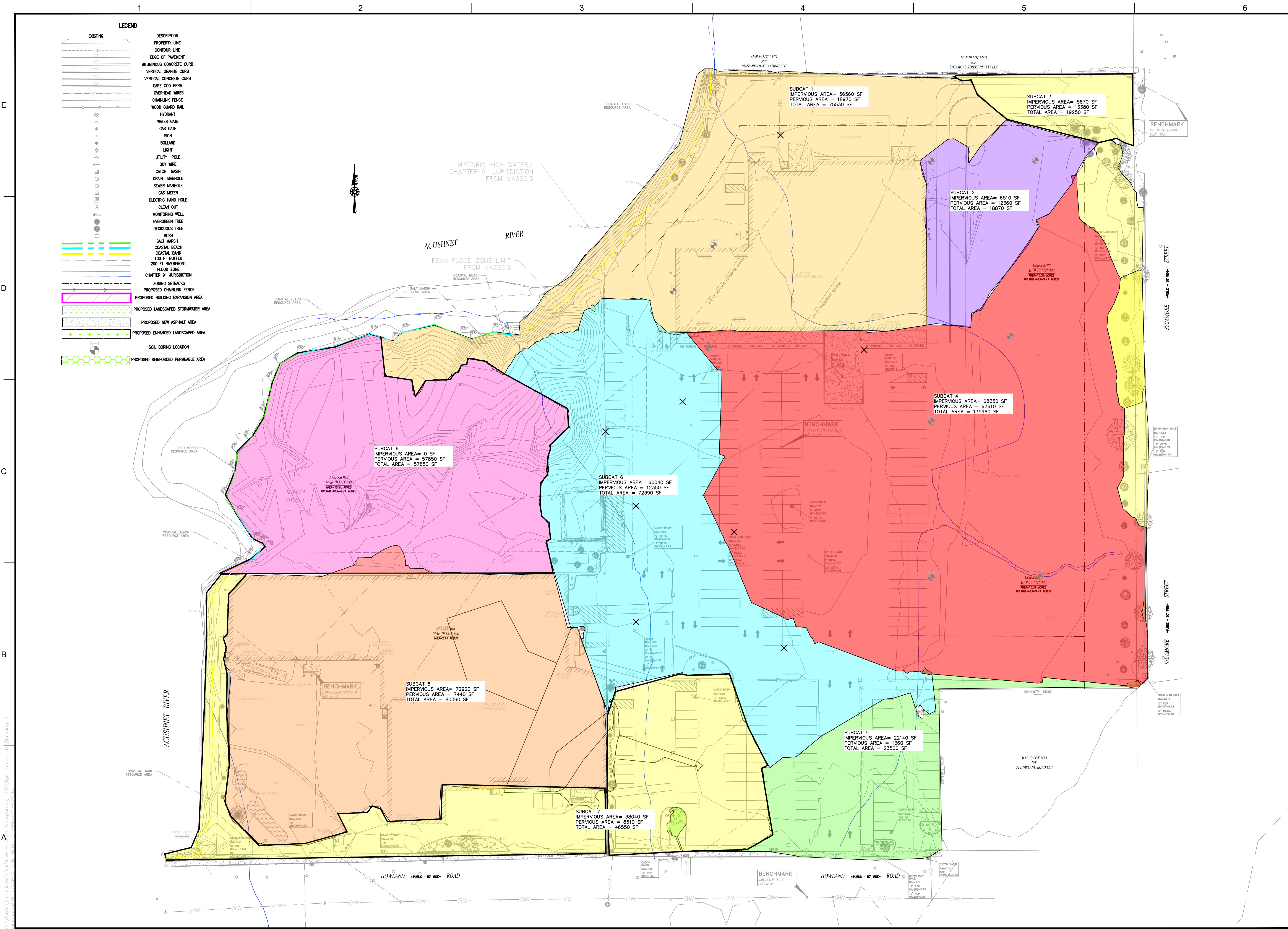
PROJECT
**NYE LUBRICANTS
BUILDING 3 EXPANSION
PROJECT**
OWNER
**NYE LUBRICANTS, INC.
12 HOWLAND RD.
FAIRHAVEN, MA**

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	6893-003		
CADD FILE			
DESIGNED BY	JBM		
DRAWN BY	ANC		
CHECKED BY	JBM		
DATE	4/30/21		
DRAWING SCALE	1" = 60'		



SHEET TITLE
**EXISTING
CONDITIONS**

DRAWING NO.
E-1



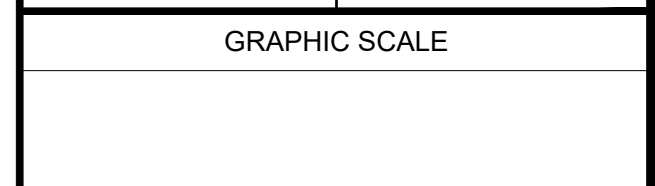
ROCKVILLE, MD
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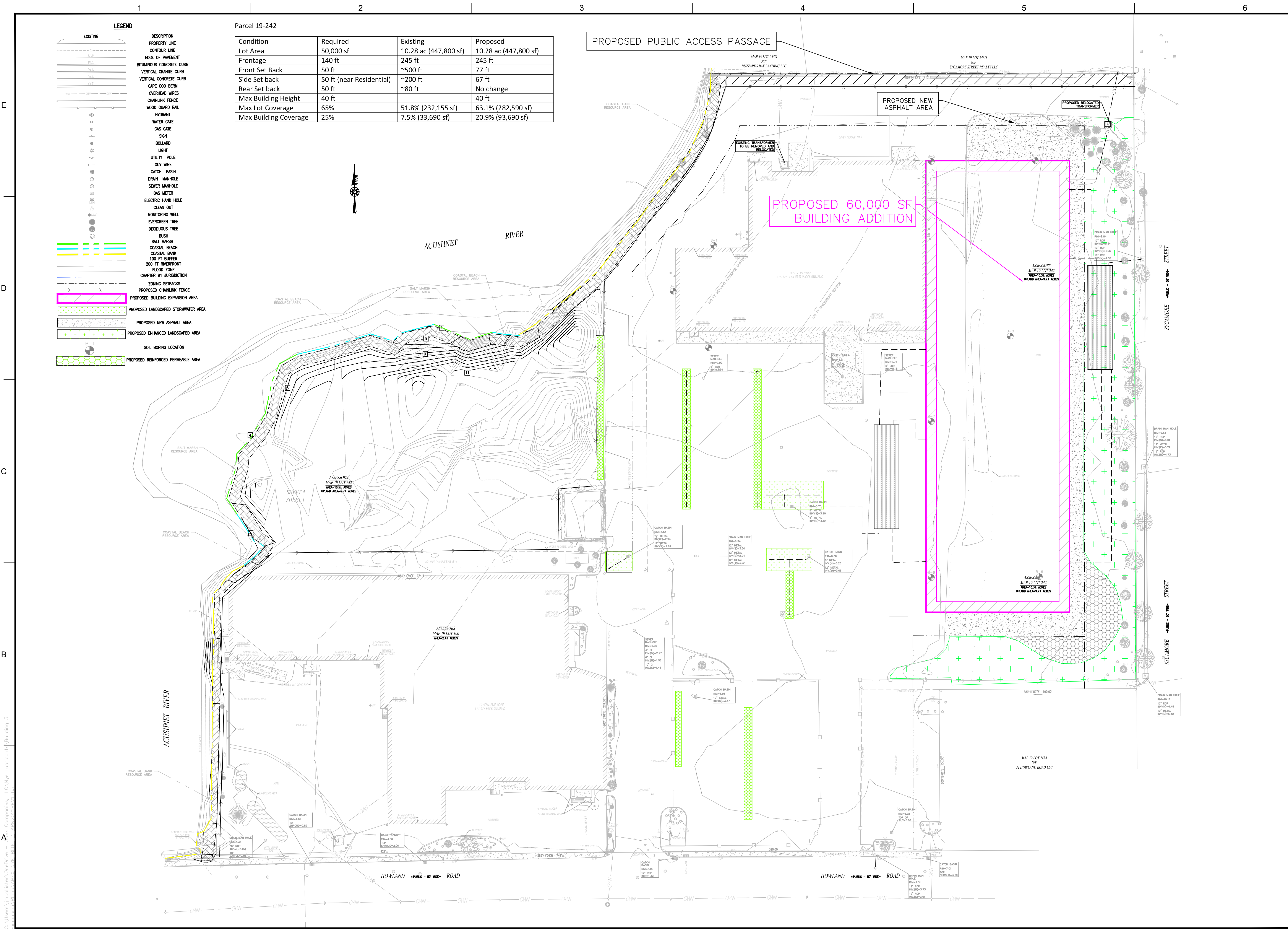
PROJECT	OWNER
NYE LUBRICANTS BUILDING 3 EXPANSION PROJECT	
NYE LUBRICANTS, INC. 12 HOWLAND RD. FAIRHAVEN, MA	

NO.	DATE	DESCRIPTION	BY
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DRAWN BY	ANC		
CHECKED BY	JBM		
DATE	4/30/21		
DRAWING SCALE	1" = 60'		



SHEET TITLE
**EXISTING
WATERSHED
PLAN**

DRAWING NO.
E-2



Parcel 19-242

Condition	Required	Existing	Proposed
Lot Area	50,000 sf	10.28 ac (447,800 sf)	10.28 ac (447,800 sf)
Frontage	140 ft	245 ft	245 ft
Front Set Back	50 ft	~500 ft	77 ft
Side Set back	50 ft (near Residential)	~200 ft	67 ft
Rear Set back	50 ft	~80 ft	No change
Max Building Height	40 ft	40 ft	40 ft
Max Lot Coverage	65%	51.8% (232,155 sf)	63.1% (282,590 sf)
Max Building Coverage	25%	7.5% (33,690 sf)	20.9% (93,690 sf)

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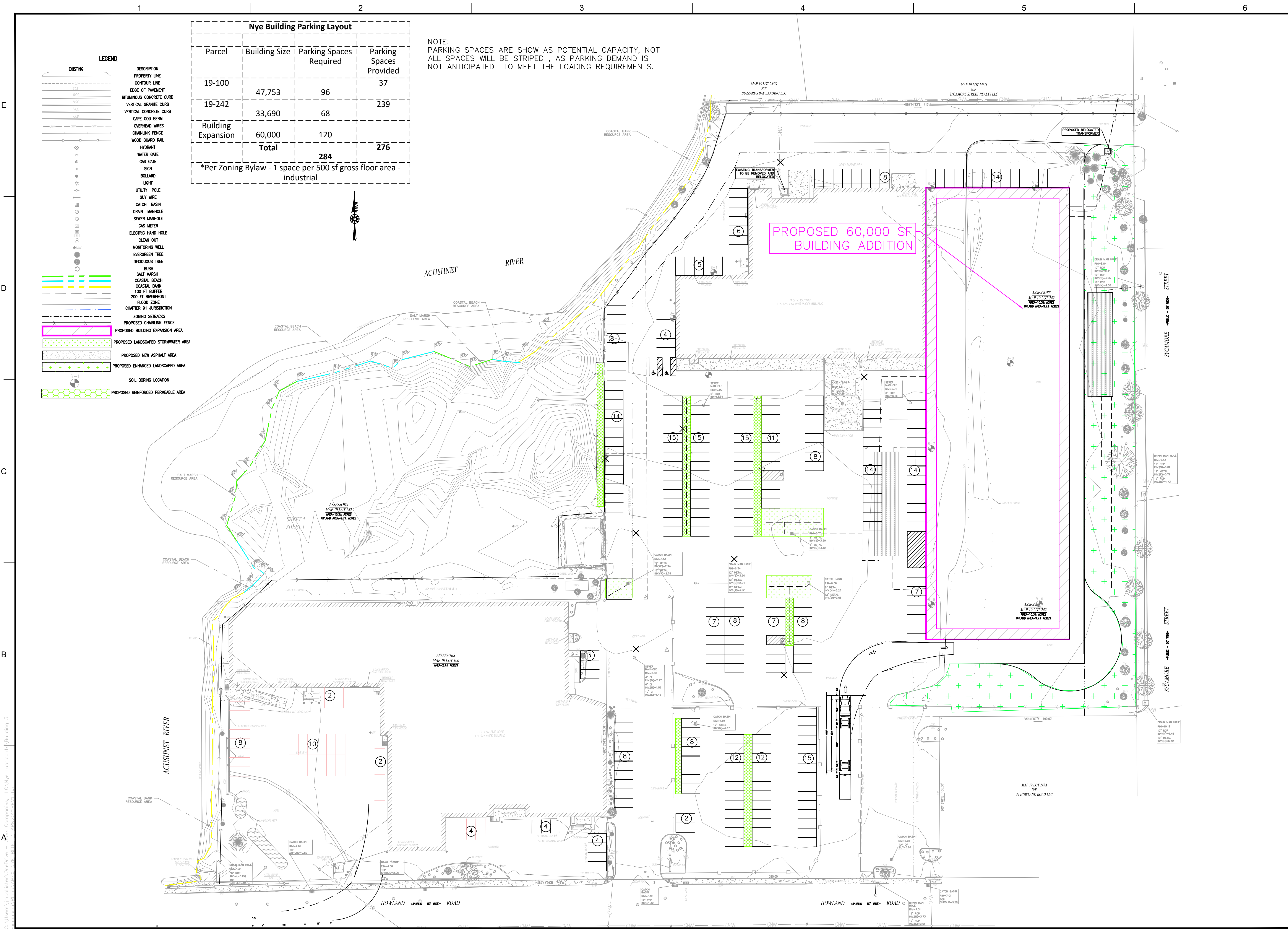
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12 HOWLAND RD.
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DRAWN BY		ANC	
CHECKED BY		JBM	
DATE		4/30/21	
DRAWING SCALE		1" = 60'	
GRAPHIC SCALE			
SHEET TITLE			
PROPOSED CONDITIONS			
DRAWING NO.			
P-1			
4 OF 13			

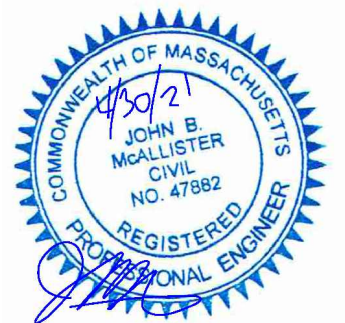
PLOT SCALE 1/16"=1'-0"

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NEW BEDFORD, MA
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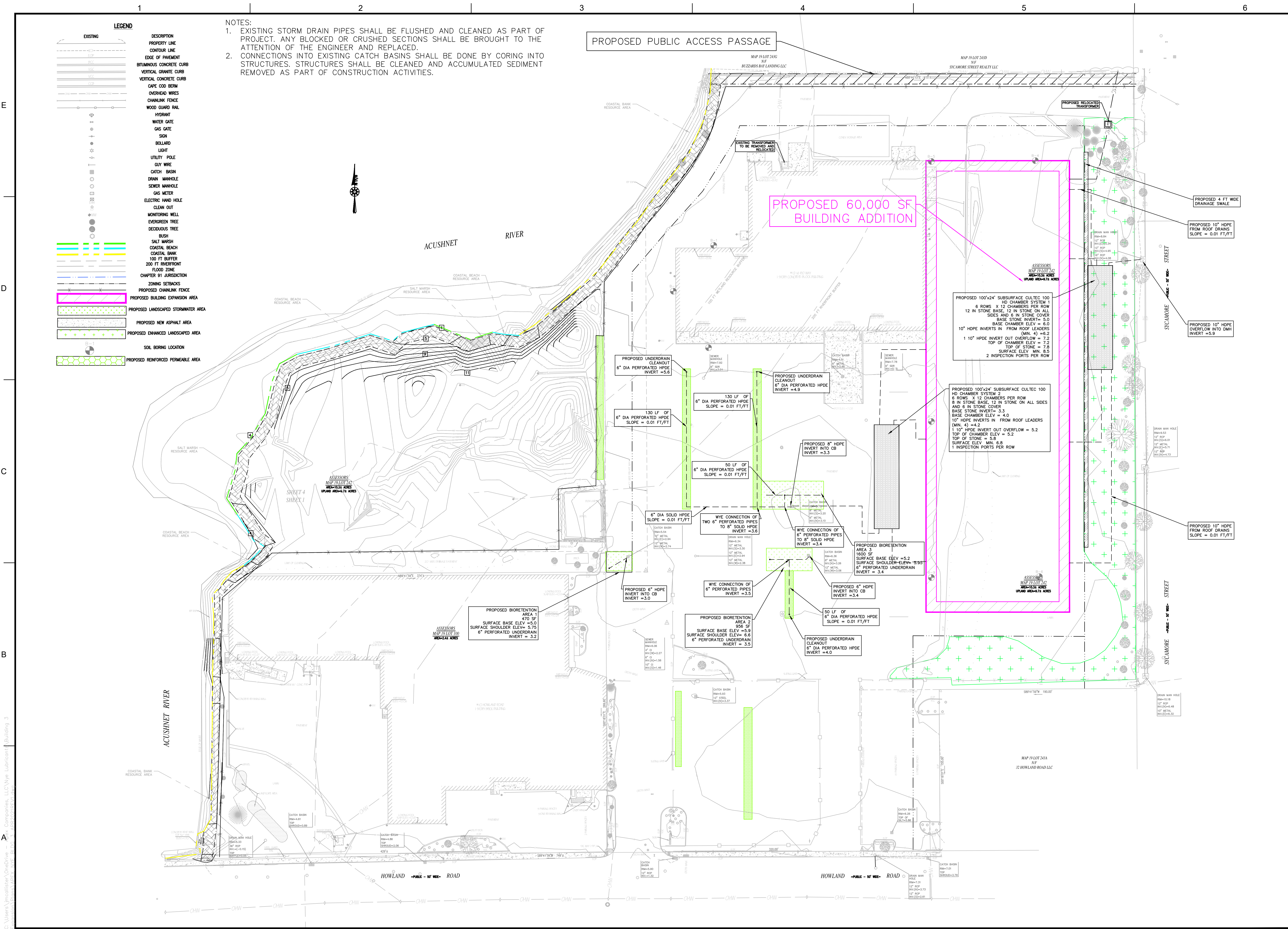
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DATE	4/30/21		
DRAWING SCALE	1" = 60'		
GRAPHIC SCALE			

SHEET TITLE
**PROPOSED
PARKING
CONDITIONS**

DRAWING NO.
P-2

5 OF 13



LEGEND

EXISTING	DESCRIPTION
[Symbol]	PROPERTY LINE
[Symbol]	CONTOUR LINE
[Symbol]	EDGE OF PAVEMENT
[Symbol]	BITUMINOUS CONCRETE CURB
[Symbol]	VERTICAL GRANITE CURB
[Symbol]	VERTICAL CONCRETE CURB
[Symbol]	CAPE COD BERM
[Symbol]	OVERHEAD WIRE
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[Symbol]	GAS GATE
[Symbol]	SIGN
[Symbol]	BOLLARD
[Symbol]	LIGHT
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[Symbol]	CATCH BASIN
[Symbol]	DRAIN MANHOLE
[Symbol]	SEWER MANHOLE
[Symbol]	GAS METER
[Symbol]	ELECTRIC HAND HOLE
[Symbol]	CLEAN OUT
[Symbol]	MONITORING WELL
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[Symbol]	DECIDUOUS TREE
[Symbol]	BUSH
[Symbol]	SALT MARSH
[Symbol]	COASTAL BEACH
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[Symbol]	100 FT BUFFER
[Symbol]	200 FT RIVERSHORE
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[Symbol]	PROPOSED CHAINLINK FENCE
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[Symbol]	PROPOSED LANDSCAPED STORMWATER AREA
[Symbol]	PROPOSED NEW ASPHALT AREA
[Symbol]	PROPOSED ENHANCED LANDSCAPED AREA
[Symbol]	SOIL BORING LOCATION
[Symbol]	PROPOSED REINFORCED PERMEABLE AREA

- NOTES:**
- EXISTING STORM DRAIN PIPES SHALL BE FLUSHED AND CLEANED AS PART OF PROJECT. ANY BLOCKED OR CRUSHED SECTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND REPLACED.
 - CONNECTIONS INTO EXISTING CATCH BASINS SHALL BE DONE BY CORING INTO STRUCTURES. STRUCTURES SHALL BE CLEANED AND ACCUMULATED SEDIMENT REMOVED AS PART OF CONSTRUCTION ACTIVITIES.

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PROJECT

**NYE LUBRICANTS
BUILDING 3 EXPANSION
PROJECT**

OWNER

**NYE LUBRICANTS, INC.
12 HOWLAND RD.
FAIRHAVEN, MA**

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	6893-003		
CADD FILE			
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DRAWN BY	ANC		
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DATE	4/30/21		
DRAWING SCALE	1" = 60'		

GRAPHIC SCALE

SHEET TITLE

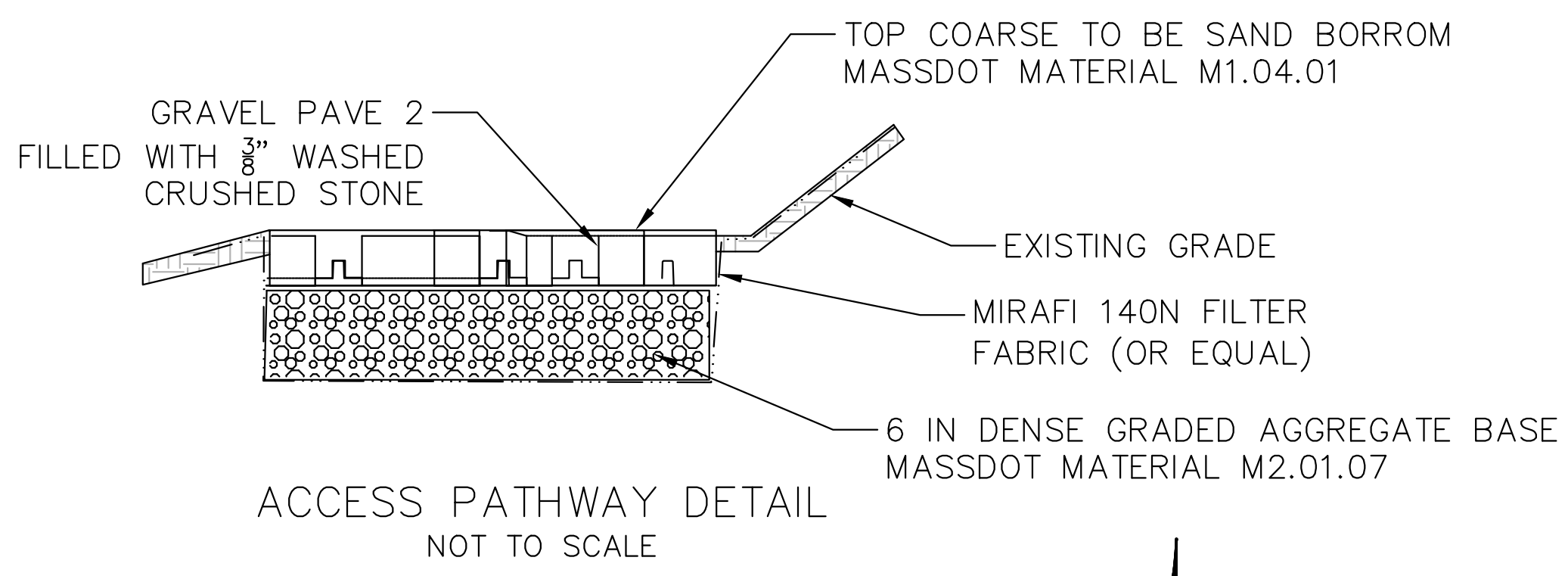
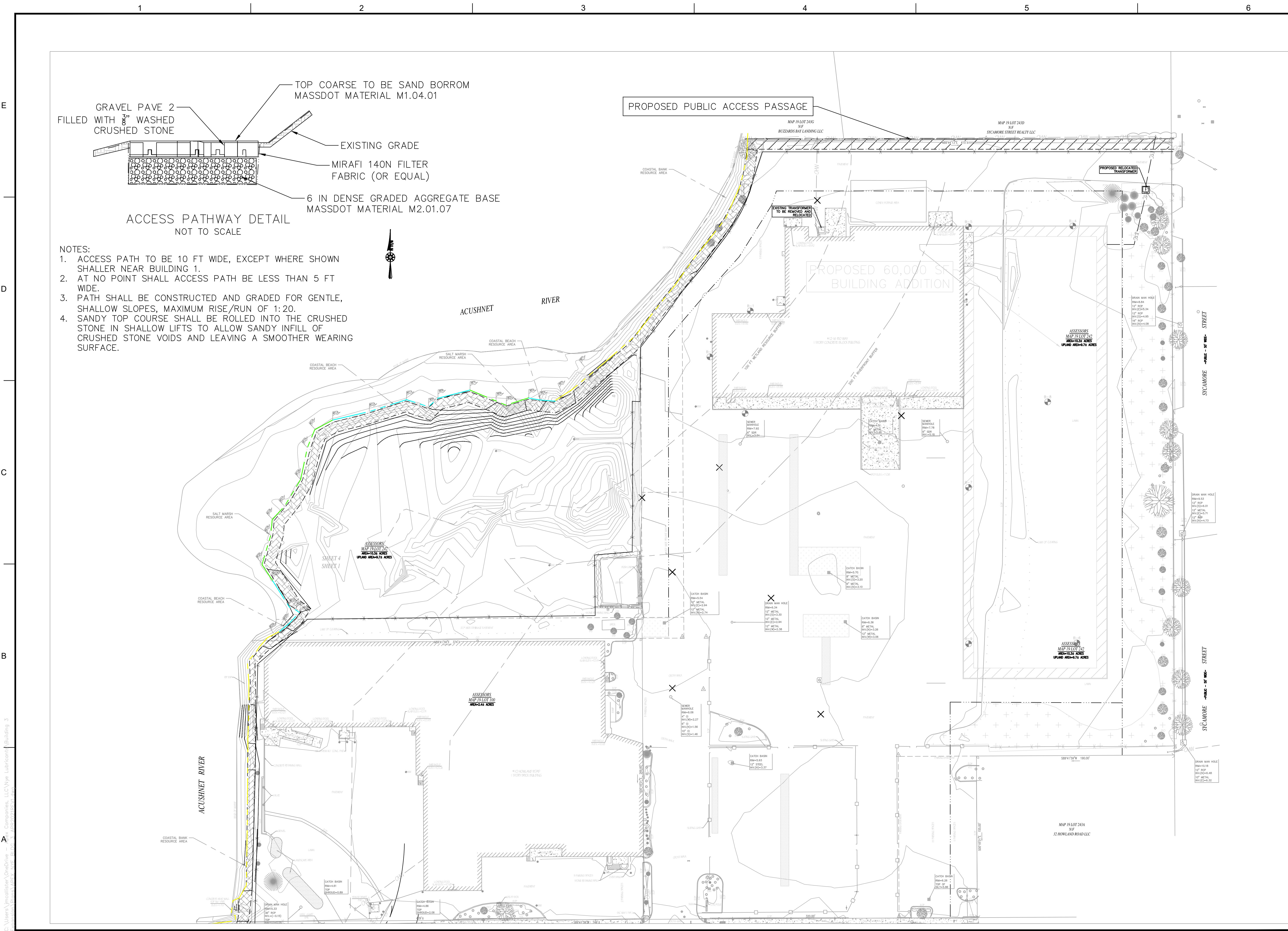
**PROPOSED
GRADING &
DRAINAGE
PLAN**

DRAWING NO.

P-3

6 OF 13

PLOT SCALE 1/16"=1'-0"

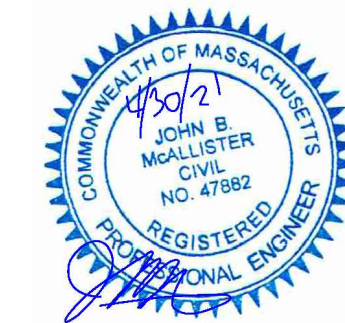


- NOTES:
1. ACCESS PATH TO BE 10 FT WIDE, EXCEPT WHERE SHOWN
SHALLER NEAR BUILDING 1.
 2. AT NO POINT SHALL ACCESS PATH BE LESS THAN 5 FT
WIDE.
 3. PATH SHALL BE CONSTRUCTED AND GRADED FOR GENTLE,
SHALLOW SLOPES, MAXIMUM RISE/RUN OF 1:20.
 4. SANDY TOP COURSE SHALL BE ROLLED INTO THE CRUSHED
STONE IN SHALLOW LIFTS TO ALLOW SANDY INFILL OF
CRUSHED STONE VOIDS AND LEAVING A SMOOTHER WEARING
SURFACE.



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PROJECT	NYE LUBRICANTS BUILDING 3 EXPANSION PROJECT	
	OWNER NYE LUBRICANTS, INC. 12 HOWLAND RD. FAIRHAVEN, MA	

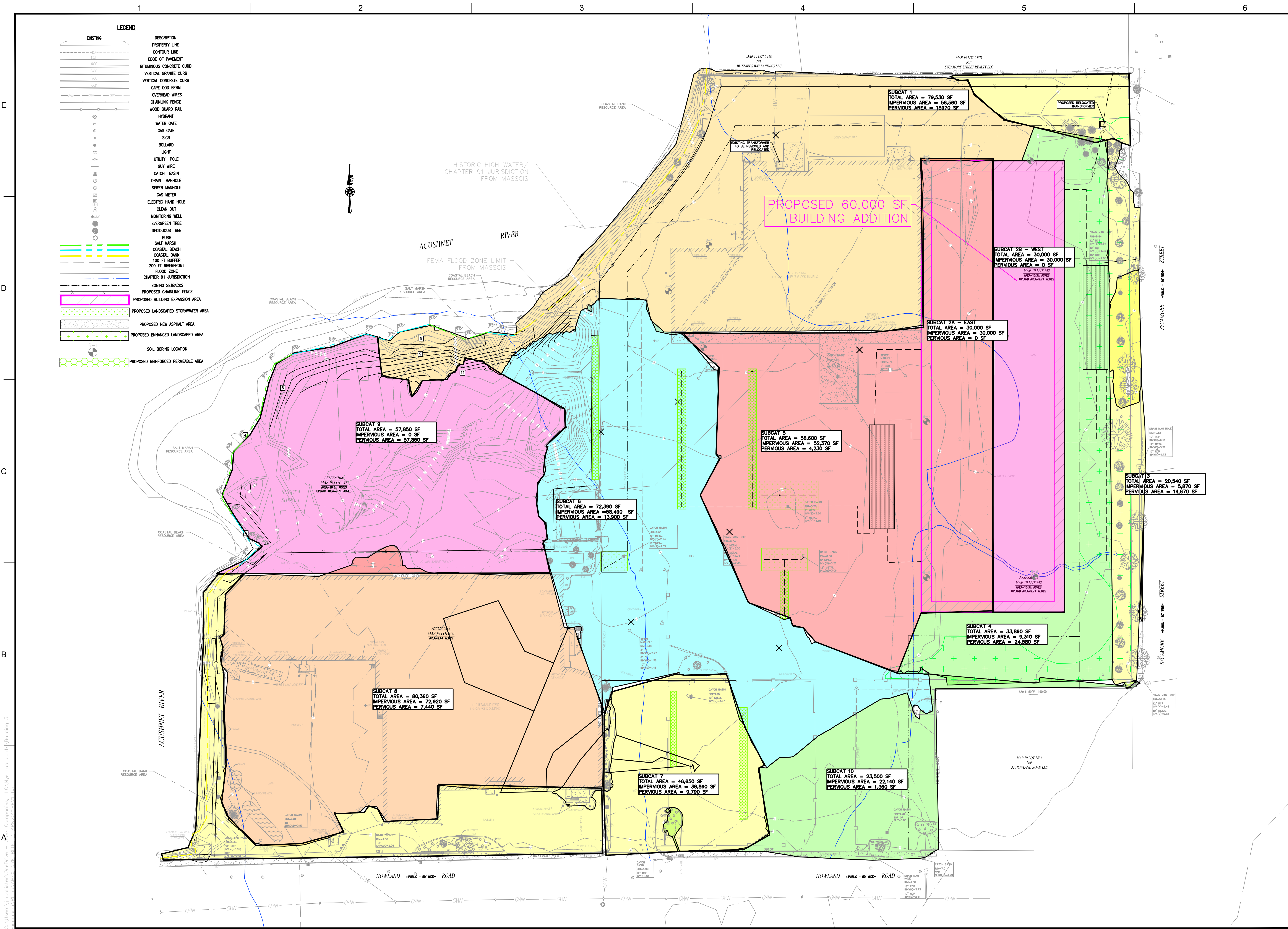
NO.	DATE	DESCRIPTION	BY
PROJECT NO.		6893-003	
CADD FILE			
DESIGNED BY		JBM	
DRAWN BY		ANC	
CHECKED BY		JBM	
DATE		4/30/21	
DRAWING SCALE		1" = 60'	

GRAPHIC SCALE

SHEET TITLE
PROPOSED CHAPTER 91 PUBLIC ACCESS

DRAWING NO.
P-4
7 OF 13

PLOT SCALE 1/16"=1'-0"



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PROJECT

**NYE LUBRICANTS
BUILDING 3 EXPANSION
PROJECT**

OWNER

NYE LUBRICANTS, INC.
12 HOWLAND RD.
FAIRHAVEN, MA

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	6893-003		
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DESIGNED BY	JBM		
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DATE	4/30/21		
DRAWING SCALE	1" = 60'		
GRAPHIC SCALE			

SHEET TITLE

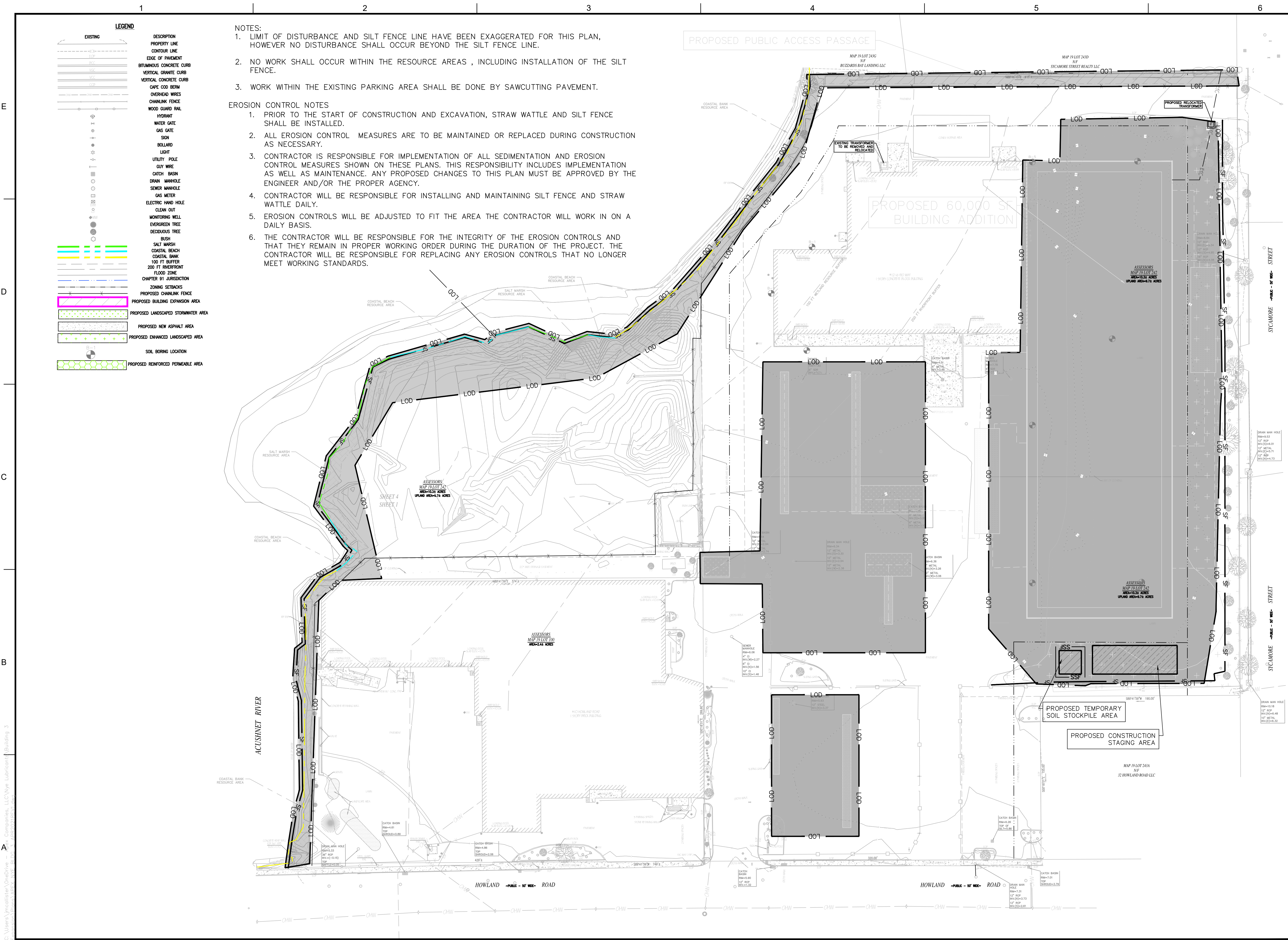
**PROPOSED
WATERSHED
PLAN**

DRAWING NO.

P-5

8 OF 13

PLOT SCALE 1/16"=1'-0"



LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINE
---	CONTOUR LINE
---	EDGE OF PAVEMENT
---	BUTYRUMOUS CONCRETE CURB
---	VERTICAL GRANITE CURB
---	VERTICAL CONCRETE CURB
---	CAPE COD BERM
---	OVERHEAD WIRES
---	CHAINLINK FENCE
---	WOOD GUARD RAIL
---	HYDRANT
---	WATER GATE
---	GAS GATE
---	SIGN
---	BOLLARD
---	LIGHT
---	UTILITY POLE
---	GUY WIRE
---	CATCH BASIN
---	DRAIN MANHOLE
---	SEWER MANHOLE
---	GAS METER
---	ELECTRIC HAND HOLE
---	CLEAN OUT
---	MONITORING WELL
---	EVERGREEN TREE
---	DECIDUOUS TREE
---	BUSH
---	SALT MARSH
---	COASTAL BANK
---	100 FT BUFFER
---	200 FT RIVERSHORE
---	FLOOD ZONE
---	CHAPTER 91 JURISDICTION
---	ZONING SETBACKS
---	PROPOSED CHAINLINK FENCE
---	PROPOSED BUILDING EXPANSION AREA
---	PROPOSED LANDSCAPED STORMWATER AREA
---	PROPOSED NEW ASPHALT AREA
---	PROPOSED ENHANCED LANDSCAPED AREA
---	SOIL BORING LOCATION
---	PROPOSED REINFORCED PERMEABLE AREA

- NOTES:**
1. LIMIT OF DISTURBANCE AND SILT FENCE LINE HAVE BEEN EXAGGERATED FOR THIS PLAN, HOWEVER NO DISTURBANCE SHALL OCCUR BEYOND THE SILT FENCE LINE.
 2. NO WORK SHALL OCCUR WITHIN THE RESOURCE AREAS , INCLUDING INSTALLATION OF THE SILT FENCE.
 3. WORK WITHIN THE EXISTING PARKING AREA SHALL BE DONE BY SAWCUTTING PAVEMENT.
- EROSION CONTROL NOTES**
1. PRIOR TO THE START OF CONSTRUCTION AND EXCAVATION, STRAW WATTLE AND SILT FENCE SHALL BE INSTALLED.
 2. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED OR REPLACED DURING CONSTRUCTION AS NECESSARY.
 3. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE PROPER AGENCY.
 4. CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING SILT FENCE AND STRAW WATTLE DAILY.
 5. EROSION CONTROLS WILL BE ADJUSTED TO FIT THE AREA THE CONTRACTOR WILL WORK IN ON A DAILY BASIS.
 6. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE INTEGRITY OF THE EROSION CONTROLS AND THAT THEY REMAIN IN PROPER WORKING ORDER DURING THE DURATION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY EROSION CONTROLS THAT NO LONGER MEET WORKING STANDARDS.

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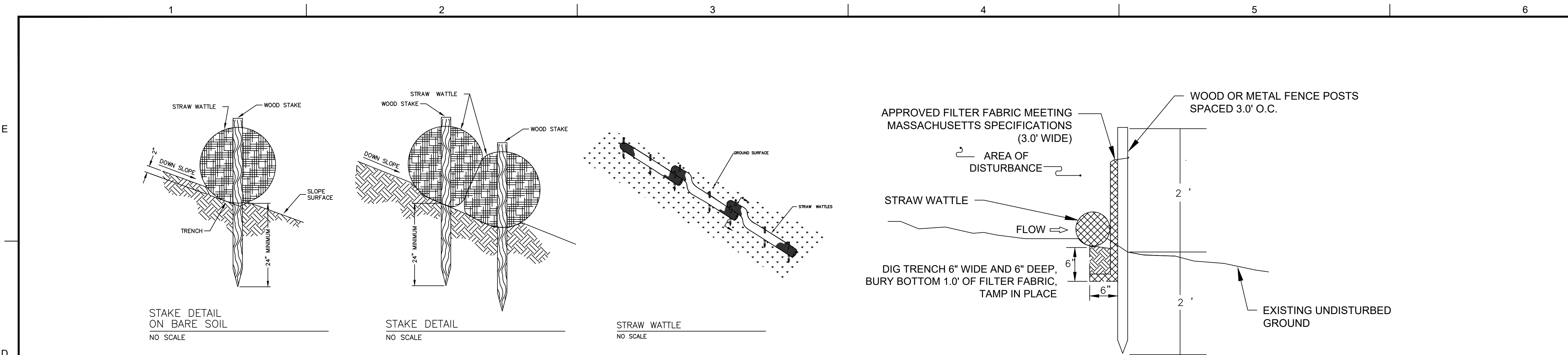
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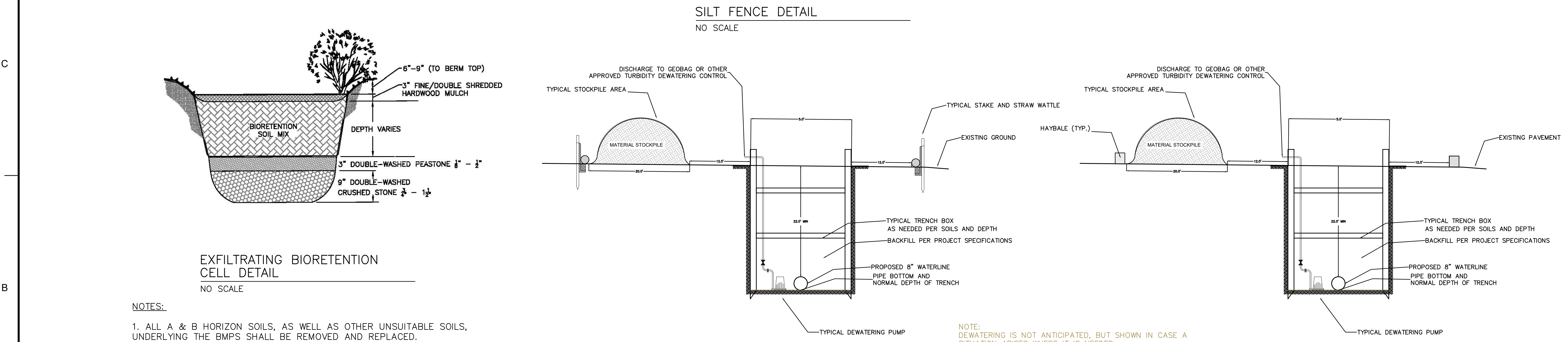
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PROJECT NO.	6893-003		
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DRAWING SCALE	1" = 60'		
GRAPHIC SCALE			
SHEET TITLE			
PROPOSED EROSION AND SEDIMENTATION CONTROLS PLAN			
DRAWING NO.			
ER-1			
9	OF	13	

PLOT SCALE 1/16"=1'-0"



- NOTES:
1. CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING WATER IN THE EXCAVATION AREA AND MEETING THE PERFORMANCE STANDARDS OF THE CONTRACT, PARTICULARLY FOR WATER QUALITY. CONTRACTOR TO SUBMIT A TRENCH DEWATERING PLAN THAT WILL ADDRESS, AT A MINIMUM, SOME FORM OF SEDIMENTATION/TURBIDITY REDUCTION BEST MANAGEMENT PRACTICE AS TO COMPLY WITH THE WATER QUALITY REQUIREMENTS.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING SILT FENCE/STRAW WATTLE THROUGHOUT THE CONTRACT AND ENSURING IT IS PLACED IN A MANNER TO PROTECT THE SENSITIVE DOWNSTREAM RECEPTORS AND OFF-SITE AREAS.
 3. EROSION AND SEDIMENTATION CONTROL SHALL REMAIN IN PLACE AND IN PROPER WORKING ORDER THROUGHOUT THE DURATION OF THE CONTRACT. IF INITIAL CONTROLS DO NOT PROVE TO BE SUFFICIENT, THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS.
- NOTES:
1. SILT FENCING SHALL BE PLACED AS SHOWN ON PROJECT DRAWINGS.
 2. BOTTOM 1 FOOT OF SILT FENCING SHALL BE BURIED IN 6" X 6" TRENCH DUG AT BASE OF FENCING.
 3. SILT FENCING SHALL BE ANCHORED IN PLACE WITH WOODEN OR METAL FENCE POSTS SPACED AT 3 FT. O.C.
 4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE PROMPT (WHEN NEEDED).
 5. SILT FENCING SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS.
 6. SILT FENCING TO BE PLACED DOWN-GRADIENT OF HAY BALES.



- NOTES:
1. ALL A & B HORIZON SOILS, AS WELL AS OTHER UNSUITABLE SOILS, UNDERLYING THE BMPs SHALL BE REMOVED AND REPLACED.
 2. EXCAVATION FOR ALL BMPs SHALL INCLUDE AN OVERDIG OF 25% OF THE WIDTH OF THE BMP UP TO A MAXIMUM OF 3 FT TO ENSURE SUITABLE SOILS FOR THE BMP.
 3. EXCAVATION AND INSTALLATION OF THE BMPs SHALL BE INSPECTED BY THE ENGINEER.
 4. UNDERLYING SOILS FOR THE BMPs SHALL NOT BE COMPACTED PRIOR TO PLACEMENT OF THE BMPs.
 5. ALL INFILTRATION PRACTICES SHALL BE PROTECTED DURING CONSTRUCTION.
 6. THE BIORETENTION SOIL MIX SHALL CONSIST OF A UNIFORM MIXTURE OF TWO PARTS (40% BY VOLUME) COARSE SAND (MASS HIGHWAY DEPARTMENT MATERIAL SPECIFICATION M1.04.0 TYPE A), TWO PARTS (40% BY VOLUME TOPSOIL (MHD SPECIFICATION M1.05.0 OR M1.06.1) ND ONE PART (20% BY VOLUME) SHREDDED HARDWOOD BARK MULCH.
 7. THE LARGEST STONE SIZE SHALL BE 1/2" DIAMETER IN THE TOPSOIL.
 8. FINAL PLANTING MATERIALS SHALL BE AS PRESCRIBED BY LANDSCAPE ARCHITECT
- NOTE:
- DEWATERING IS NOT ANTICIPATED, BUT SHOWN IN CASE A SITUATION ARISES WHERE IT IS NEEDED. TRENCH BOXES AND TRENCH SHORING TO BE DETERMINED BY SOIL CONDITIONS AND EXCAVATION DEPTHS.



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DRAWING SCALE	AS NOTED		

GRAPHIC SCALE

SHEET TITLE

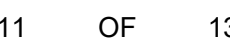
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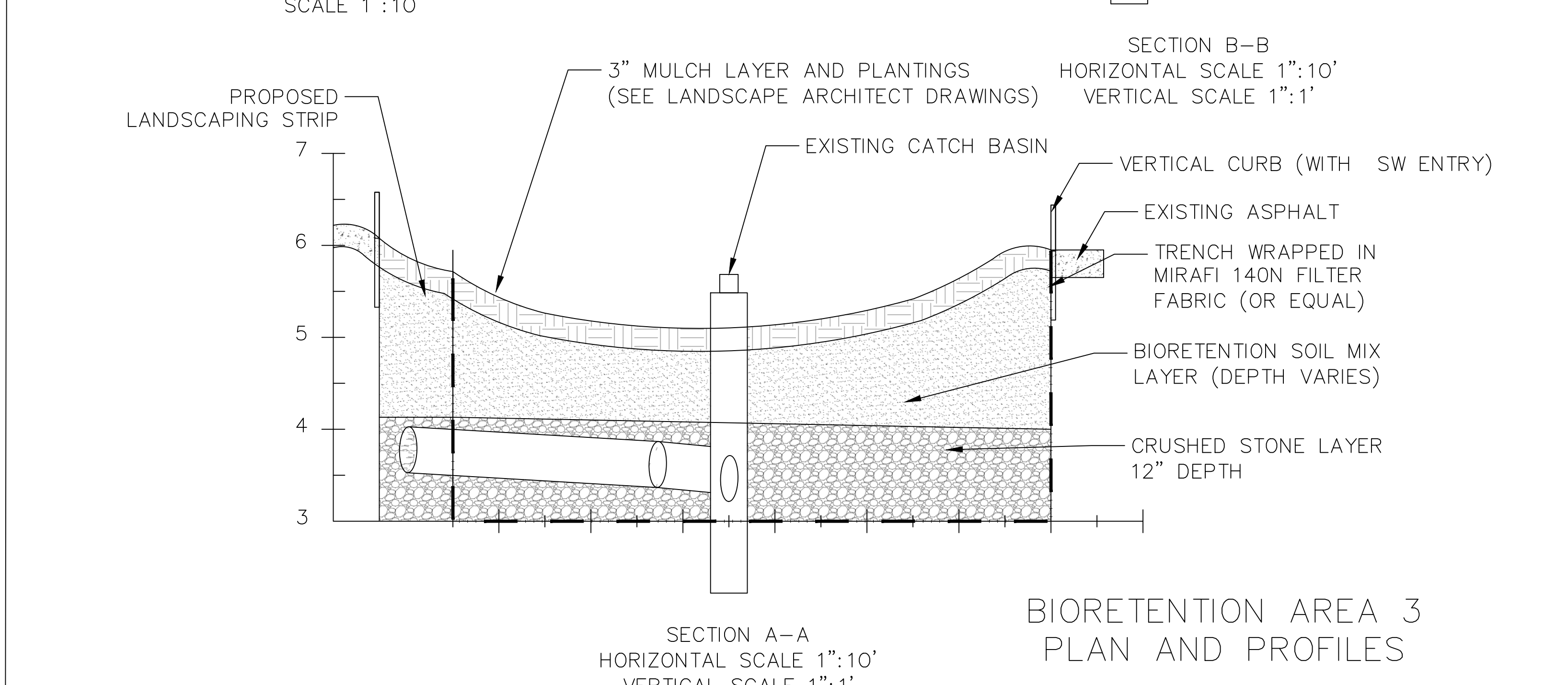
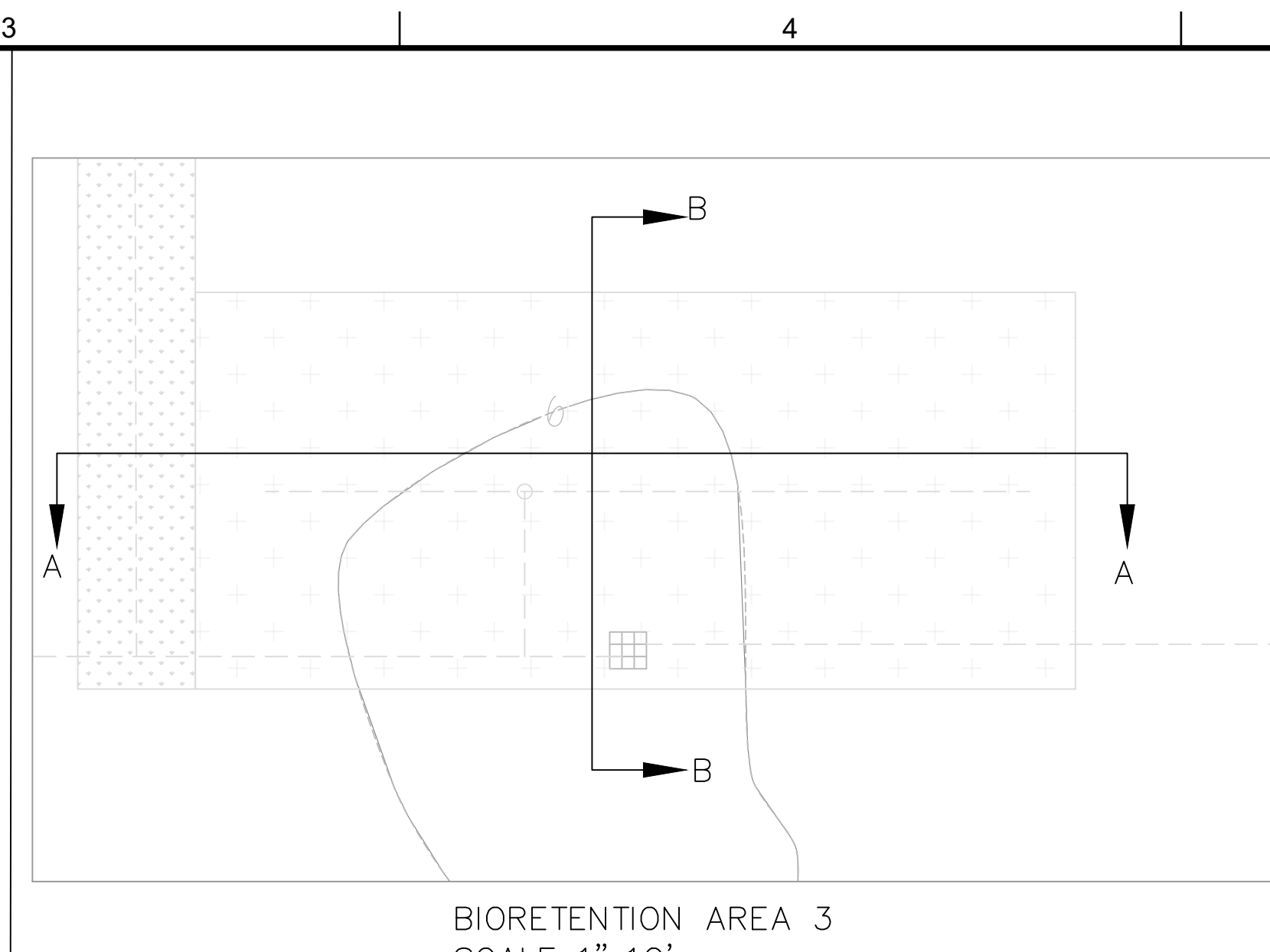
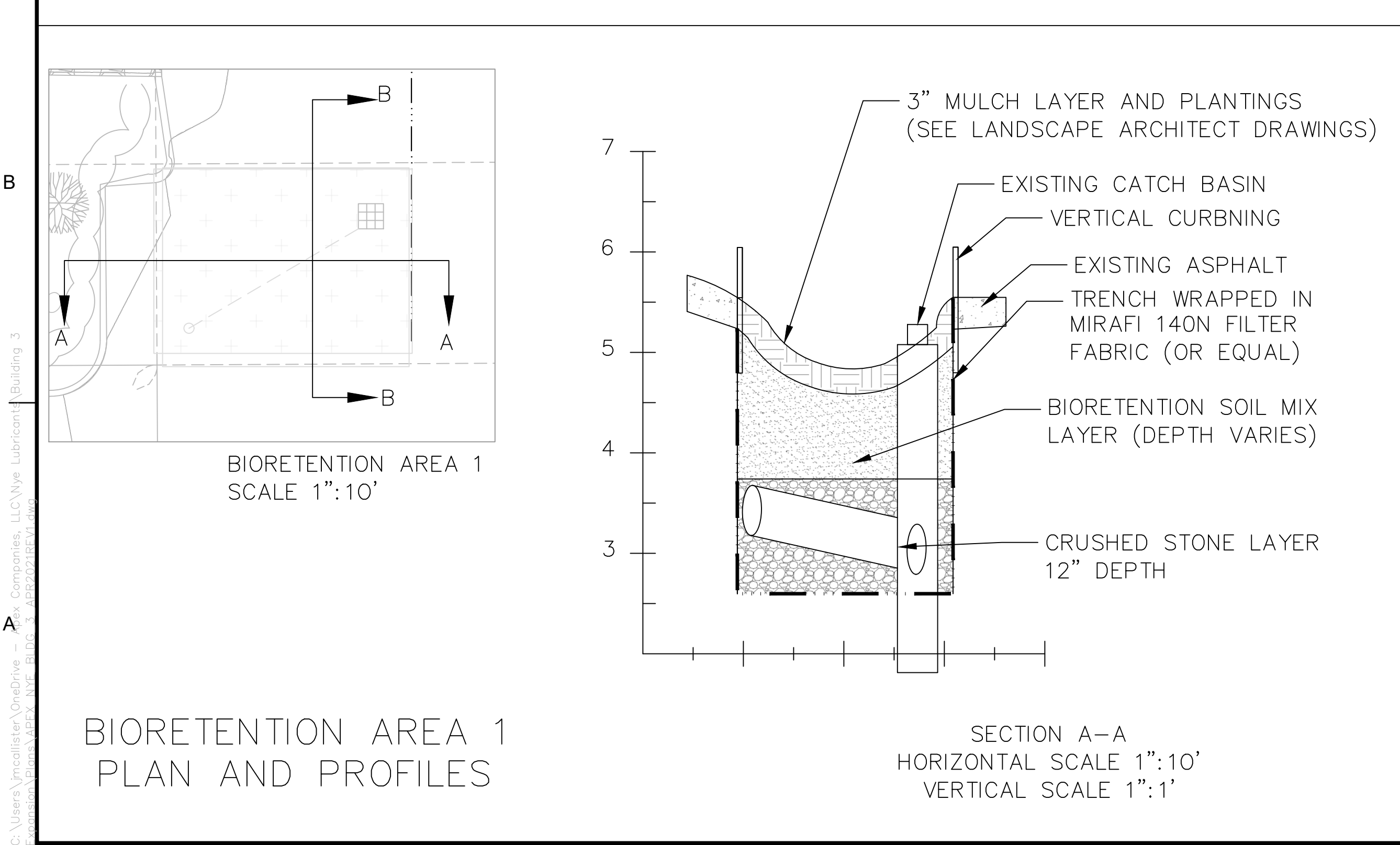
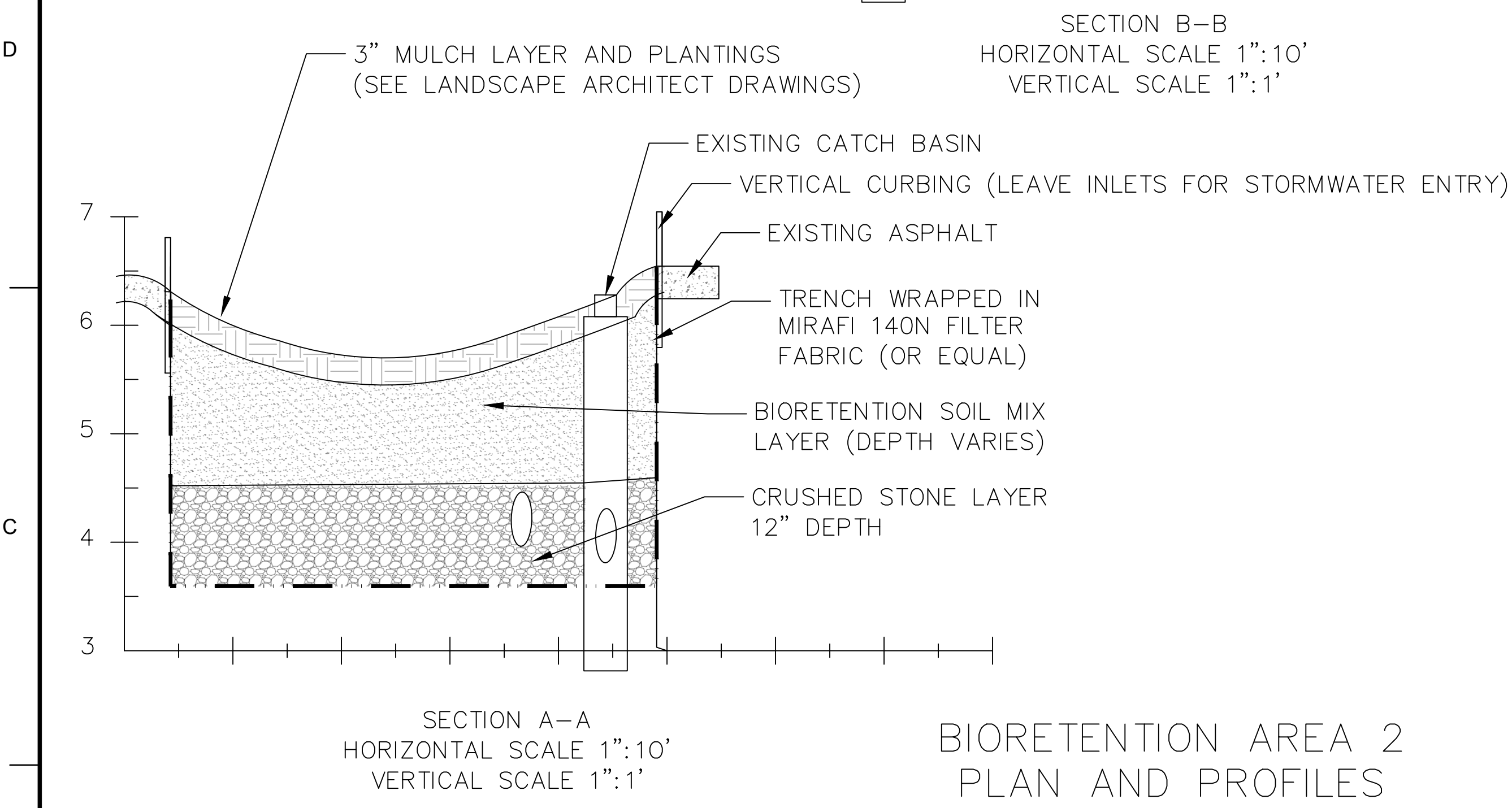
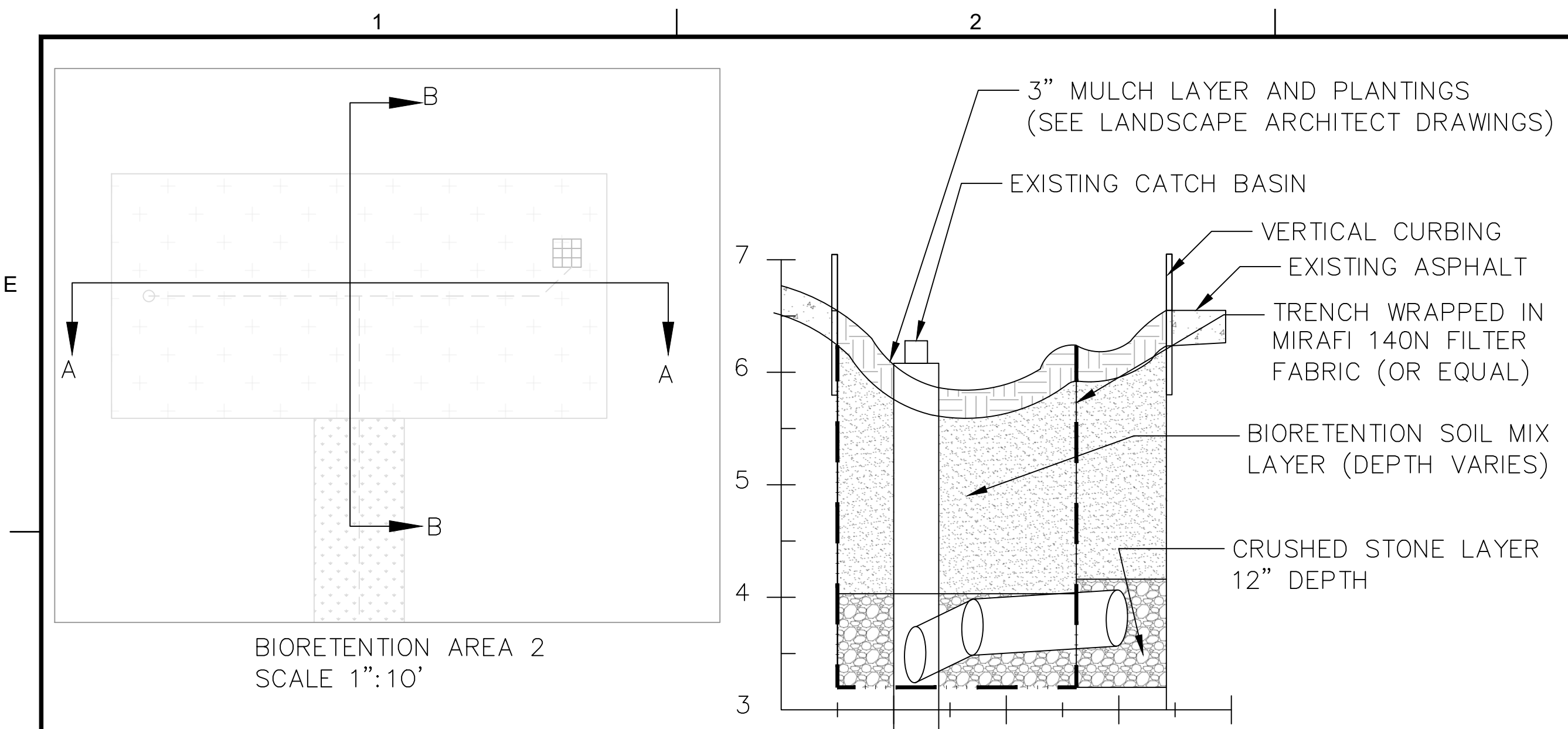
DRAWING NO.

D-1

10 OF 13

PLOT SCALE 1/16"=1'-0"





- NOTES:
1. VERTICAL CURBING SHALL BE SPACED 6 INCHES EVERY 6 FEET TO ALLOW FOR STORMWATER INFLOW INTO STORMWATER FEATURES.
 2. LANDSCAPE ARCHITECTURE DRAWINGS SHALL TAKE PRECEDENCE ON FINAL LANDSCAPE FEATURES.
 3. CLEANOUTS SHALL BE PROVIDED FOR EACH UNDERDRAIN PIPE.
 4. CATCH BASINS SHALL BE PROTECTED DURING IMPLEMENTATION.



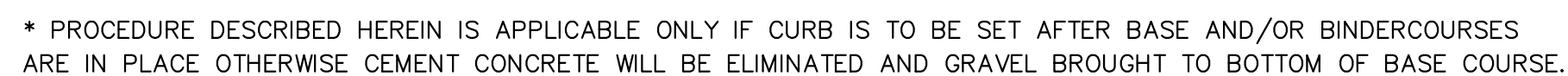
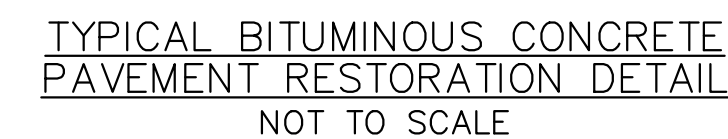
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GRAPHIC SCALE			
SHEET TITLE			
DETAIL SHEET			
DRAWING NO.			
D-3			
12	OF	13	

PLOT SCALE 1/16"=1'-0"



- 1.SAW CUT NEATLINE 6" TO 12" FROM CURB LINE AND REMOVE BINDER,BASE COURSE AND GRAVEL, REPLACE WITH CEMENT CONCRETE.
- 2.ANY CLASS CEMENT CONCRETE THAT IS ACCEPTABLE TO THE DEPT. UNDER SECTION M4 OF THE 1996 STANDARD SPECIFICATIONS,ALL TEST REQUIREMENTS ARE WAIVED.BITUMINOUS CONCRETE IS NOT TO BE USED AS A SUBSTITUTE.
- 3.PAYMENT FOR CEMENT CONCRETE WILL BE INCLUDED IN THE PRICE PER LINEAL FOOT OF CURBING.

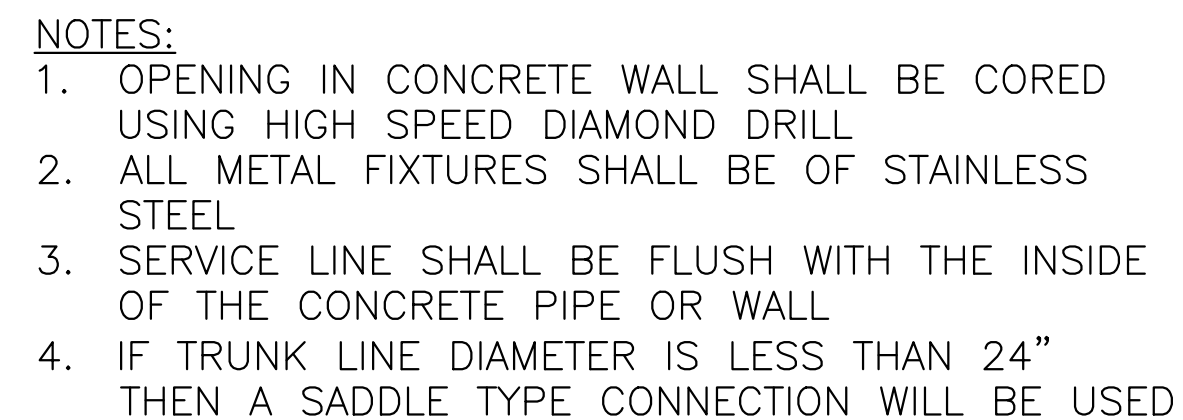
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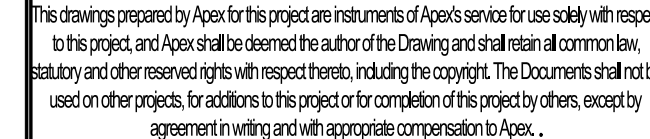
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TYPICAL FIELD CONNECTION DETAIL
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OWNER
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GRAPHIC SCALE

SHEET TITLE

DETAIL
SHEET

DRAWING NO.

D-4

13 OF 13

PLOT SCALE 1/16"=1'-0"