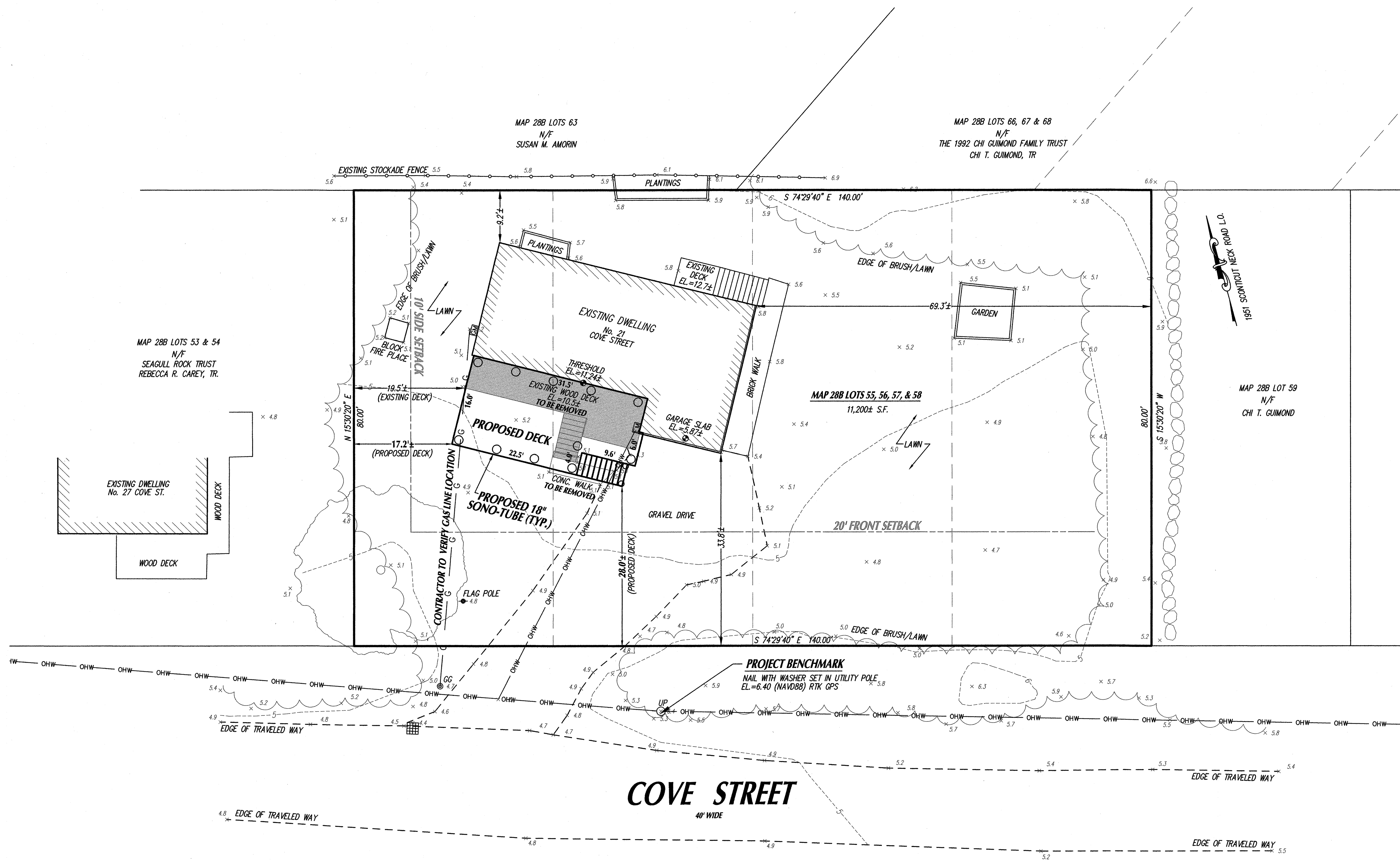


LOCUS MAP  
NOT TO SCALE



**NOTES:**

1. THE PROPERTY LINE INFORMATION AND DETAIL SHOWN IS BASED ON CURRENT AVAILABLE PLANS AND DEEDS AND AN ON THE GROUND INSTRUMENT SURVEY PERFORMED BY THIS FIRM ON JANUARY 22 & 23, 2020.
2. VERTICAL DATUM SHOWN HEREON IS BASED ON NAVD 88, NORTH AMERICAN VERTICAL DATUM OF 1988 ESTABLISHED VIA GPS-MCCORS REAL TIME NETWORK.
3. ANY UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND MAY NOT BE COMPLETE. SITE CONTRACTOR SHALL CONTACT DIG SAFE (AT 1-888-DIG-SAFE) AND UTILITY COMPANIES TO LOCATE ALL EXISTING UTILITIES, AT LEAST 72 HOURS PRIOR TO THE START OF ANY PROPOSED CONSTRUCTION OR EXCAVATION WITHIN THE PROJECT LIMITS. THE EXCLUSION OF EXISTING UNDERGROUND INFRASTRUCTURE, UTILITIES, CONDUITS AND LINES HEREON SHALL NOT BE ASSUMED TO REDUCE SITE CONTRACTOR'S RESPONSIBILITY.

1	Rev. #	DATE	BY	DESCRIPTION

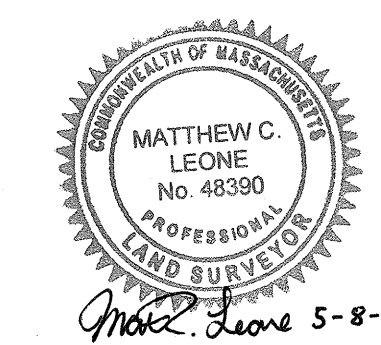
**SITE PLAN**  
SHOWING A PROPOSED DECK IMPROVEMENT  
AT PROPERTY SITUATED AT  
**21 COVE STREET**  
**FAIRHAVEN, MA**  
PREPARED FOR  
**JOSEPH & PATRICIA MARSHALL**

SCALE: 1"=10'  
DATE: MAY 8, 2020

**SCHNEIDER, DAVIGNON & LEONE, INC.**  
PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
1 COUNTY RD. P.O. BOX 480, MATTAPOISETT, MA 02739  
1-508-758-7866

Drawn By: MCL/JMM    Check By: D.M.D.    Job No. 3256

**PROPERTY INFORMATION:**  
ASSESSORS MAP: #288  
ASSESSORS LOT: #55, 56, 57, & 58  
LOCATION: 21 COVE STREET  
ZONING DISTRICT: RESIDENCE A (RA)  
BUILDING SETBACKS:  
FRONT: 20'  
REAR: 30'    SIDE: 10'  
ACCESSORY STRUCTURE SETBACK: 5'  
FEMA FLOOD ZONE: VE (EL. 16)  
F.I.R.M. PANEL NO. 2500SC0394G  
APPLICANT/OWNER:  
JOSEPH MARSHALL & PATRICIA MARSHALL  
18 ABNER POTTERS WAY  
S. DARTMOUTH, MA 02748  
DEED BOOK 12894 PAGE 294

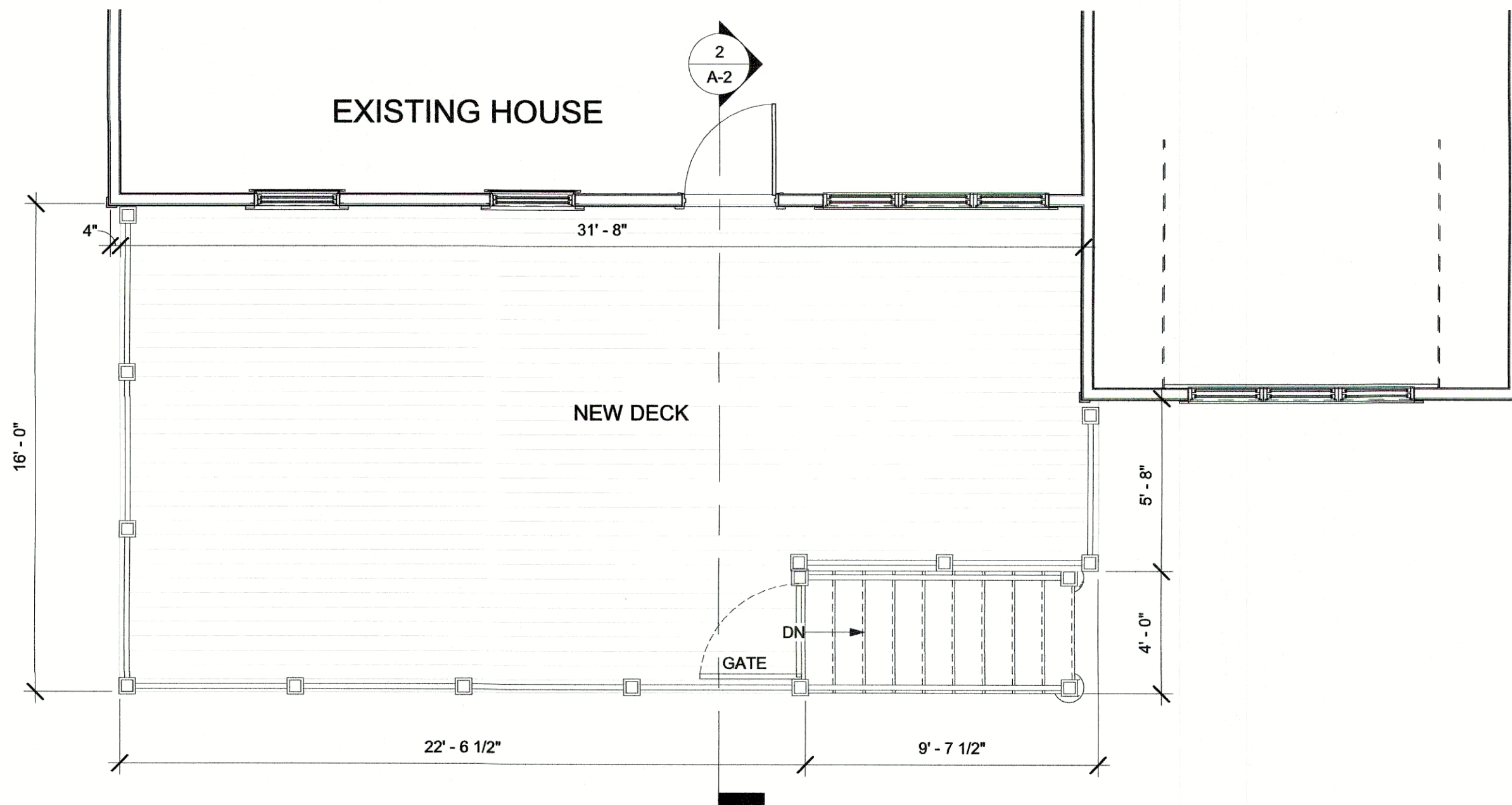


Matthew C. Leone 5-8-20

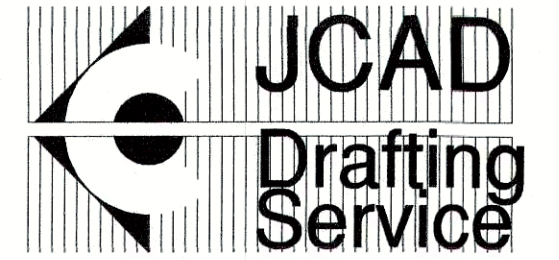


# DECK NOTES:

1. DECK SHALL BE CONSTRUCTED ACCORDING TO REQUIREMENTS OF THE 9TH EDITION OF THE MASSACHUSETTS RESIDENTIAL CODE.
2. DECK FRAMING: EXTERIOR GRADE #1 SOUTHERN YELLOW PINE PRESSURE TREATED LUMBER SHALL BE USED FOR EXTERIOR DECKS. PROVIDE AND INSTALL GALVANIZED BOLTS AND HANGERS TO CONNECT FLOOR JOISTS STRUCTURE AS INDICATED ON DRAWINGS.
3. ALL SCREWS, BOLTS, AND NAILS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
4. ALL HARDWARE (JOIST HANGERS, CAST-IN-PLACE POST ANCHORS, ETC.) SHALL BE GALVANIZED OR SHALL BE STAINLESS STEEL.
5. FLASHING SHALL BE CORROSION RESISTANT METAL OF MINIMUM 0.019 INCH THICKNESS.
6. DECKS SHALL NOT BE USED OR OCCUPIED UNTIL FINAL INSPECTION AND APPROVAL IS OBTAINED.
7. CABLE RAILING SYSTEM IS TO BE INSTALLED PER MANUFACTURE'S INSTALLATION INSTRUCTIONS.
8. CUT ENDS OF POSTS SHALL BE FIELD TREATED WITH AN APPROVED PRESERVATIVE SUCH AS COPPER NAPHTHENATE.
9. ALL FOOTINGS SHALL BE CAST-IN-PLACE CONCRETE WITH A SOIL BEARING CAPACITY OF MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
10. 36" HIGH MINIMUM GUARDS ARE REQUIRED AT ALL AREAS WHERE THE DECK FLOOR IS GREATER THAN 30" ABOVE GRADE AT ANY POINT.
11. GUARD POST SPACING SHALL NOT EXCEED 6'-0".
12. REQUIRED GUARDS AND HANDRAILS AT STAIRS SHALL RANGE FROM 34" TO 36" VERTICALLY ABOVE THE STAIR NOSINGS.
13. HANDRAIL ENDS, AT THE TOP AND BOTTOM, SHALL TERMINATE INTO A POST OR BE RETURNED TO A WALL.
14. UNLESS NOTED, THE DECK/PORCH FLOOR SHALL BE WITHIN 6" MAX. OF THE TOP OF THE DOOR THRESHOLD.
15. LIVE LOAD DEFLECTION:  
JOISTS & BEAMS = L/360  
GUARDS = L/240
16. DECK DESIGN LOADS:  
FLOOR LIVE LOAD = 40 P.S.F.  
DEAD LOAD = 10 P.S.F.
17. GUARDS SHALL BE DESIGNED FOR A 200 LB. CONCENTRATED LOAD PLACED ALONG THE TOP RAIL IN ANY DIRECTION, AT ANY POINT.
18. DECKING: PROVIDE AND INSTALL COMPOSITE DECK BOARDS. SIZE: 1" X 5 1/2" COLOR TO BE SELECTED BY OWNER. INSTALL DECKING SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND PER CODE. INSTALL DECKING WITH TIGER CLAW TC-P HIDDEN DECK FASTENERS WITH 316 STAINLESS STEEL SCREW FASTENERS.
19. RAILINGS: PROVIDE AND INSTALL PVC RAIL SYSTEM COMPLETE WITH 4X4 POSTS WITH CAPS AND BASE AND RAILINGS. COLOR-WHITE. INSTALL RAILING SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND PER CODE. CABLE RAILING SYSTEM SHALL BE CONSTRUCTED SO AS TO PREVENT PASSAGE OF A 4" SPHERE. ALL RAILINGS SHALL BE MINIMUM 36" HIGH FROM DECK SURFACE.
20. STAIRS - HEIGHTS OF TREADS, LENGTHS OF RISERS AND OVERALL WIDTH OF STAIRS SHALL COMPLY WITH APPLICABLE BUILDING CODES.
21. EXTERIOR STAIR TREADS SHALL BE CONSTRUCTED OF 1" X 5 1/2" PVC DECK BOARDS. RISERS SHALL BE CONSTRUCTED OF 3/4" PVC TRIM BOARD. STRUCTURAL STAIR STRINGERS SHALL BE CONSTRUCTED OF PRESSURE TREATED 2x12 @ 12" O.C.



**1 DECK PLAN**  
SCALE: 1/4" = 1'-0"



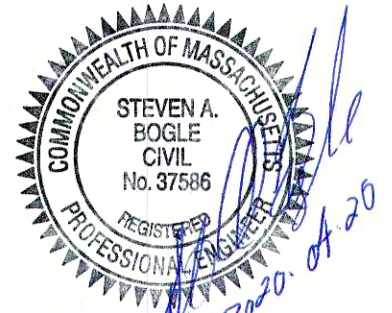
100 MAYFLOWER DRIVE  
SEEKONK, MA 02771  
TEL 508-336-7147 FAX 508-336-9105

1. ALL CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THE PROJECT INCLUDING BUT NOT LIMITED TO THE 9TH EDITION OF THE MASSACHUSETTS STATE RESIDENTIAL CODE.
2. BECAUSE THERE WILL BE NO PROJECT SUPERVISION BY THE DESIGNER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO INSURE COMPLIANCE WITH ALL CODES AND MODIFY THE SPECIFICATIONS AS NEEDED TO COMPLY WITH SUCH CODES.
3. DESIGNER OF THESE PLANS SHALL NOT BE HELD LIABLE FOR ANY DEVIATION AND/OR MODIFICATIONS TO DRAWINGS BY THE OWNER AND/OR HIS CONTRACTOR AND/OR SUB-CONTRACTORS.

ENGINEER

**GD**  
**GEISSER**  
**ENGINEERING CORP.**  
CONSULTING ENGINEERS  
227 WAMPANOAG TRAIL  
RIVERSIDE, RI 02915  
PHONE # 401-438-7711  
FAX # 401-438-7711  
www.geisserengineering.com  
EMAIL: gec@geisserengineering.com

SEAL



STRUCTURAL

No.	Description	Date

Project:

**PROPOSED NEW DECK**  
**21 COVE ST.**  
**FAIRHAVEN, MA**

**DECK PLAN**

Project number	2020-26
Date	APRIL 16, 2020
Drawn by	JC
Checked by	JC

**A-1**

Scale As indicated



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SEAL



STRUCTURAL

No.	Description	Date

Project:

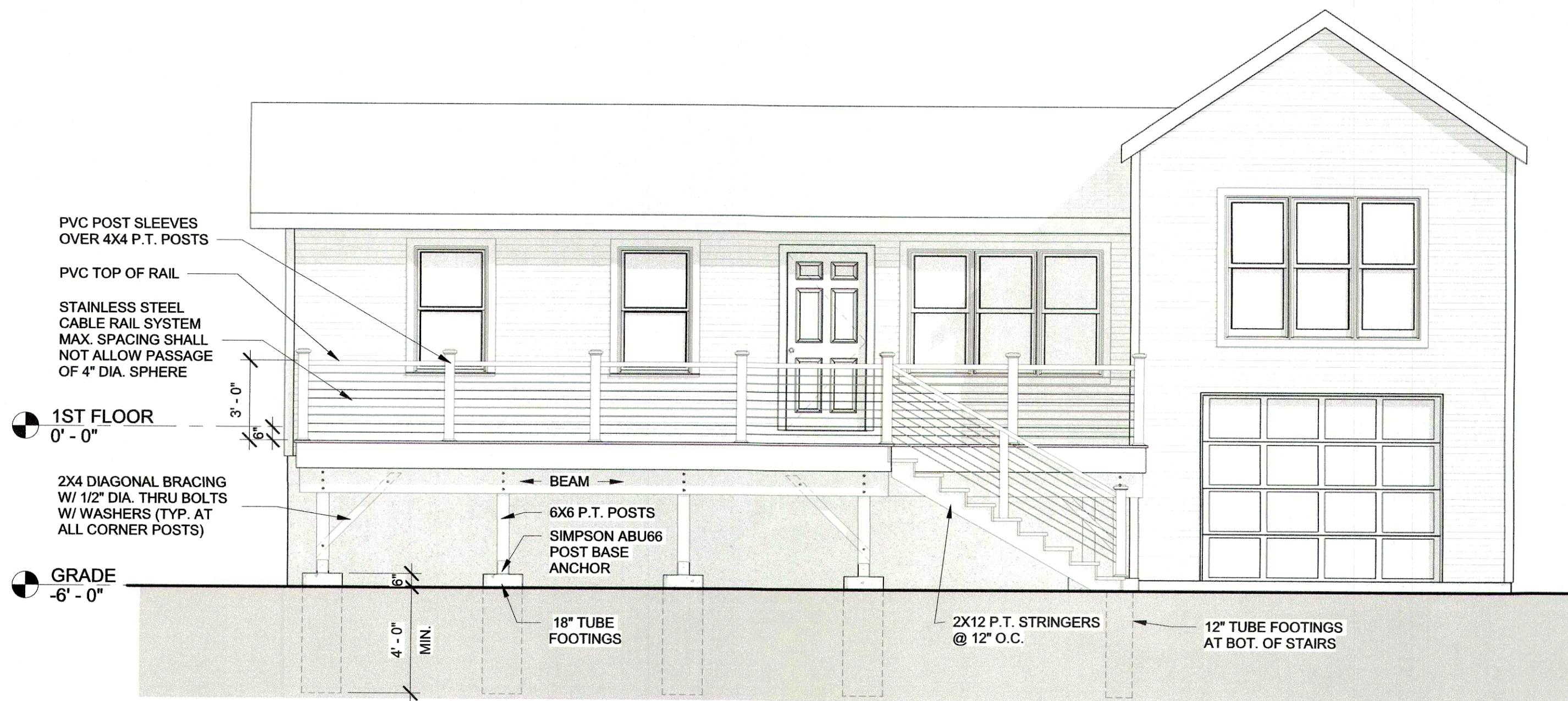
**PROPOSED NEW DECK**  
21 COVE ST.  
FAIRHAVEN, MA

**SECTION & ELEVATION**

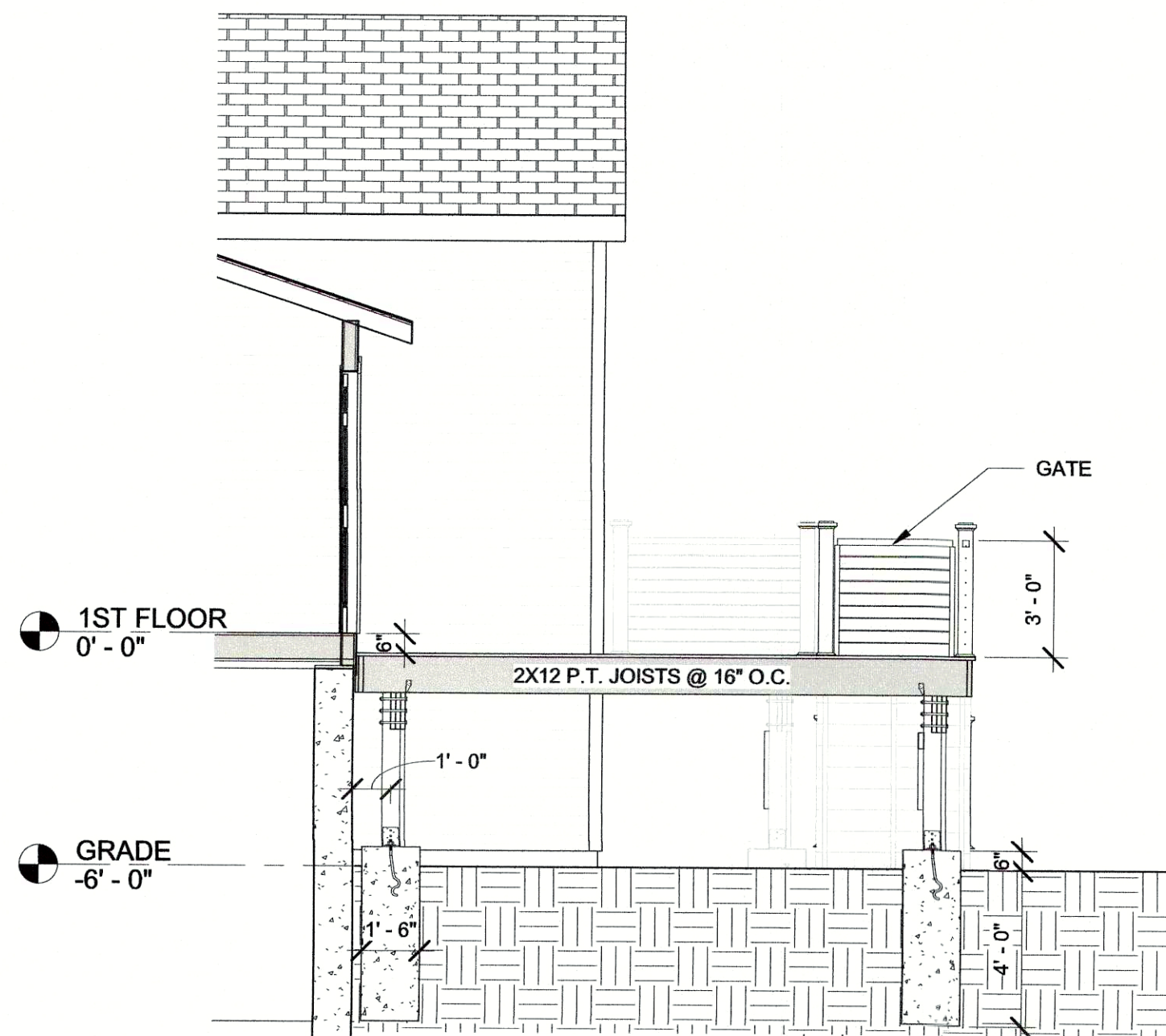
Project number	2020-26
Date	APRIL 16, 2020
Drawn by	JC
Checked by	JC

**A-2**

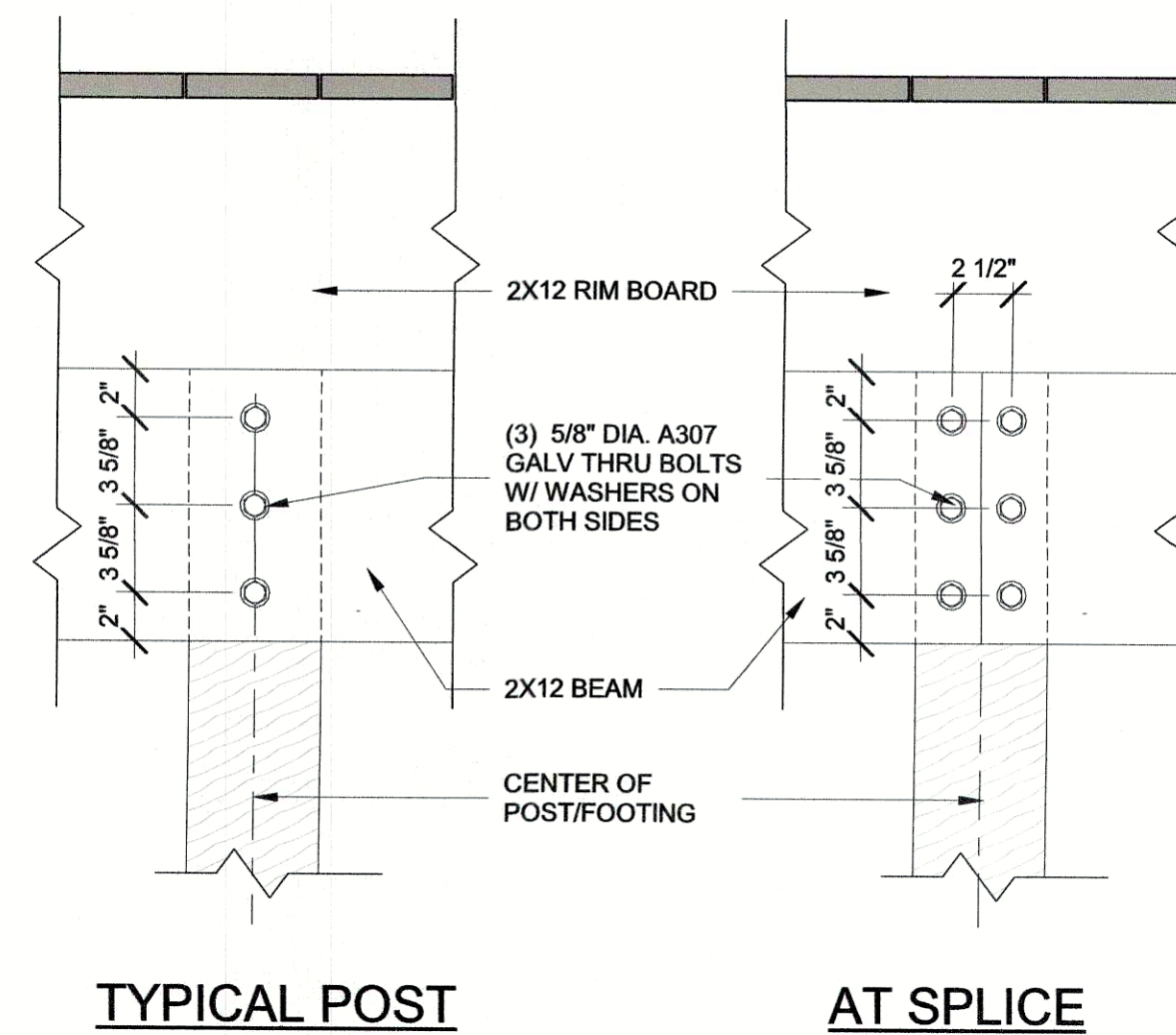
Scale As indicated



**1 PROPOSED FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 SECTION**  
SCALE: 1/4" = 1'-0"



**3 DETAIL POST/BEAM CONNECTION**  
SCALE: 1 1/2" = 1'-0"

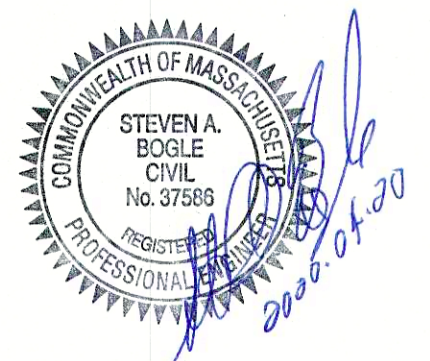


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ENGINEER

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STRUCTURAL

No.	Description	Date

Project:

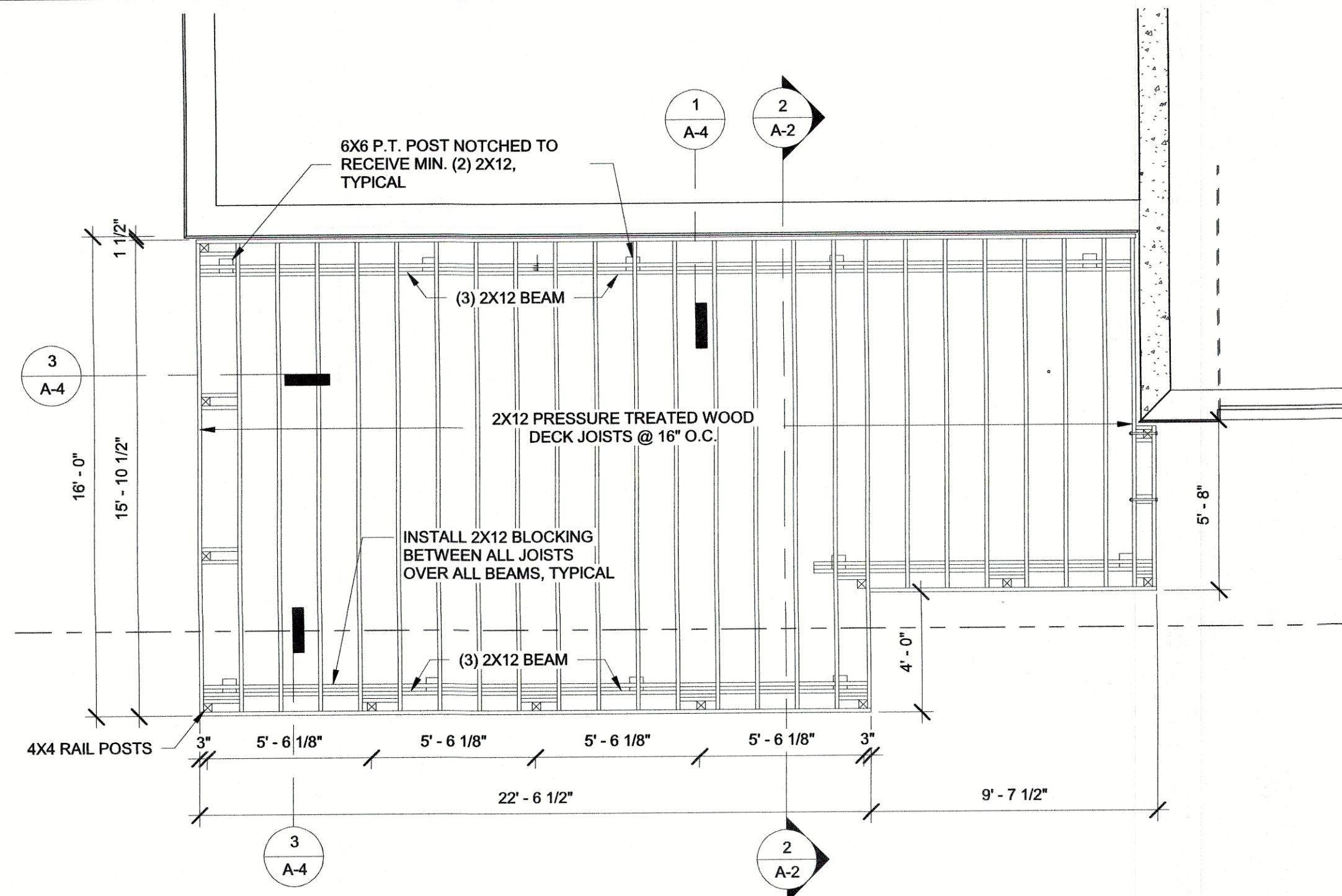
**PROPOSED NEW DECK**  
**21 COVE ST.**  
**FAIRHAVEN, MA**

**DECK FOOTING & FRAMING PLAN**

Project number	2020-26
Date	APRIL 16, 2020
Drawn by	JC
Checked by	JC

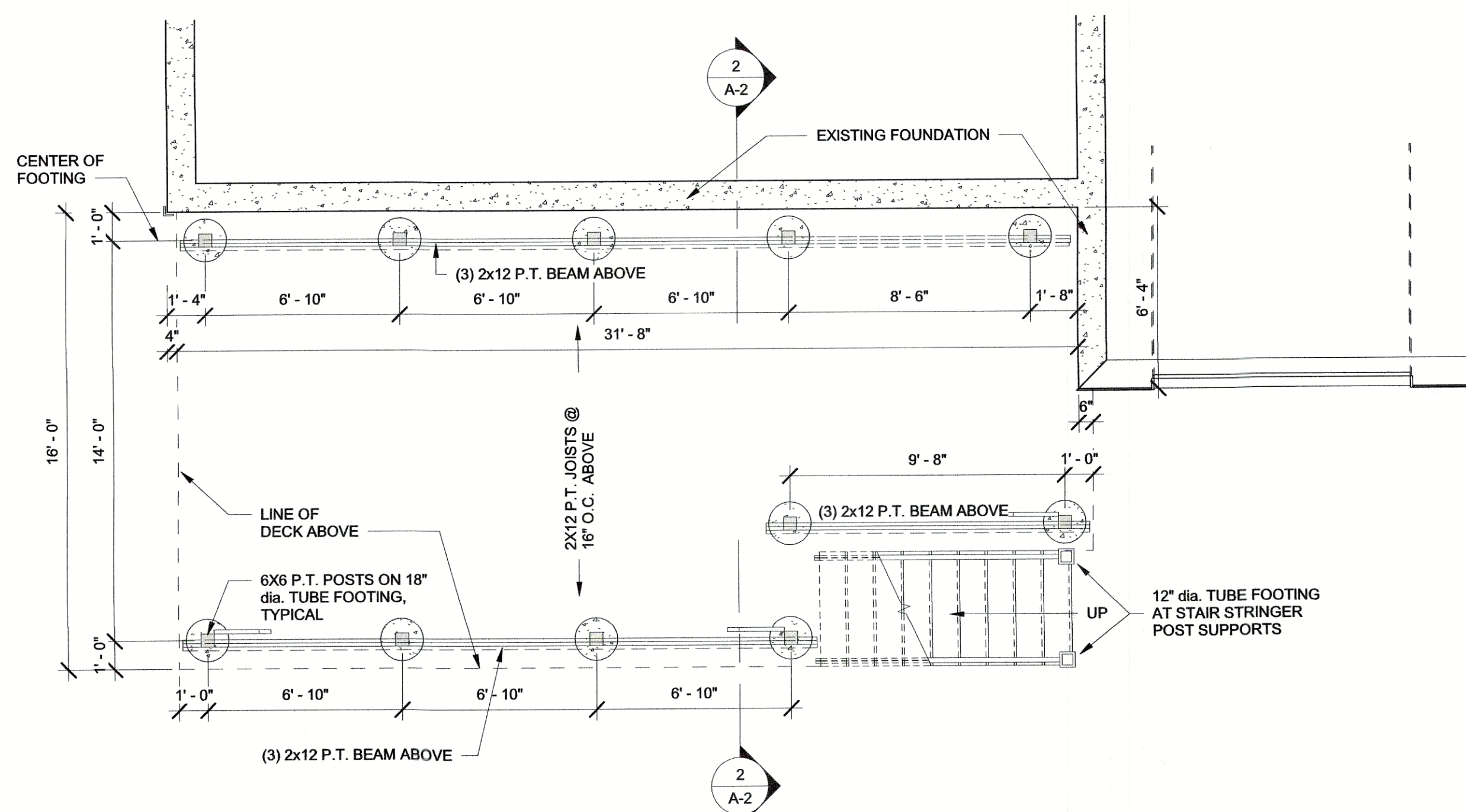
**A-3**

Scale 1/4" = 1'-0"



**2 DECK FRAMING PLAN**

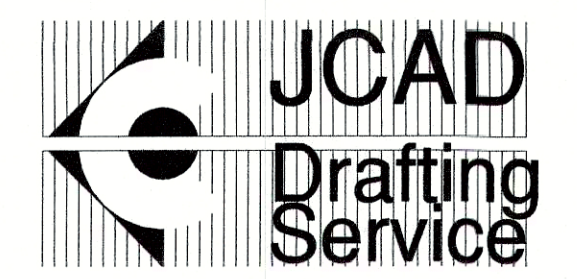
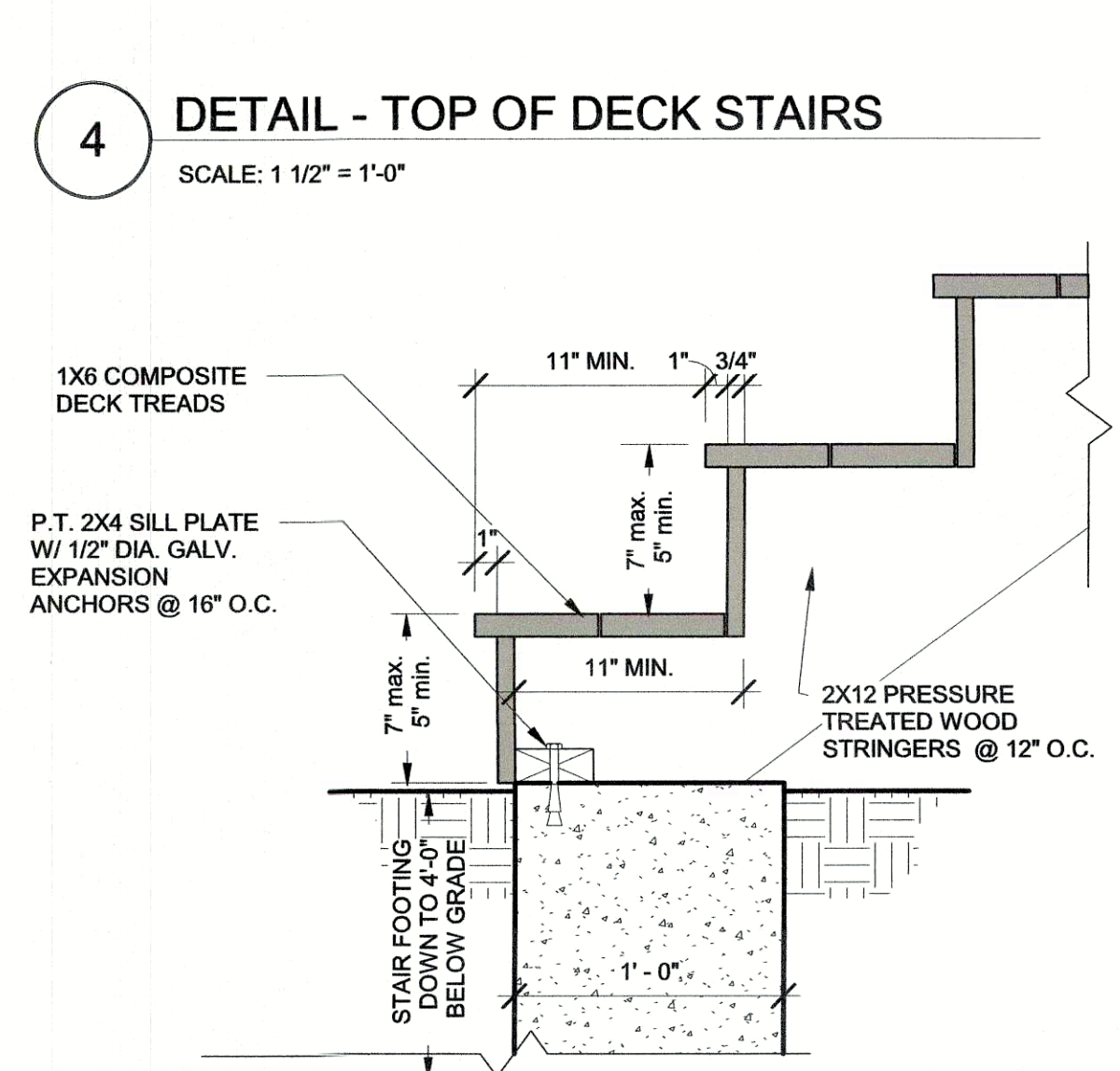
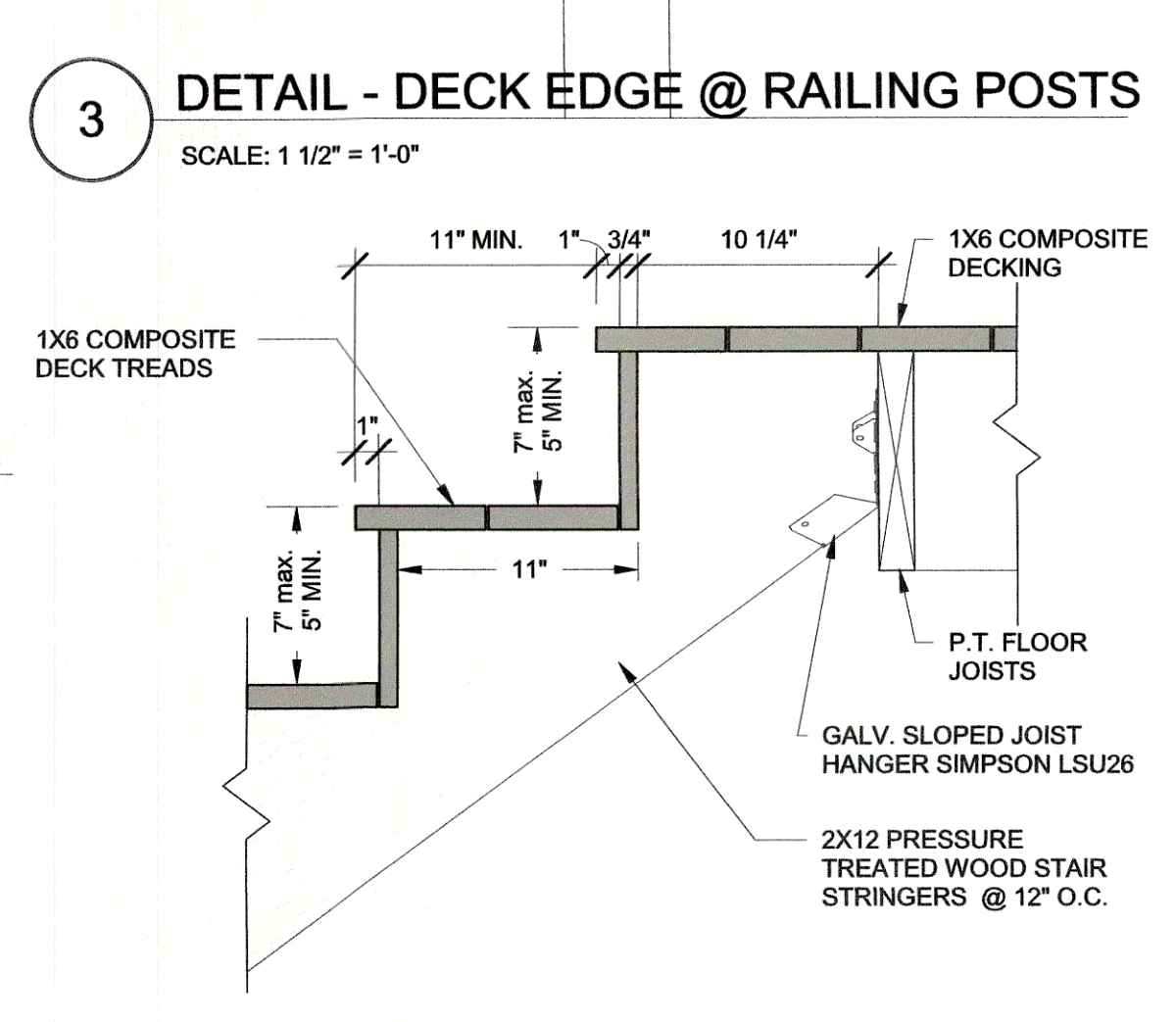
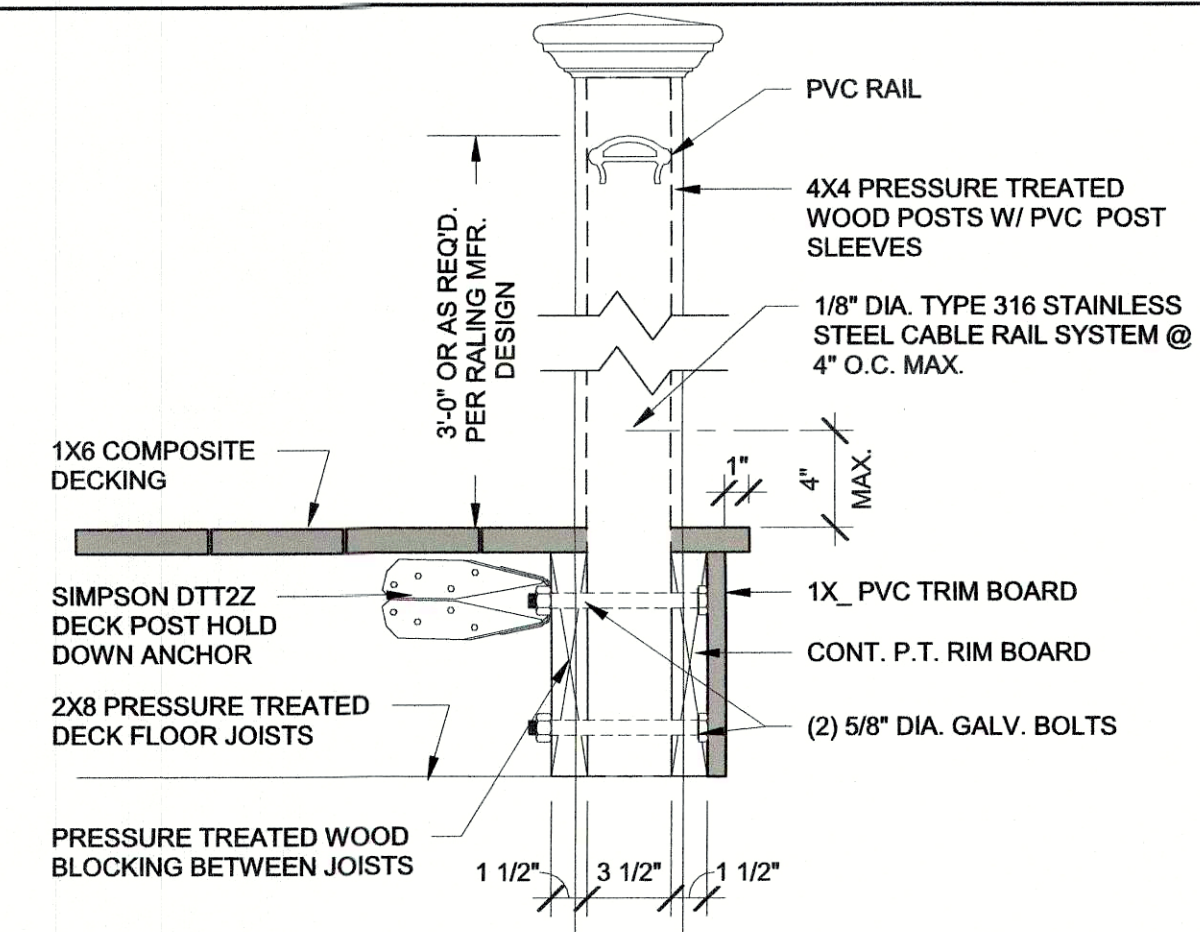
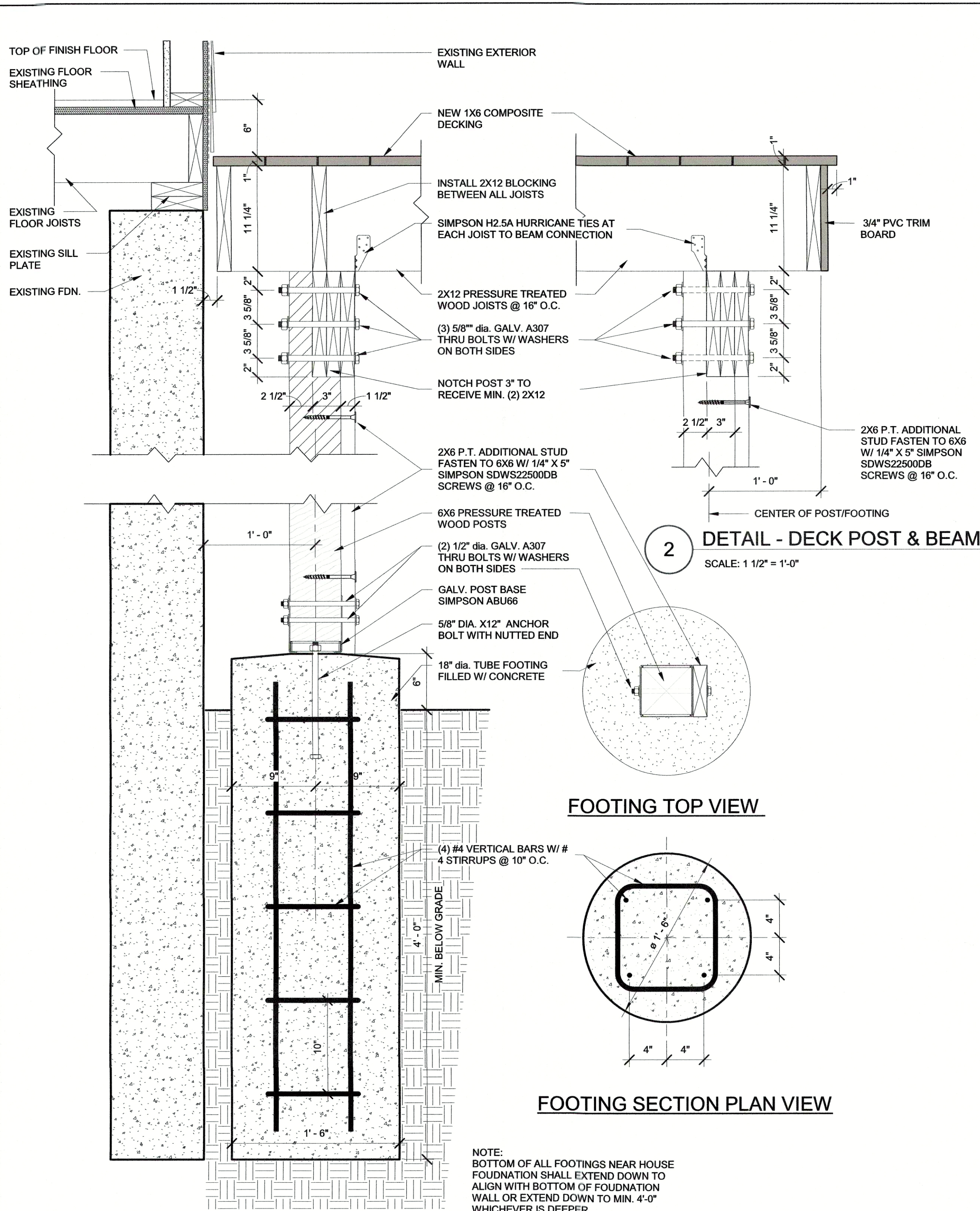
SCALE: 1/4" = 1'-0"



**1 FOOTING PLAN**

SCALE: 1/4" = 1'-0"





100 MAYFLOWER DRIVE  
SEEKONK, MA 02771  
TEL 508-336-7147 FAX 508-336-9105

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3. DESIGNER OF THESE PLANS SHALL NOT BE HELD LIABLE FOR ANY DEVIATION AND/OR MODIFICATIONS TO DRAWINGS BY THE OWNER AND/OR HIS CONTRACTOR AND/OR SUB-CONTRACTORS.

ENGINEER

**GO**  
**GEISSER**  
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EMAIL: gec@geisserengineering.com

SEAL

STEVEN A. BOGLE  
CIVIL  
No. 37588  
REGISTERED PROFESSIONAL ENGINEER

STRUCTURAL

No.	Description	Date

Project:

**PROPOSED NEW DECK**  
**21 COVE ST.**  
**FAIRHAVEN, MA**

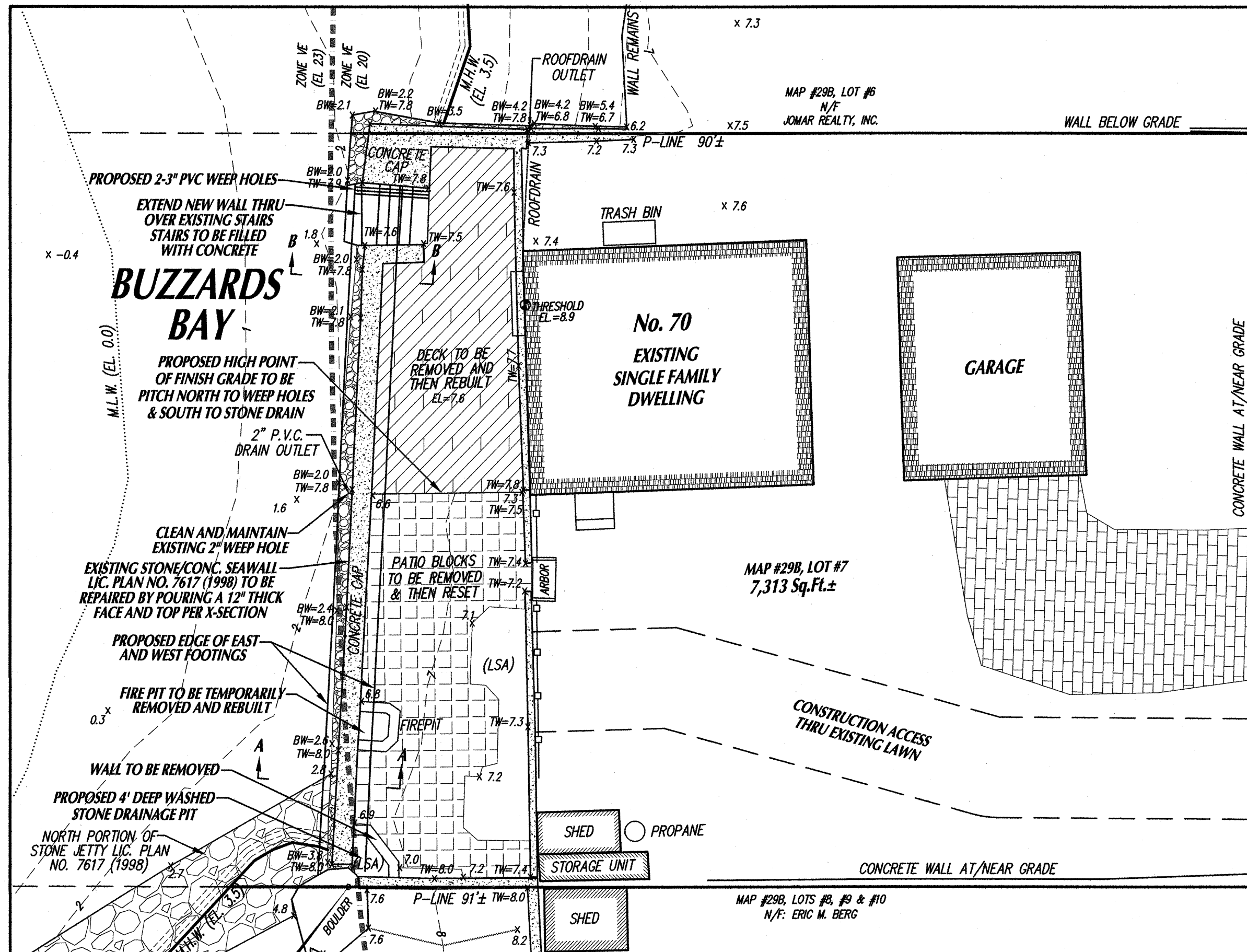
**DECK DETAILS**

Project number 2020-26  
Date APRIL 16, 2020  
Drawn by JC  
Checked by JC

**A-4**

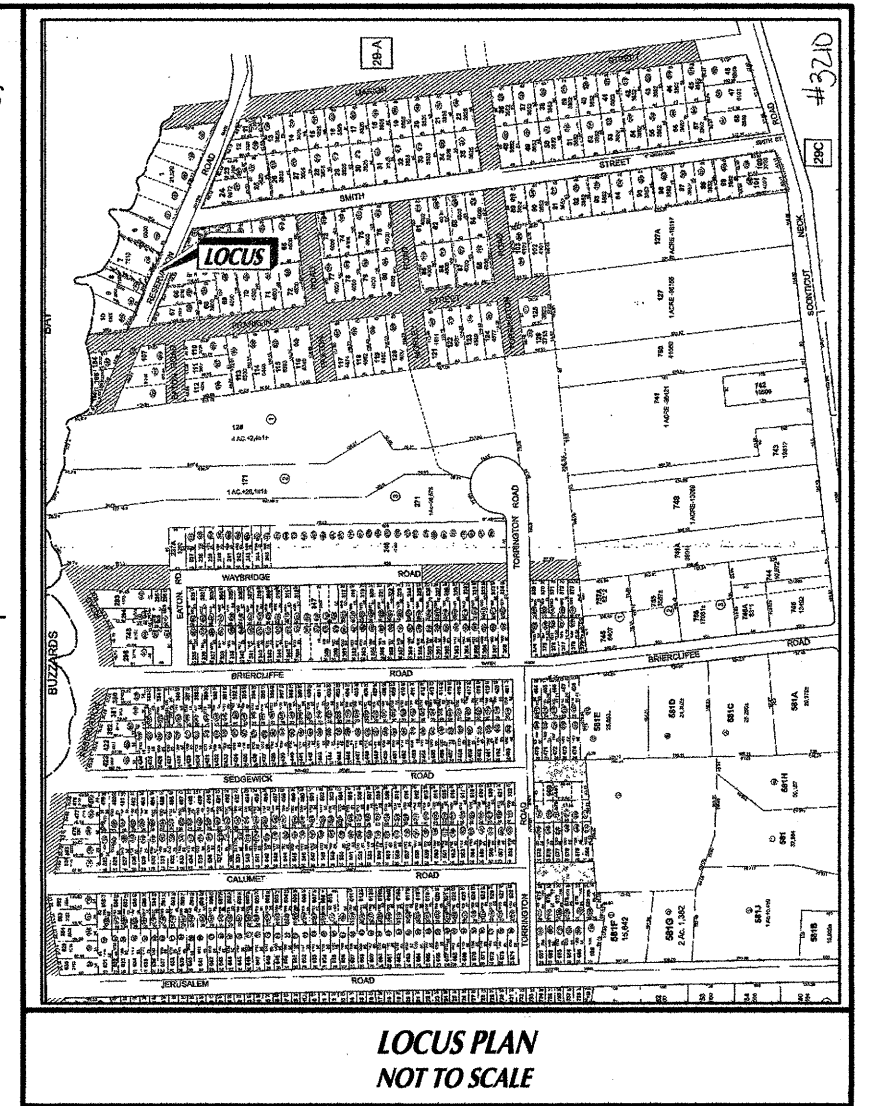
Scale 1 1/2" = 1'-0"





- LEGEND**
- 8 --- EXISTING CONTOURS
  - ===== MEAN HIGH WATER
  - - - - - FLOOD ZONE LINES
  - ~~~~~ EDGE OF BRUSH

**SITE INFORMATION:**  
 ASSESSORS MAP # 29B  
 ASSESSORS LOT # 7  
 SITE ADDRESS: 70 RESERVATION ROAD  
 FEMA FLOOD ZONE: VE (EL. 20)  
 AND FLOOD ZONE: VE (EL. 23)  
 F.I.R.M. PANEL NO: 25005C0559K  
 ZONING DISTRICT: RURAL RESIDENCE (RR)  
 RR BUILDING SETBACKS:  
 FRONT: 30'  
 REAR: 30' SIDE: 20'  
**APPLICANT/OWNER**  
 JEFFREY LEE  
 70 RESERVATION ROAD  
 FAIRHAVEN, MA 02719  
 SEE DEED BOOK 6975, PAGE 21



**CONSTRUCTION NOTES:**

- EXCAVATION WORK SHALL BE DONE WITH A BACKHOE OR EXCAVATOR SET UP ON THE EXISTING PATIO/DECK AREAS. HEAVY MACHINERY IS PROHIBITED FROM THE COBBLE BEACH AREA.
- THE COBBLE ALONG THE BASE OF THE SEAWALL SHALL BE RAKED IN A SEAWARD DIRECTION AND TEMPORARILY STOCKPILED UNTIL THE BASE FOOTING IS COMPLETED, AND THEN RAKED BACK INTO PLACE TO RESTORE BEACH AREA TO PRECONSTRUCTION CONDITIONS.
- THE ABOVE DESCRIBED WORK SHALL OCCUR WITHIN 2 HOURS OF LOW TIDE TO MINIMIZE IMPACTS
- CONCRETE WASHOUT SHALL ONLY OCCUR WITHIN THE EXISTING LAWN AREAS.
- THE DECK SHALL BE A FREE STANDING STRUCTURE DESIGNED BY A STRUCTURAL ENGINEER.
- ALL DISTURBED PATIO AND LAWN AREAS SHALL BE RESTORED TO PRECONSTRUCTION CONDITIONS.

**GENERAL NOTES:**

- 1.) CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION THROUGH "DIG SAFE" AND OTHER APPROPRIATE AGENCIES, AND REPORT ANY DISCREPANCIES TO THIS OFFICE.
- 2.) CONTRACTOR SHALL NOTIFY THIS OFFICE OF ANY AND ALL DISCREPANCIES FOUND BETWEEN THE SITE CONDITIONS AND THOSE SHOWN ON THIS PLAN PRIOR TO THE CONTINUATION OF WORK.
- 3.) ANY AND ALL CHANGES FROM THE SITE DESIGN LAYOUT SHOWN MUST BE APPROVED BY THIS OFFICE, THE CONSERVATION COMMISSION AND OTHER APPROPRIATE LOCAL OFFICIALS.

**PERMITTING NOTES:**

- 1.) THE SUBJECT SEAWALL WAS AUTHORIZED BY THE DEP-WATERWAYS PROGRAM PER LICENSE PLAN NO. 7617 RECORDED IN BRISTOL REGISTRY AS PLAN BK. 141, PG. 47
- 2.) THE PROPOSED REPAIR WORK WAS AUTHORIZED BY THE DEP-WATERWAYS PROGRAM PER "MINOR PROJECT MODIFICATION TO DEP LICENSE NO. 7617" DATED 4-23-2020

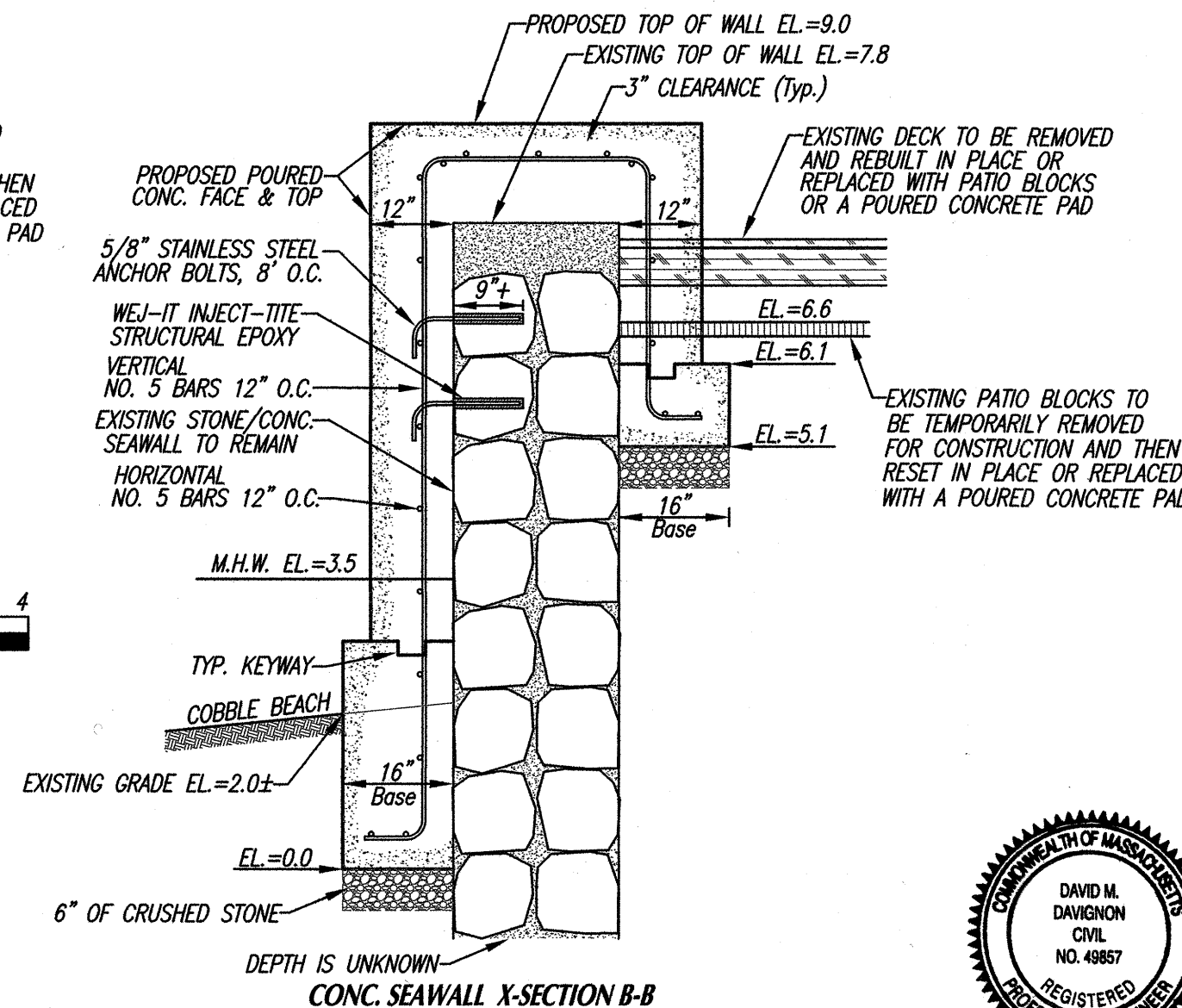
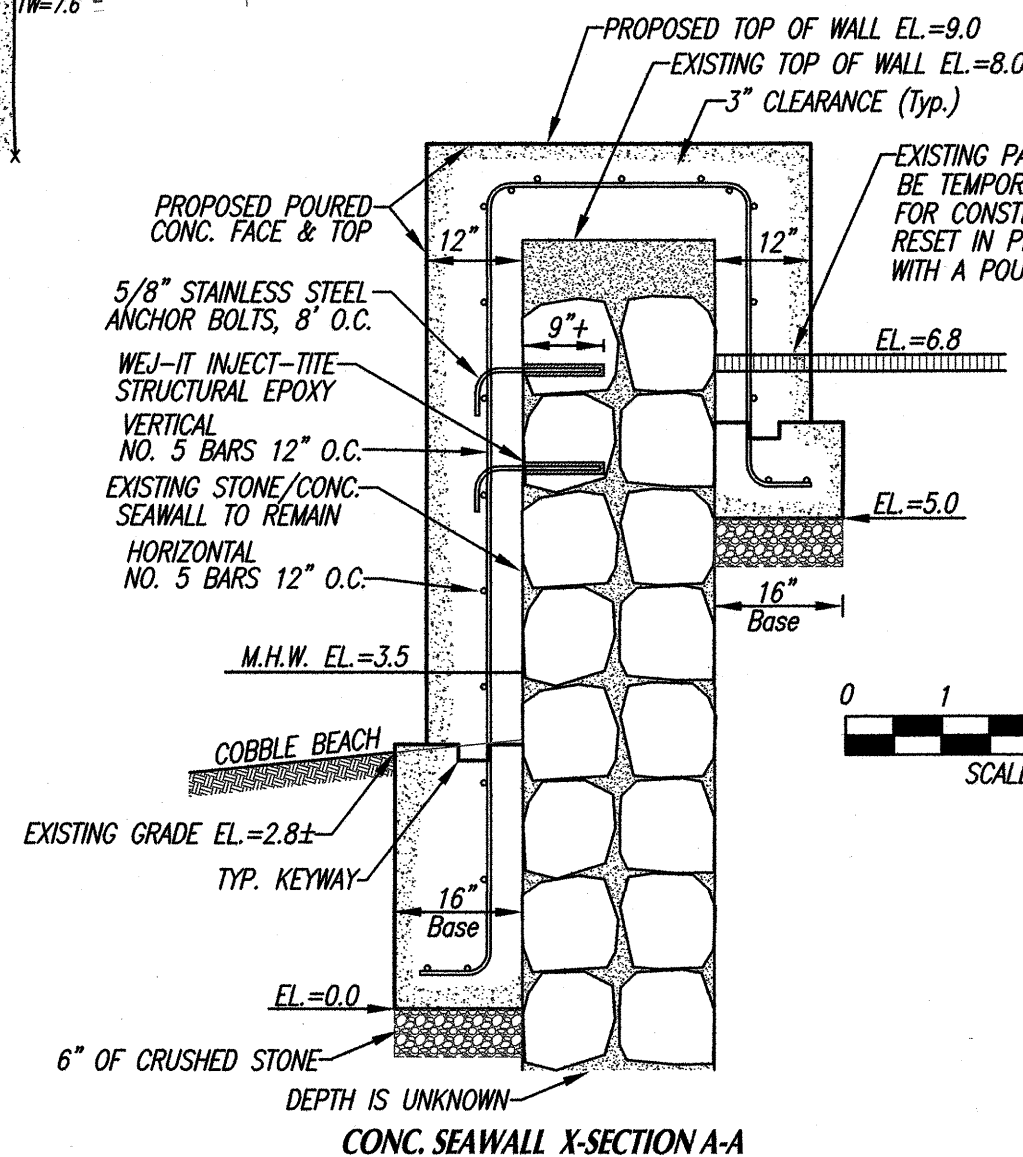
1	Rev. #	DATE	BY	DESCRIPTION
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**SEAWALL REPAIR PLAN**  
 FOR PROPERTY LOCATED  
 at 70 RESERVATION ROAD in  
 FAIRHAVEN, MA  
 PREPARED FOR  
**JEFFREY LEE**

SCALE: 1"=10' DATE: MAY 11, 2020

**SCHNEIDER, DAVIGNON & LEONE, INC.**  
 PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
 1 COUNTY RD, P.O. BOX 480, MATTAPOISETT, MA 02739  
 1-508-758-7866

Drawn By: D.M.D. Check By: N.D.S. Job No. 3210



- MATERIALS SPECIFICATIONS:**
- CONCRETE IS SUBJECT TO SALT WATER, THEREFORE WATER CEMENT RATIO TO BE 0.40
  - PORTLAND CEMENT SHALL BE ASTM C 150, TYPE V FOR SALT WATER EXPOSURE
  - ALL CONCRETE SHALL BE 4,000 PSI - 28 DAY COMPRESSIVE STRENGTH
  - ALL STEEL SHALL BE EPOXY-COATED AND CONSIST OF ASTM A-615, GRADE 60.



*David M. Davignon* 5/12/2020