

**SITE INFORMATION:**  
 SITE ADDRESS: 18 BONNEY STREET  
 ASSESSORS MAP # 28B  
 ASSESSORS LOTS # 190, 191  
 ZONING DISTRICT: RESIDENCE A (RA)  
 BUILDING SETBACKS:  
 FRONT: 20'  
 REAR: 30' SIDE: 10'  
 \*REFER TO ZONING BOARD OF APPEALS DECISION  
 DATED: 12-04-2018  
 RECORDED AS BOOK 12679 PAGE 170  
 FEMA FLOOD ZONE: AE ELEV 14.0  
 FEMA FLOOD ZONE: VE ELEV 16.0  
 F.I.R.M. PANEL NO. 25005C0413F  
 APPLICANTS/OWNERS:  
 ALAN & MARY WOLFE  
 74 TURNPIKE ROAD, APT. #304  
 TOWNSEND, MA 01469  
 DEED BOOK 12300, PAGE 15

I HEREBY CERTIFY THAT THE FOUNDATION LOCATION SHOWN IS THE TRUE FIELD LOCATION, AND THE FOUNDATION IS LOCATED WITHIN FEMA FLOOD HAZARD ZONE AE (EL. 14') AS SHOWN ON F.I.R.M. 25005C0413F EFFECTIVE DATE JULY 7, 2009.

*Matthew C. Leche*  
 REGISTERED PROFESSIONAL LAND SURVEYOR 6-25-2019  
 DATE



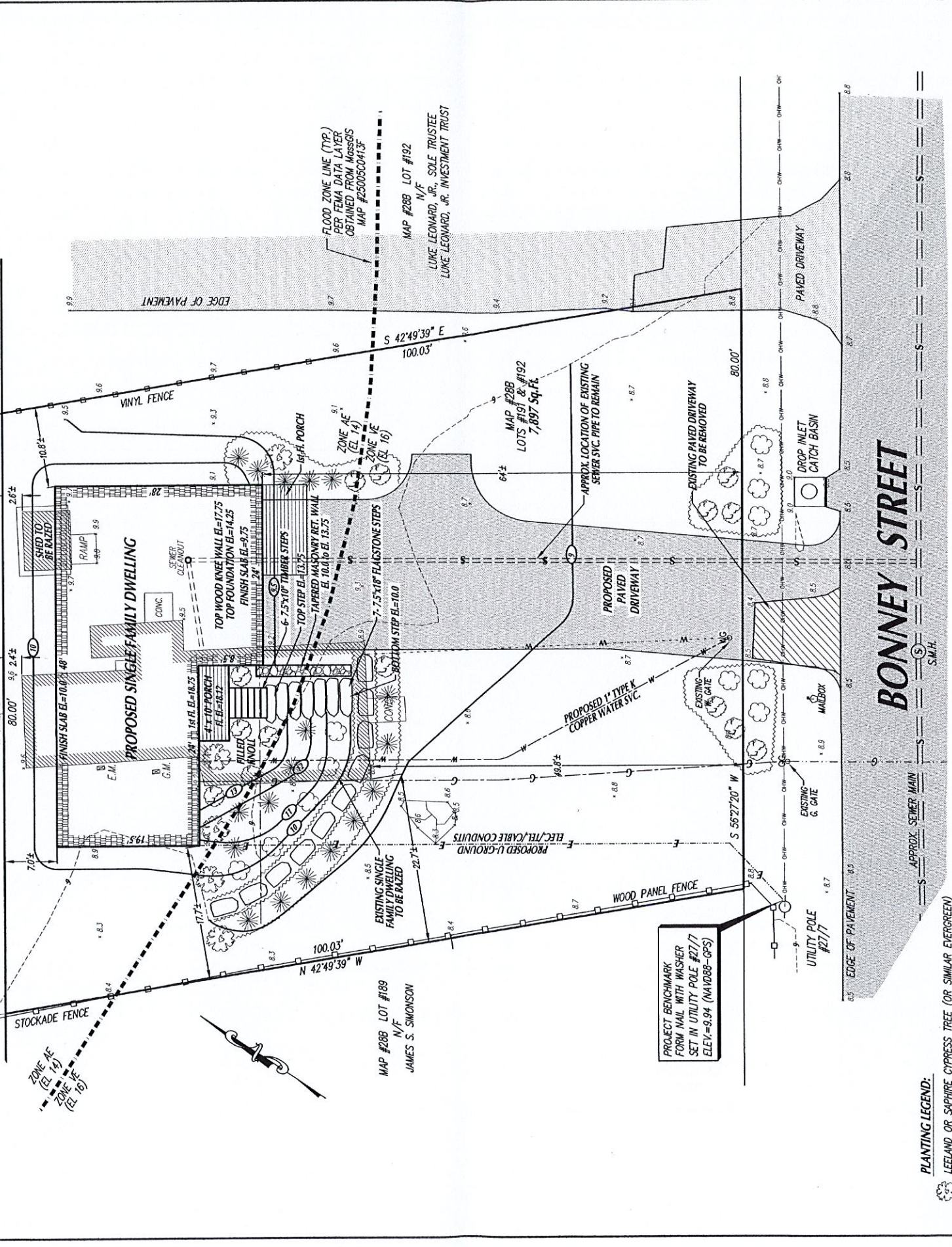
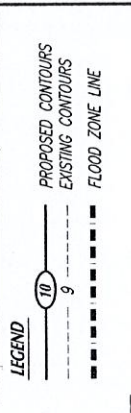
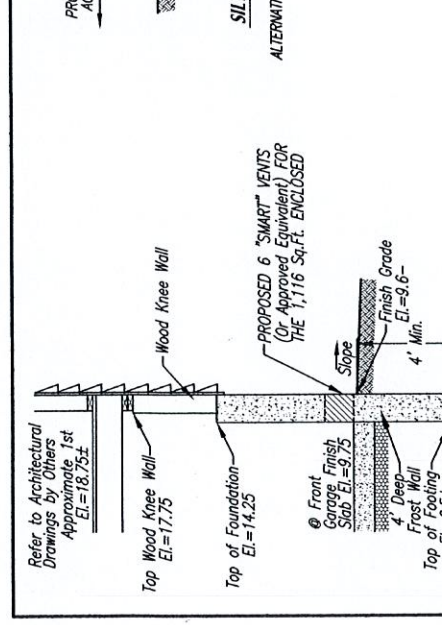
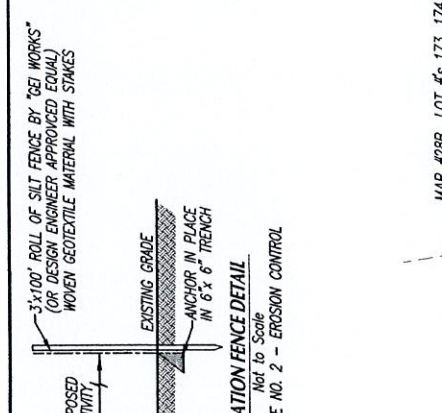
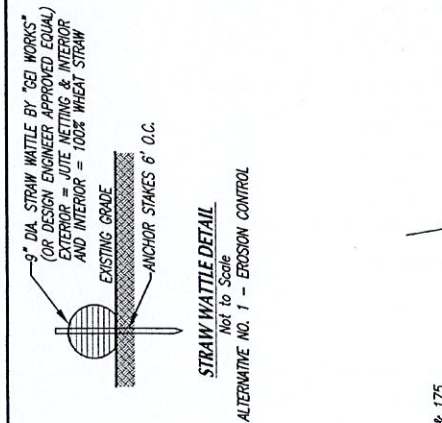
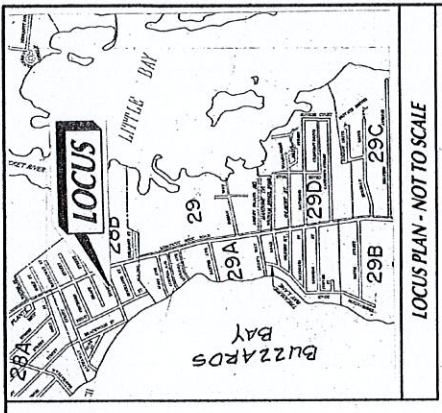
Rev. #	DATE	BY	DESCRIPTION
1			

**FOUNDATION AS-BUILT PLAN**  
 FOR PROPERTY KNOWN AS  
 MAP 28B LOTS 190 & 191  
**18 BONNEY STREET**  
**FAIRHAVEN, MA**  
 PREPARED FOR  
**ALAN & MARY WOLFE**

SCALE: 1"=10' DATE: JUNE 25, 2019

**SCHNEIDER, DAVIGNON & LEONE, INC.**  
 PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
 1 COUNTY RD, P.O. BOX 480, MATTAPOISETT, MA 02739  
 1-508-758-7866

Drawn By: M.C.L. Check By: N.D.S. Job No. 2996



Rev. #	DATE	BY	DESCRIPTION
1	11-21-18	D.M.D.	ADD PLANTING AREAS, ADJUST FOUND. ELEVATION

**SITE PLAN**  
 SHOWING A PROPOSED REDEVELOPMENT OF PROPERTY KNOWN  
 as 18 BONNEY STREET in  
 FAIRHAVEN, MA  
 PREPARED FOR  
**ALAN & MARY WOLFE**  
 SCALE: 1"=10'  
 DATE: OCTOBER 24, 2018

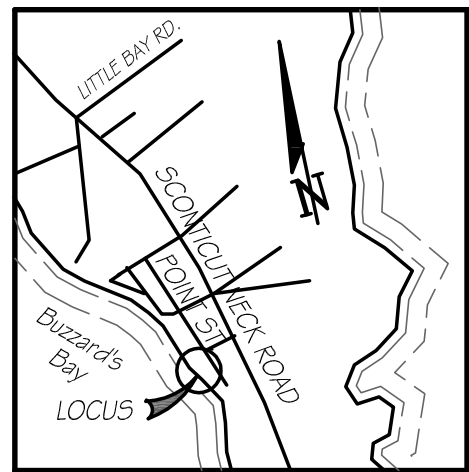
**N. Douglas Schneider & Associates, Inc.**  
 PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
 1 COUNTY RD. P.O. BOX 480, MATTAPOISETT, MA 01939  
 1-508-768-7866  
 Drawn By: D.M.D. Check By: N.D.S. Job No. 2996

**SITE INFORMATION:**  
 SITE ADDRESS: 18 BONNEY STREET  
 ASSESSORS MAP # 28B  
 ASSESSORS LOTS # 190, 191  
 HOUSE BUILT CIRCA 1940  
 ZONING DISTRICT: RESIDENCE A (RA)  
 BUILDING SETBACKS:  
 FRONT: 30' SIDE: 10'  
 REAR: 30' FEMA FLOOD ZONE: AE ELEV 15.0  
 FEMA FLOOD ZONE: VE ELEV 16.0  
 F.I.R.M. PANEL NO. 25005C 0413.F  
 PROPOSED BUILDING COVERAGE = 14.1%  
 PROPOSED LOT COVERAGE = 29.6%  
 APPLICANTS/OWNERS:  
 ALAN & MARY WOLFE  
 74 TURNPIKE ROAD, APT. #304  
 TOWNSEND, MA 01469  
 DEED BOOK 12300, PAGE 15



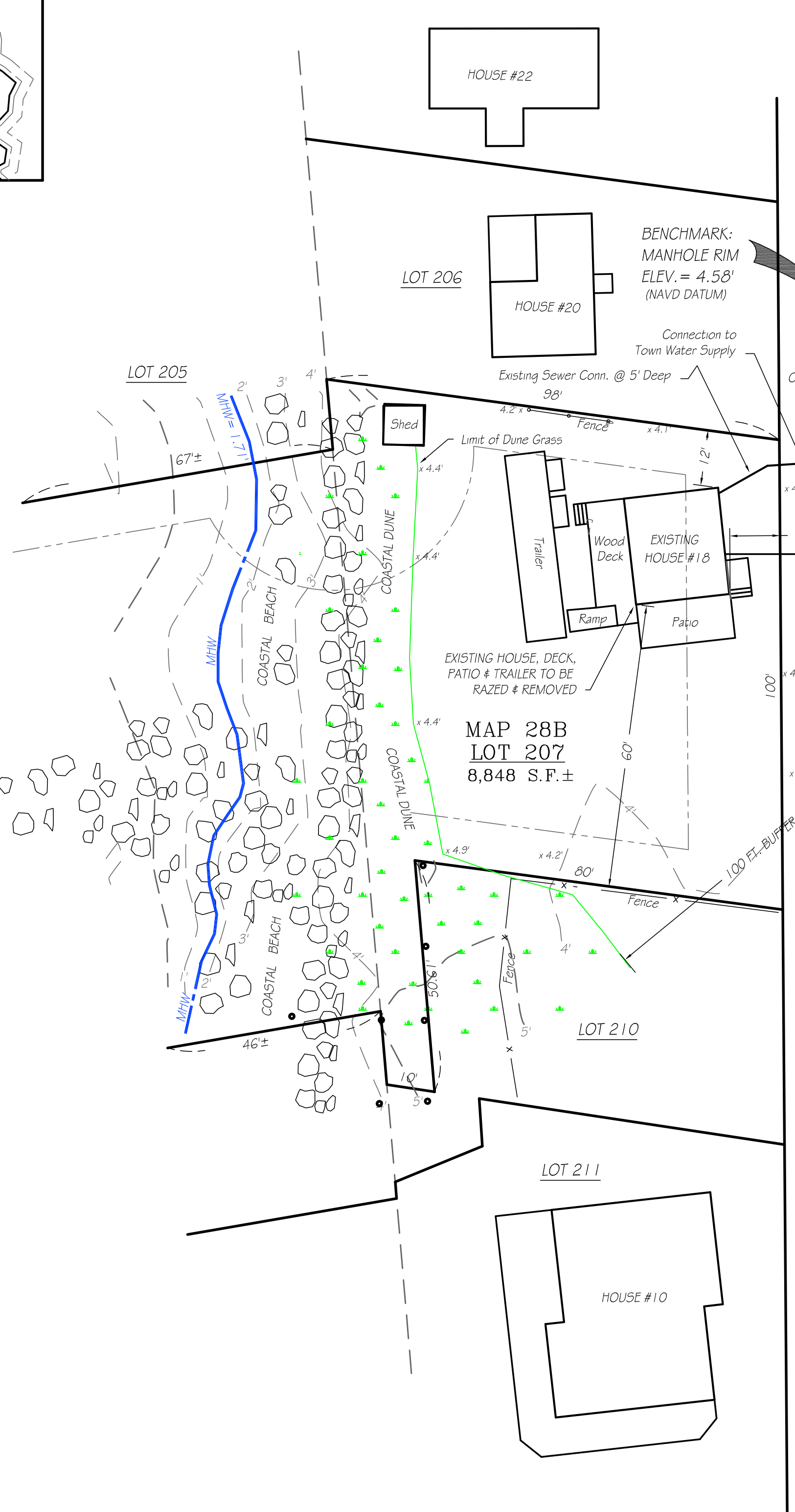
- PLANTING LEGEND:**
- LEELAND OR SAPHIRE CYPRESS TREE (OR SIMILAR EVERGREEN)
  - BOXWOOD SHRUBS (OR SIMILAR LOW SHRUB)
  - HYDRANGEA SHRUBS (OR SIMILAR FLOWERING SHRUBS)
  - LILIES AND FLOCKS (OR SIMILAR LOW FLOWING PLANTS)

- GENERAL NOTES:**
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION THROUGH "DIG SAFE" AND OTHER APPROPRIATE AGENCIES, AND REPORT ANY DISCREPANCIES TO THIS OFFICE.
  - CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ALL DISCREPANCIES FOUND RELATIVE TO SITE CONDITIONS AND THOSE SHOWN ON THIS PLAN PRIOR TO CONTINUATION OF ANY WORK.
  - ANY AND ALL CHANGES FROM THE SITE DESIGN LAYOUT SHOWN MUST BE APPROVED BY THIS OFFICE, AND OTHER APPROPRIATE LOCAL OFFICIALS.
  - PRIOR TO BACKFILL, ALL WATER SERVICE PIPE AND CONNECTIONS SHALL BE INSPECTED BY THE TOWN OF FAIRHAVEN WATER DEPARTMENT.
  - PRIOR TO BACKFILL, ALL SEWER SERVICE PIPE AND CONNECTIONS SHALL BE INSPECTED BY THE TOWN OF FAIRHAVEN SEWER DEPARTMENT.
  - PRIOR TO CONSTRUCTION, CONTRACTOR SHALL INSTALL EROSION CONTROL BARRIER AS SHOWN AND THEN CONTACT THE CONSERVATION COMMISSION AGENT FOR AN INSPECTION.
- FOUNDATION - FLOOD PLAIN NOTES:**
- FOUNDATION IS PROPOSED TO BE LOCATED IN FLOOD ZONE AE (EL. 14) PER THE FAIRHAVEN F.I.R.M.
  - LIVING SPACE - FINISHED FLOOR SHALL BE SET AT OR ABOVE ELEVATION 15.0 (NAVD 88' DATUM)
  - THE PROPOSED TOP OF FOUNDATION ELEVATION SHOWN = 14.25 AND TOP OF WOOD KNEE WALL EL.=17.75.
  - FLOOD OPENINGS ARE REQUIRED ON 2 WALLS IN COMPLIANCE WITH F.E.M.A. REQUIREMENTS
  - FOUNDATION AND WALL CONNECTIONS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER IN COMPLIANCE WITH MASS. BUILDING CODE AND F.E.M.A. REQUIREMENTS.

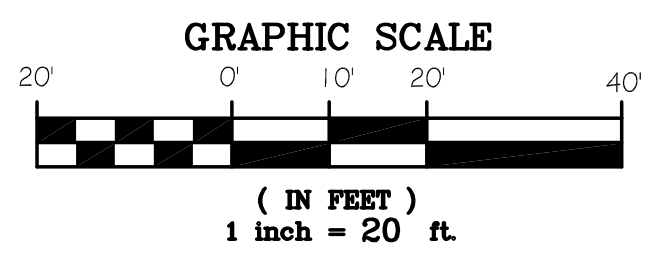


LOCUS PLAN  
1" = 2000 FT. +/-

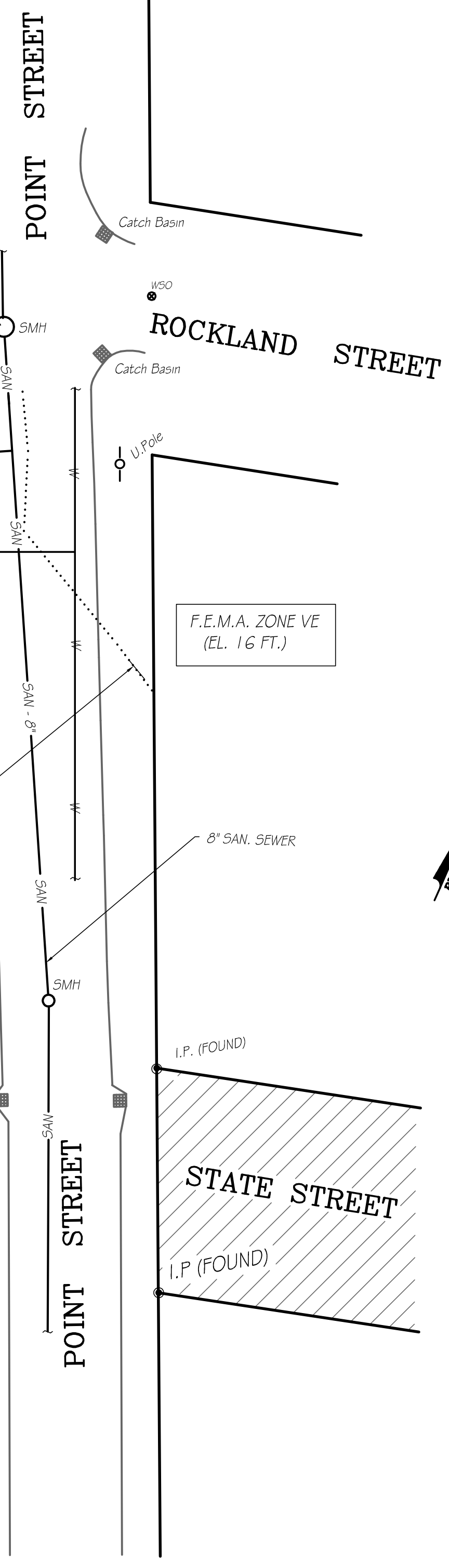
Priest's Cove



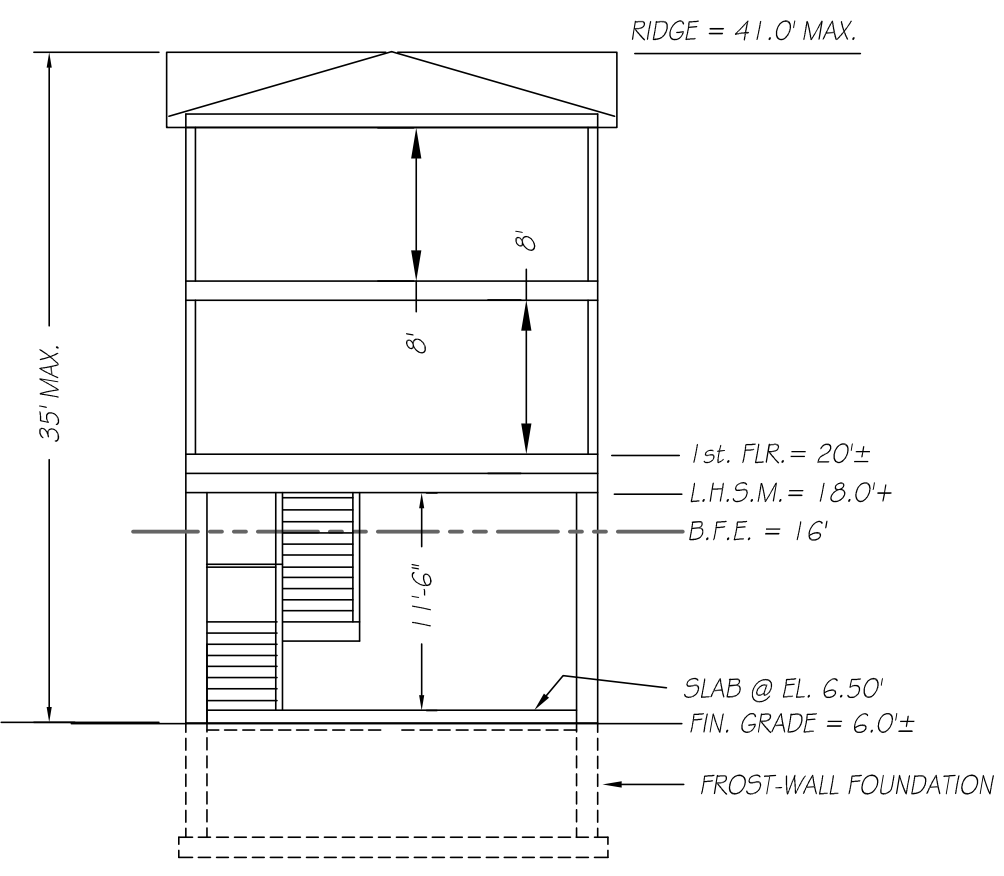
EXISTING SITE PLAN  
SCALE: 1" = 20 FT.



- LEGEND:**
- EXISTING CONTOURS: [Symbol]
  - PROPOSED CONTOURS: [Symbol]
  - EDGE OF WETLANDS: [Symbol]
  - LIMIT OF BUFFER ZONE: [Symbol]
  - LIMITS OF F.E.M.A. ZONES: [Symbol]
  - MEAN HIGH WATER LINE: [Symbol]
  - LIMIT OF WORK: [Symbol]
  - SPOT ELEVATIONS: [Symbol]
  - TEST PIT LOCATION: [Symbol]
  - DELINEATION FLAG: [Symbol]



PROPOSED SITE PLAN  
SCALE: 1" = 20 FT.



PROPOSED HOUSE ELEVATIONS  
NOT TO SCALE  
HOUSE SHOWN IS SCHEMATIC ONLY AND SHOWN TO ESTABLISH MINIMUM REQUIRED ELEVATIONS AND MAXIMUM BUILDING HEIGHT.

- GENERAL NOTES:**
- THE SCOPE OF WORK INCLUDES DEMOLITION OF EXISTING HOUSE #18 AND CONSTRUCTION OF NEW RESIDENCE ON FLOOD ZONE-COMPLIANT FOUNDATION, CONNECTIONS TO TOWN SEWER AND TOWN WATER SUPPLY, AND ASSOCIATED SITEWORK & LANDSCAPING.
  - THIS PARCEL IS SHOWN AS LOT 207 OF ASS5550RS MAP 28.B ZONING: SINGLE RESIDENCE DISTRICT - RA DEED REFERENCE: BOOK 13322 PAGE 204
  - THE DWELLING SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD ZONE (ZONE VE, EL. 16') AS DELINEATED ON F.E.M.A. COMMUNITY PANEL 25005C0413F DATED JULY 7, 2009. PROPOSED RESIDENCE SHALL BE CONSTRUCTED ON OPEN PILE FOUNDATION IN ACCORDANCE WITH THE PROVISIONS OF THE MASS. STATE BUILDING CODE, 9th EDITION.
  - NOTIFY DIG-SAFE AND LOCAL UTILITIES PRIOR TO ANY EXCAVATION.
  - VERIFY LOCATION OF SITE UTILITIES PRIOR TO ANY WORK.
  - MINIMUM LOT REQUIREMENTS: 15,000 S.F. WITH 100 FT. FRONTAGE  
FRONT SETBACK = 20 FT.  
REAR SETBACK = 30 FT.  
SIDE SETBACK = 10 FT.  
MAXIMUM LOT COVERAGE = 50%  
MAXIMUM BUILDING COVERAGE = 30%  
EXISTING HOUSE, TRAILER & SHED = 1,220 S.F.  
EXISTING BUILDING COVERAGE = 1,220 S.F. / 16,476 S.F. = 7.4%  
PROPOSED HOUSE + SHED = 2,180 S.F.  
PROPOSED BUILDING COVERAGE = 2,180 S.F. / 16,476 S.F. = 13.2%
  - MEAN HIGH WATER = 1.71' (BUZZARDS BAY NATIONAL ESTUARY PROGRAM TIDAL DATUM VIEWER)
  - CONCRETE DRIVEWAY SHALL BE REINFORCED WITH WELDED WIRE FABRIC.

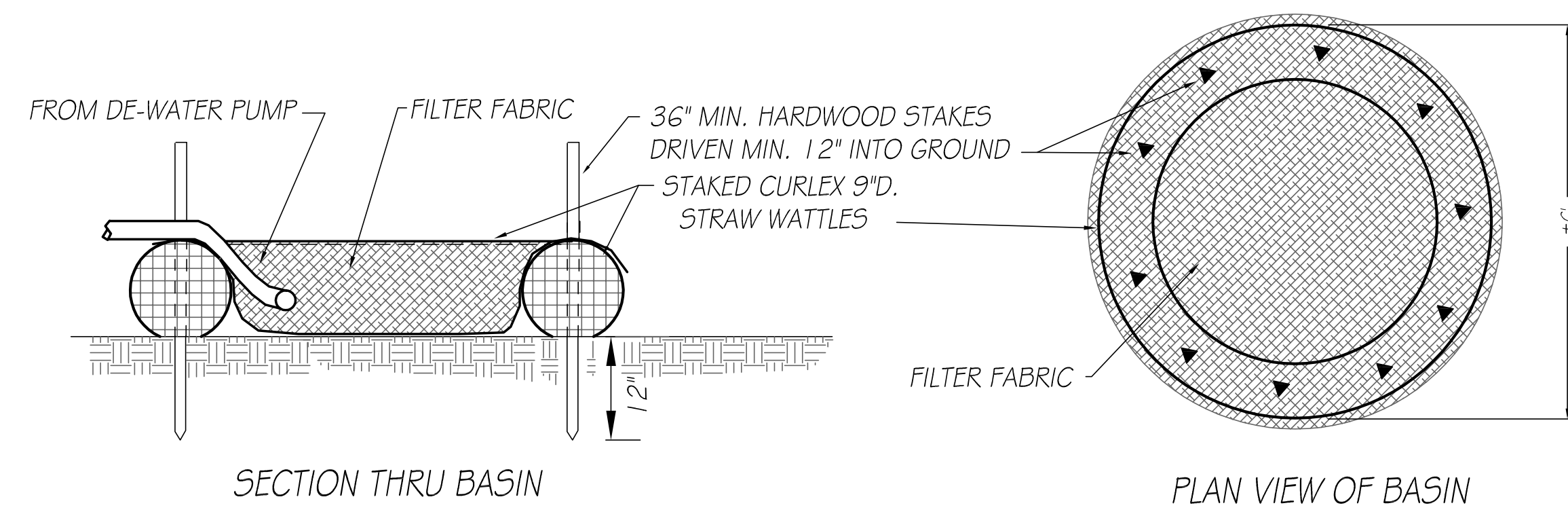
D.E.P. FILE NO.: 023 -

**SITE PLAN OF  
PROPOSED HOUSE & UTILITIES**  
PREPARED FOR  
**ANTONIO & DOREEN M. ALBUQUERQUE**  
18 POINT STREET  
FAIRHAVEN, MASS.

**CAI** Charon Associates, Inc.  
Consulting Engineers  
323 Neck Road - Rochester, MA 02770  
Tel: 508-763-8362 Fax: 508-763-9582

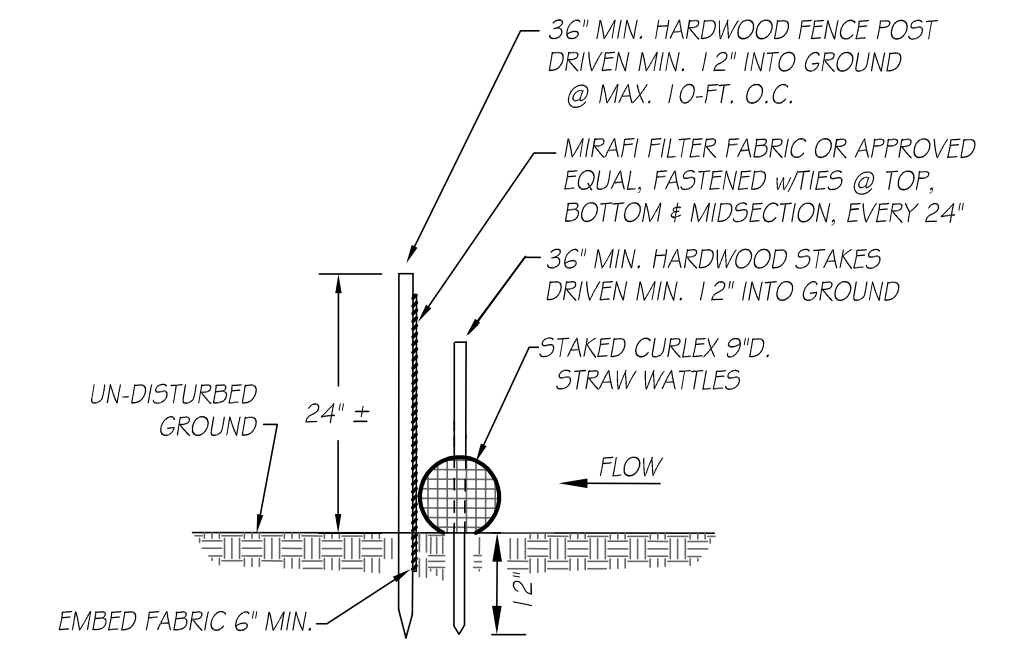
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DATE: SEPTEMBER 14, 2020  
REV. 1: OCT. 13, 2020

DWG. NO.  
**L-1**



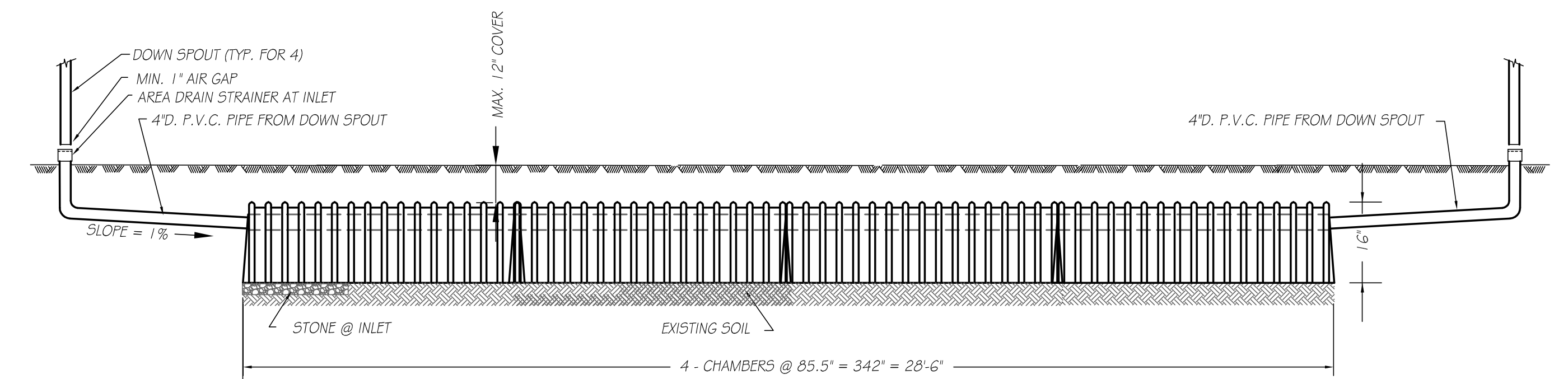
**DE-WATERING SILT TRAP**  
NOT TO SCALE

NOTE:  
1. ALL EXCAVATION BELOW THE GROUND WATER TABLE SHALL BE DE-WATERED WITH PUMP DISCHARGE TO DE-WATERING SILT TRAP.



NOTE: STRAW WATTLES SHALL BE COMPOSED OF STRAW FIBERS ENCASED IN DURABLE BIODEGRADABLE NETTING.

**SILT BARRIER DETAIL**  
N.T.S.



**RE-CHARGE SYSTEM**  
N.T.S.

RE-CHARGE SYSTEM CALCULATION:  
TOTAL ROOF AREA = 1,350 S.F.  
ROOF AREA PER SYSTEM = 1,350 S.F. x 1/2 = 675 S.F.  
VOLUME PER SYSTEM = ROOF AREA x 1/12 = 675 x 1/12 = 56 CU. FT.  
VOLUME PER CHAMBER = 14.7 CU. FT.  
NO. OF CHAMBERS PER SYSTEM = 56 CU. FT. / 14.7 = 3.8 CHAMBERS PER SYSTEM  
USE 4 CHAMBERS PER SYSTEM

CHAMBERS SHALL BE 'STORMTECH' MODEL SC-310.  
STRAINER SCREEN SHALL BE CLEANED ON A MONTHLY BASIS TO REMOVE LEAVES AND DEBRIS THAT MAY CLOG THE LEACHING SURFACES OF THE CHAMBERS.

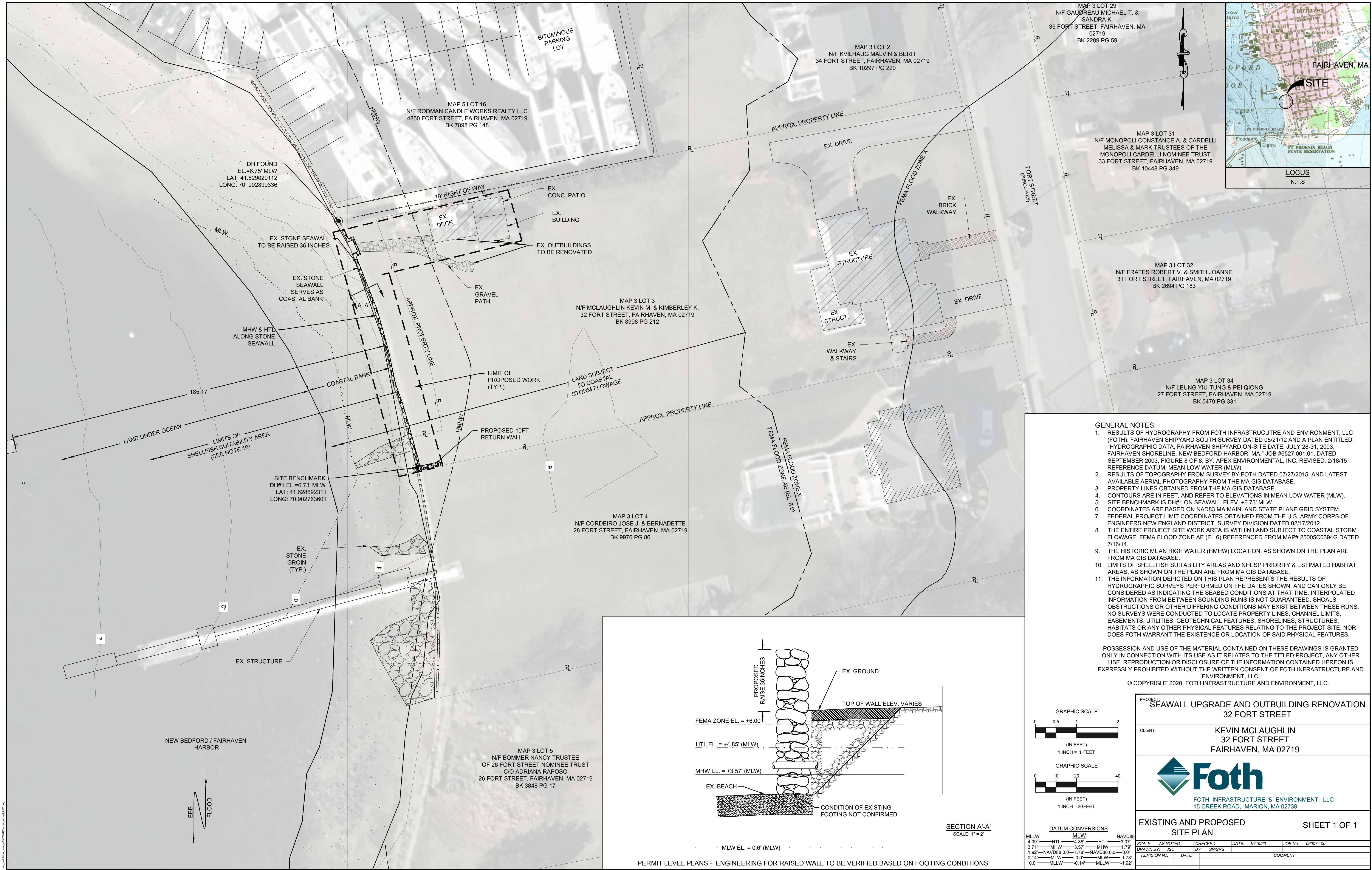
D.E.P. FILE NO.: 023 -

**SITE PLAN OF  
PROPOSED HOUSE & UTILITIES**  
PREPARED FOR  
**ANTONIO & DOREEN M. ALBUQUERQUE**  
18 POINT STREET  
FAIRHAVEN, MASS.

**CAI** Charon Associates, Inc.  
Consulting Engineers  
323 Neck Road - Rochester, MA 02770  
Tel: 508-763-8362 Fax: 508-763-9582

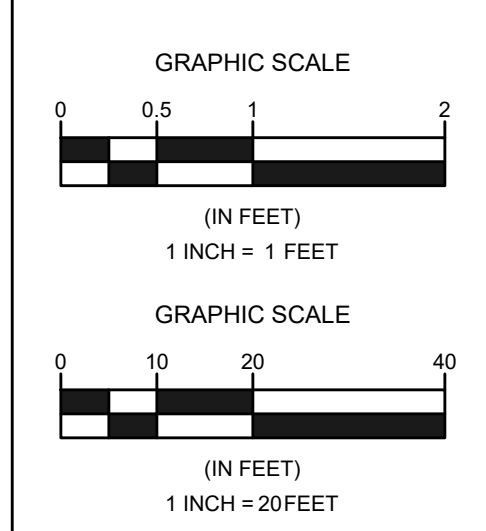
SCALE: AS NOTED  
DATE: SEPTEMBER 14, 2020  
REV. 1: OCT. 13, 2020

DWG. NO.  
**L-2**



- GENERAL NOTES:**
- RESULTS OF HYDROGRAPHY FROM FOTH INFRASTRUCTURE AND ENVIRONMENT, LLC (FOTH), FAIRHAVEN SHIPYARD SOUTH SURVEY DATED 05/21/12 AND A PLAN ENTITLED: "HYDROGRAPHIC DATA, FAIRHAVEN SHIPYARD, ON-SITE DATE: JULY 28-31, 2003, FAIRHAVEN SHORELINE, NEW BEDFORD HARBOR, MA." JOB #6527.001.01, DATED SEPTEMBER 2003, FIGURE 8 OF 8, BY: APEX ENVIRONMENTAL, INC. REVISED: 2/18/15 REFERENCE DATUM: MEAN LOW WATER (MLW).
  - RESULTS OF TOPOGRAPHY FROM SURVEY BY FOTH DATED 07/27/2015; AND LATEST AVAILABLE AERIAL PHOTOGRAPHY FROM THE MA GIS DATABASE.
  - PROPERTY LINES OBTAINED FROM THE MA GIS DATABASE.
  - CONTOURS ARE IN FEET, AND REFER TO ELEVATIONS IN MEAN LOW WATER (MLW).
  - SITE BENCHMARK IS DH#1 ON SEAWALL ELEV. +6.73' MLW.
  - COORDINATES ARE BASED ON NAD83 MA MAINLAND STATE PLANE GRID SYSTEM.
  - FEDERAL PROJECT LIMIT COORDINATES OBTAINED FROM THE U.S. ARMY CORPS OF ENGINEERS NEW ENGLAND DISTRICT, SURVEY DIVISION DATED 02/17/2012.
  - THE ENTIRE PROJECT SITE WORK AREA IS WITHIN LAND SUBJECT TO COASTAL STORM FLOWAGE. FEMA FLOOD ZONE AE (EL. 6) REFERENCED FROM MAP# 25005C0394G DATED 7/16/14.
  - THE HISTORIC MEAN HIGH WATER (MHMW) LOCATION, AS SHOWN ON THE PLAN ARE FROM MA GIS DATABASE.
  - LIMITS OF SHELLFISH SUITABILITY AREAS AND NHESP PRIORITY & ESTIMATED HABITAT AREAS, AS SHOWN ON THE PLAN ARE FROM MA GIS DATABASE.
  - THE INFORMATION DEPICTED ON THIS PLAN REPRESENTS THE RESULTS OF HYDROGRAPHIC SURVEYS PERFORMED ON THE DATES SHOWN, AND CAN ONLY BE CONSIDERED AS INDICATING THE SEABED CONDITIONS AT THAT TIME. INTERPOLATED INFORMATION FROM BETWEEN SOUNDING RUNS IS NOT GUARANTEED. SHOALS, OBSTRUCTIONS OR OTHER DIFFERING CONDITIONS MAY EXIST BETWEEN THESE RUNS. NO SURVEYS WERE CONDUCTED TO LOCATE PROPERTY LINES, CHANNEL LIMITS, EASEMENTS, UTILITIES, GEOTECHNICAL FEATURES, SHORELINES, STRUCTURES, HABITATS OR ANY OTHER PHYSICAL FEATURES RELATING TO THE PROJECT SITE, NOR DOES FOTH WARRANT THE EXISTENCE OR LOCATION OF SAID PHYSICAL FEATURES.

POSSESSION AND USE OF THE MATERIAL CONTAINED ON THESE DRAWINGS IS GRANTED ONLY IN CONNECTION WITH ITS USE AS IT RELATES TO THE TITLED PROJECT. ANY OTHER USE, REPRODUCTION OR DISCLOSURE OF THE INFORMATION CONTAINED HEREON IS EXPRESSLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF FOTH INFRASTRUCTURE AND ENVIRONMENT, LLC.  
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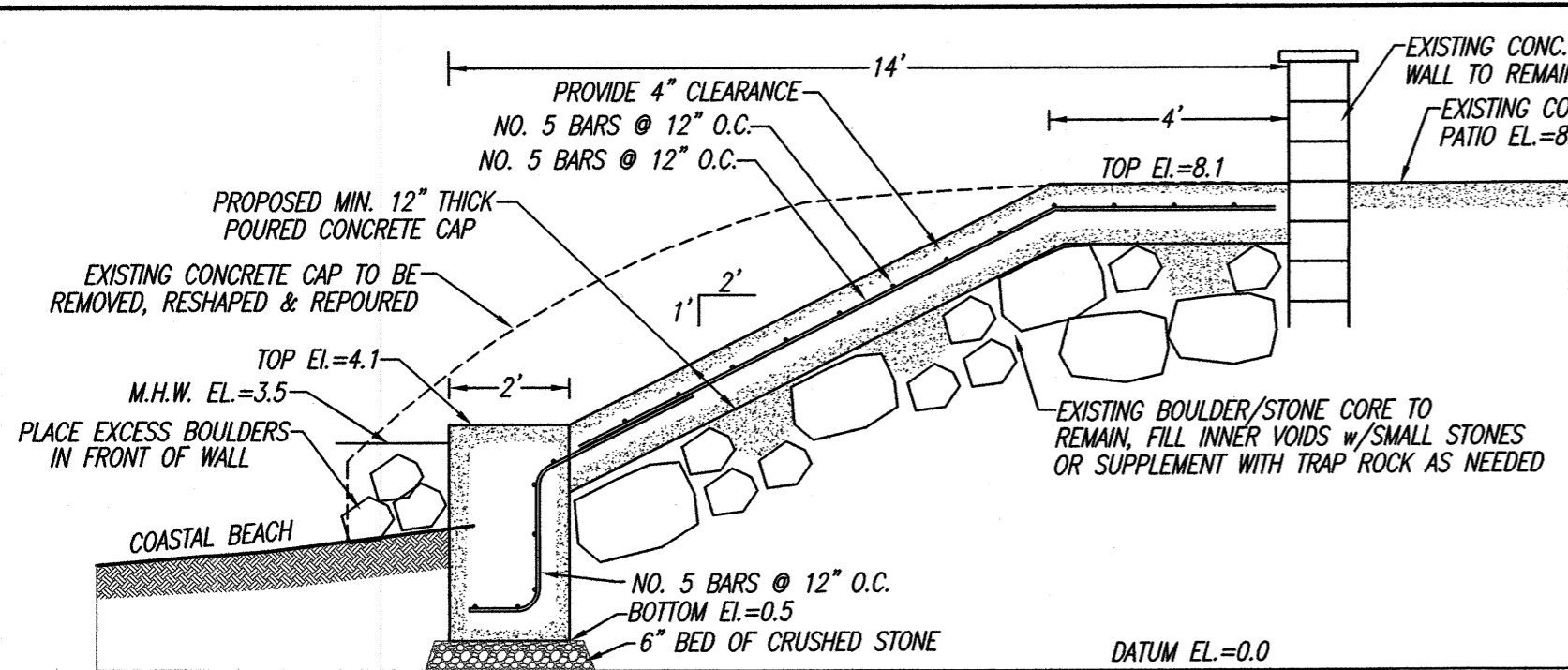


**DATUM CONVERSIONS**

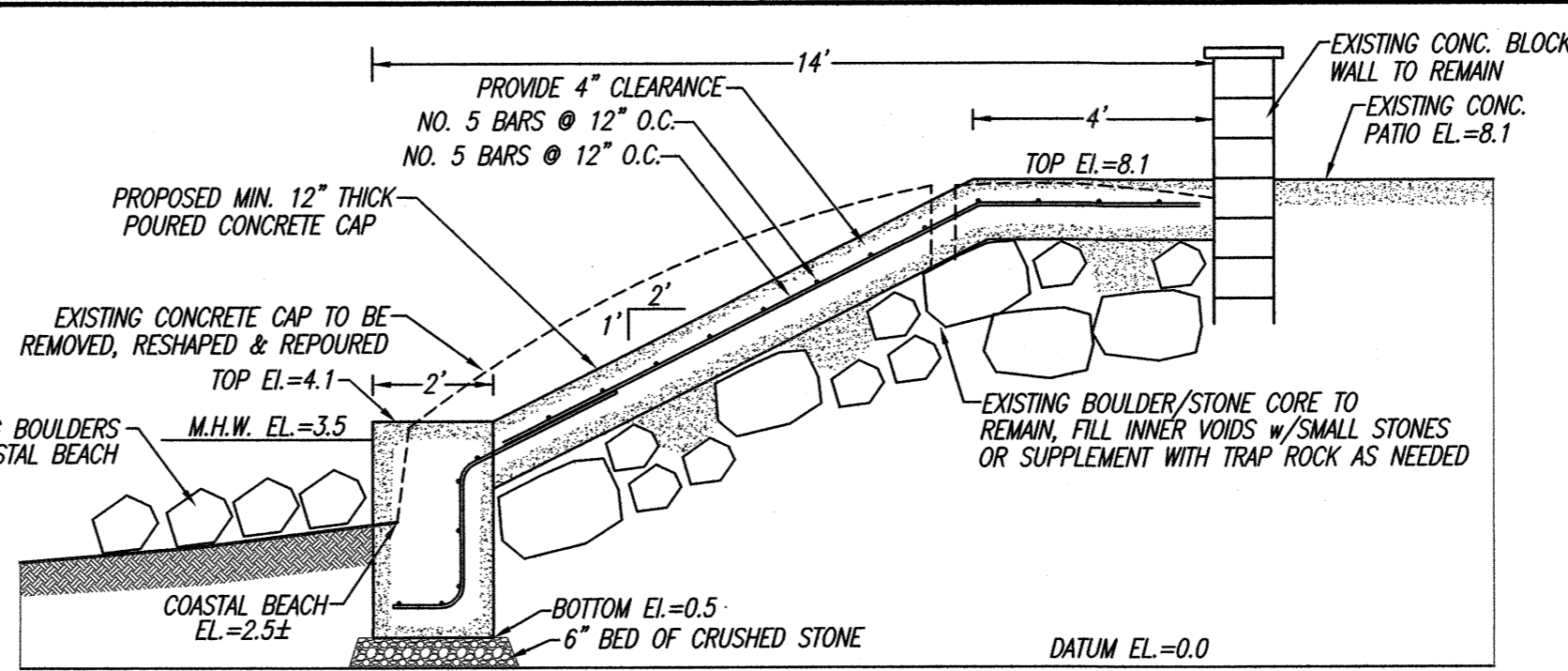
MLLW	MLW	MLW	NAVD88
4.99'	-HTL -4.85'	-HTL -3.07'	
3.71'	-MHW -3.57'	-MHW -1.79'	
1.92'	-NAVD88 0.0 -1.78'	-NAVD88 0.0 -0.0'	
0.14'	-MLW 0.0'	-MLW -1.78'	
0.0'	-MLLW -0.14'	-MLLW -1.92'	

<b>PROJECT:</b> SEAWALL UPGRADE AND OUTBUILDING RENOVATION 32 FORT STREET			
<b>CLIENT:</b> KEVIN MCLAUGHLIN 32 FORT STREET FAIRHAVEN, MA 02719			
FOTH INFRASTRUCTURE & ENVIRONMENT, LLC 15 CREEK ROAD, MARION, MA 02738			
<b>EXISTING AND PROPOSED SITE PLAN</b>		<b>SHEET 1 OF 1</b>	
<b>SCALE:</b> AS NOTED	<b>CHECKED:</b>	<b>DATE:</b> 10/19/20	<b>JOB NO.:</b> 06007.100
<b>DRAWN BY:</b> JSD	<b>BY:</b> SN/SRS		
<b>REVISION NO.:</b>	<b>DATE:</b>	<b>COMMENT:</b>	

PERMIT LEVEL PLANS - ENGINEERING FOR RAISED WALL TO BE VERIFIED BASED ON FOOTING CONDITIONS



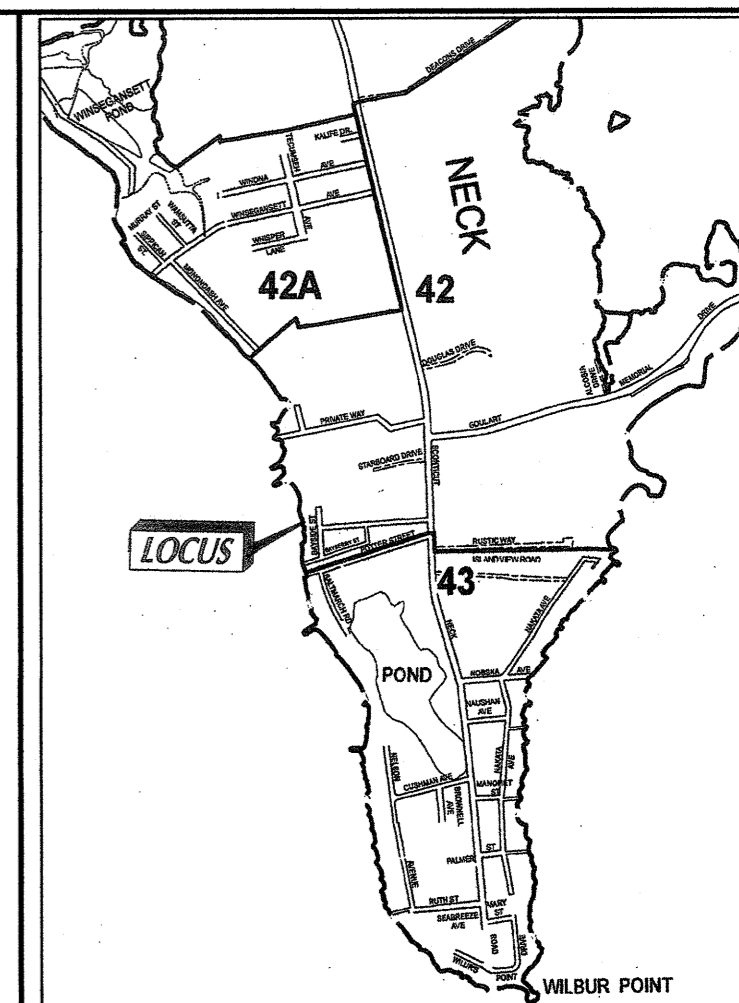
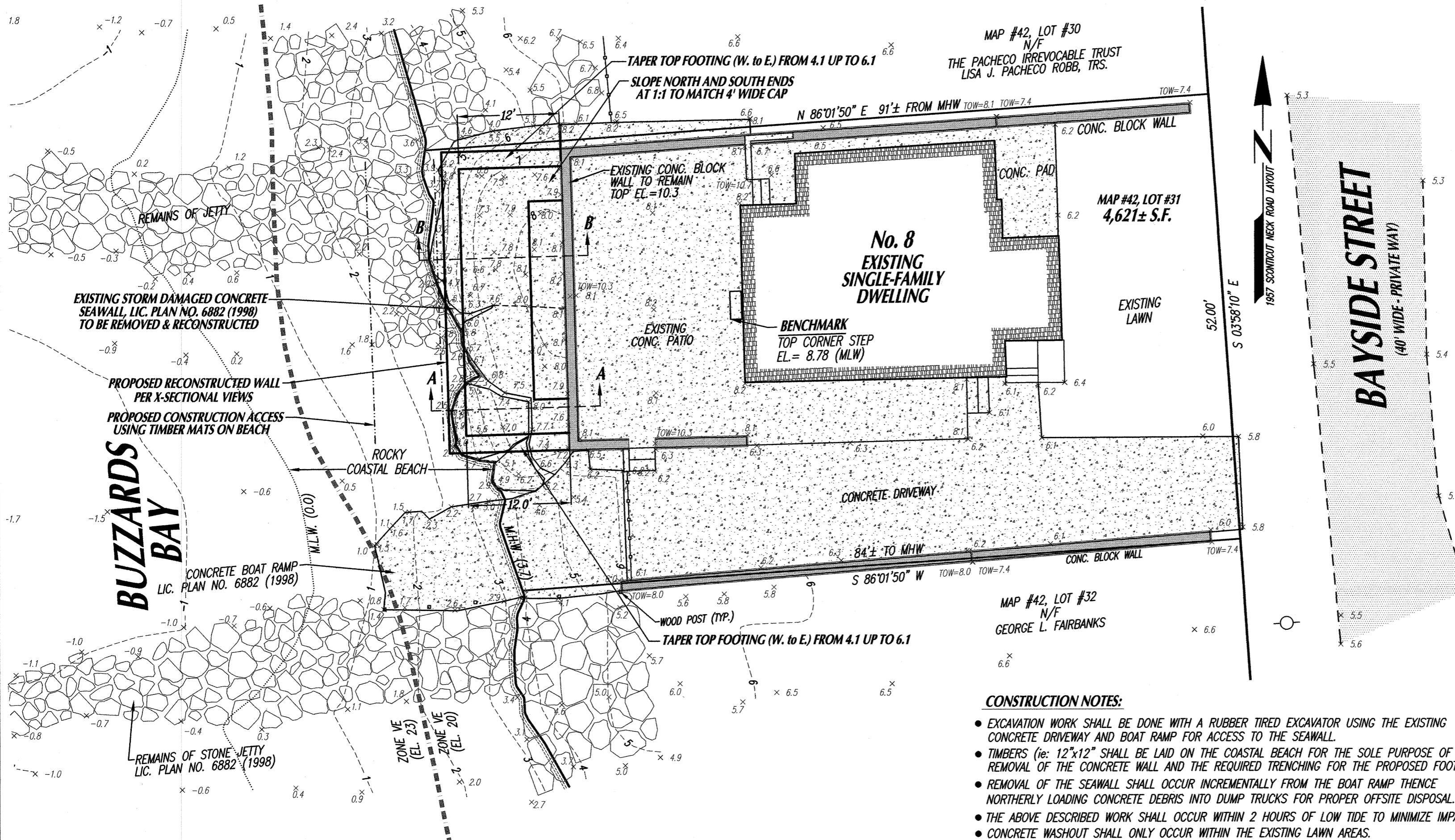
**SEAWALL X-SECTION B-B**  
SCALE: 1"=2'



**SEAWALL X-SECTION A-A**  
SCALE: 1"=2'

**CONSTRUCTION MATERIAL NOTES:**

- 1.) CEMENT CONCRETE SHALL BE CLASS 4000 WITH A 3/8" MAXIMUM AGGREGATE AND SHALL BE CONSIDERED AS EXPOSED TO SEA WATER FOR THE PURPOSE OF CONCRETE MIX DESIGN.
- 2.) REINFORCING BARS SHALL BE EPOXY COATED.
- 3.) REINFORCING BARS SHALL HAVE A MINIMUM 3" CLEARANCE FROM EDGES OF CONCRETE.



**LOCUS PLAN**  
NOT TO SCALE

- LEGEND**
- 8 --- EXISTING CONTOURS
  - ===== MEAN HIGH WATER
  - - - - - FLOOD ZONE LINES
  - ~~~~~ EDGE OF BRUSH

**SITE INFORMATION:**

ASSESSORS MAP # 42  
ASSESSORS LOT # 31  
SITE ADDRESS: 8 BAYSIDE STREET  
FEMA FLOOD ZONE: VE (EL. 20)  
AND FLOOD ZONE: VE (EL. 23)  
F.I.R.M. PANEL NO: 25005C0503F

ZONING DISTRICT: RURAL RESIDENCE (RR)  
RR BUILDING SETBACKS:  
FRONT: 30'  
REAR: 30' SIDE: 20'

**APPLICANT/OWNER**

THE JOSEPH B. MELO IRREVOCABLE TRUST  
MARIA B. TULLY, TRUSTEE  
15 BUTLER AVENUE  
STONEHAM, MA 02180  
SEE DEED BOOK 9781, PAGE 179



11/03/2020  
David M. Davignon

**CONSTRUCTION NOTES:**

- EXCAVATION WORK SHALL BE DONE WITH A RUBBER Tired EXCAVATOR USING THE EXISTING CONCRETE DRIVEWAY AND BOAT RAMP FOR ACCESS TO THE SEAWALL.
- TIMBERS (ie: 12"x12" SHALL BE LAID ON THE COASTAL BEACH FOR THE SOLE PURPOSE OF REMOVAL OF THE CONCRETE WALL AND THE REQUIRED TRENCHING FOR THE PROPOSED FOOTING.
- REMOVAL OF THE SEAWALL SHALL OCCUR INCREMENTALLY FROM THE BOAT RAMP THENCE NORTHERLY LOADING CONCRETE DEBRIS INTO DUMP TRUCKS FOR PROPER OFFSITE DISPOSAL.
- THE ABOVE DESCRIBED WORK SHALL OCCUR WITHIN 2 HOURS OF LOW TIDE TO MINIMIZE IMPACTS.
- CONCRETE WASHOUT SHALL ONLY OCCUR WITHIN THE EXISTING LAWN AREAS.
- ALL DISTURBED BEACH AREAS SHALL BE RESTORED TO PRECONSTRUCTION CONDITIONS.

**GENERAL NOTES:**

- 1.) CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION THROUGH "DIG SAFE" AND OTHER APPROPRIATE AGENCIES, AND REPORT ANY DISCREPANCIES TO THIS OFFICE.
- 2.) CONTRACTOR SHALL NOTIFY THIS OFFICE OF ANY AND ALL DISCREPANCIES FOUND BETWEEN THE SITE CONDITIONS AND THOSE SHOWN ON THIS PLAN PRIOR TO THE CONTINUATION OF WORK.
- 3.) ANY AND ALL CHANGES FROM THE SITE DESIGN LAYOUT SHOWN MUST BE APPROVED BY THIS OFFICE, THE CONSERVATION COMMISSION AND OTHER APPROPRIATE LOCAL OFFICIALS.

1	Rev. #	DATE	BY	DESCRIPTION

**SEAWALL REPAIR PLAN**  
FOR PROPERTY LOCATED  
at 8 BAYSIDE STREET in  
FAIRHAVEN, MA  
PREPARED FOR  
**THE JOSEPH B. MELO FAMILY IRREVOCABLE TRUST**

SCALE: 1"=10' DATE: NOVEMBER 2, 2020  
0 5 10 20 30

**SCHNEIDER, DAVIGNON & LEONE, INC.**  
PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
1 COUNTY RD, P.O. BOX 480, MATTAPOISETT, MA 02739  
1-508-758-7866

Drawn By: D.M.D. Check By: N.D.S. Job No. 3344

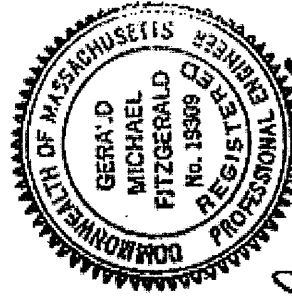
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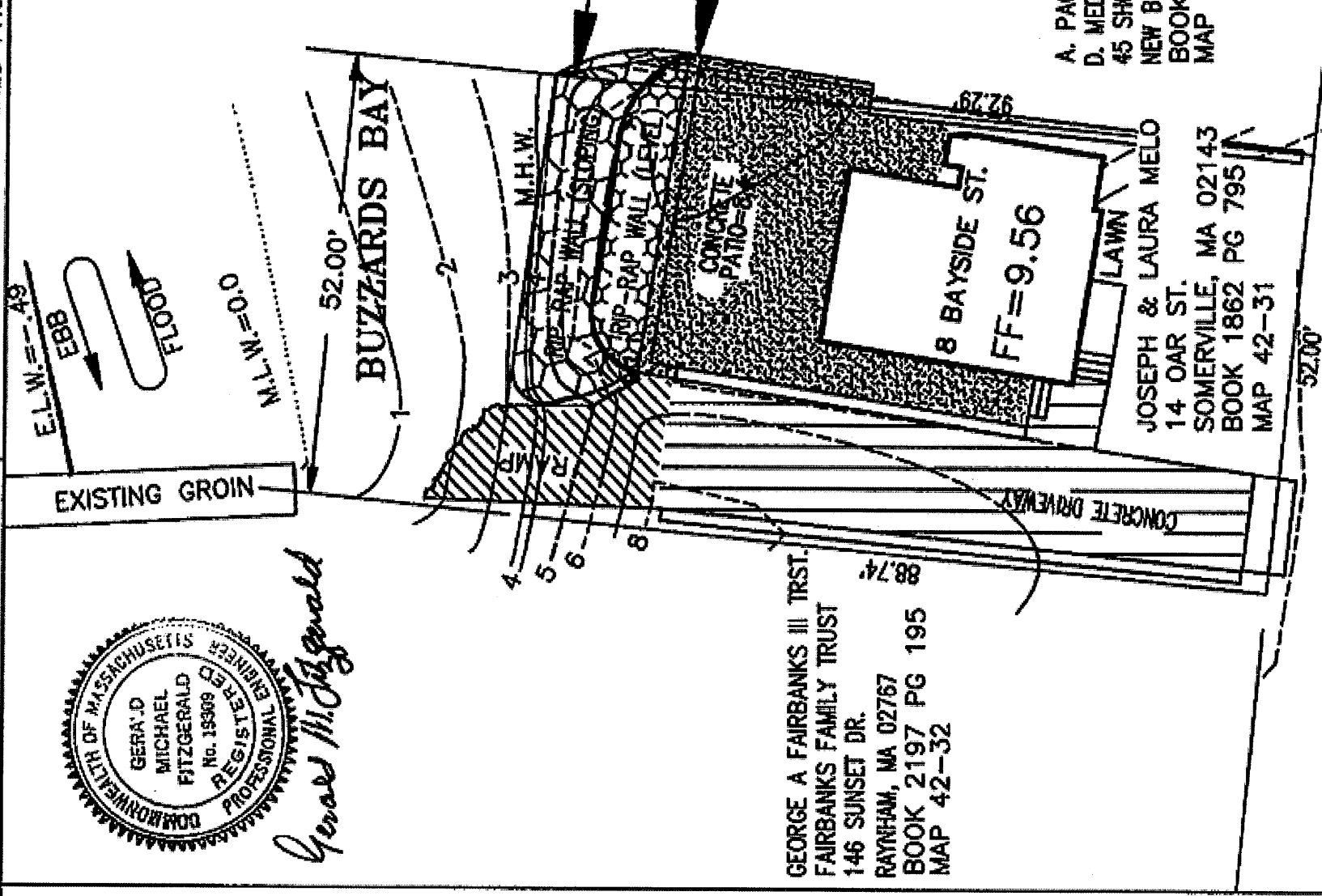
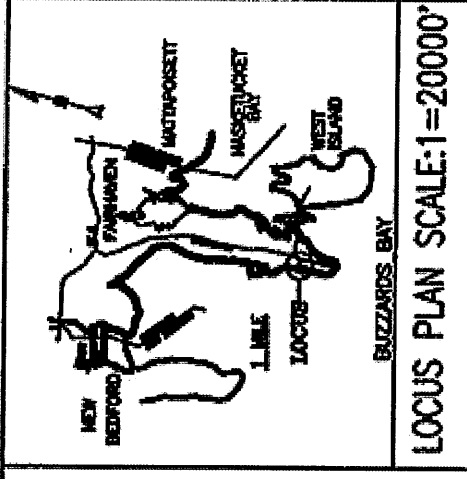
REC'D & RECORDED  
1998 FEB 11 AM 10:48  
REGISTRY OF DEEDS  
BRISTOL COUNTY  
SOUTHERN DISTRICT

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE TO THE RULES AND REGULATIONS OF THE BRISTOL COUNTY REGISTERS OF DEEDS.

8-24-95 *Gerald M. Fitzgerald*  
DATE REGISTERED PROFESSIONAL ENGINEER



*Gerald M. Fitzgerald*



GEORGE A FAIRBANKS III TRST.  
FAIRBANKS FAMILY TRUST  
146 SUNSET DR.  
RAYNHAM, MA 02767  
BOOK 2197 PG 195  
MAP 42-32

A. PACHECO, JR. ROBT. J. PACHECO,  
D. MEDEIROS, MARJORIE CATAJO, ET AL  
45 SHORT ST.  
NEW BEDFORD, MA 02740  
BOOK 1750 PG 1141  
MAP 42-30

JOSEPH & LAURA MELO  
14 OAR ST.  
SOMERVILLE, MA 02143  
BOOK 1862 PG 795  
MAP 42-31

PURPOSE: COASTAL REVETMENT  
DATUM: ELEVATION BASED ON M.L.W. (ELEV = 0.0)  
PLANS ACCOMPANYING PETITION OF: JOSEPH AND LAURA MELO 14 OAR ST, SOMERVILLE, MA 02143

8 BAYSIDE ST., FAIRHAVEN MA; MAP 42-31; BOOK 1862 PG 795

TO MAINTAIN AND REPAIR A  
CONCRETE AGGREGATE REVETMENT

PLAN BY: FITZGERALD ENGINEERING, INC.  
13 CHURCH ST.  
MATTAPoisSETT, MA 02739

LICENSE PLAN NO. **6882**  
Approved by Department of Environmental Protection  
of Massachusetts

*Elizabeth A. FitzGerald*

SHEET 1 OF 2 JUNE 30, 1995

JAN 08 1998

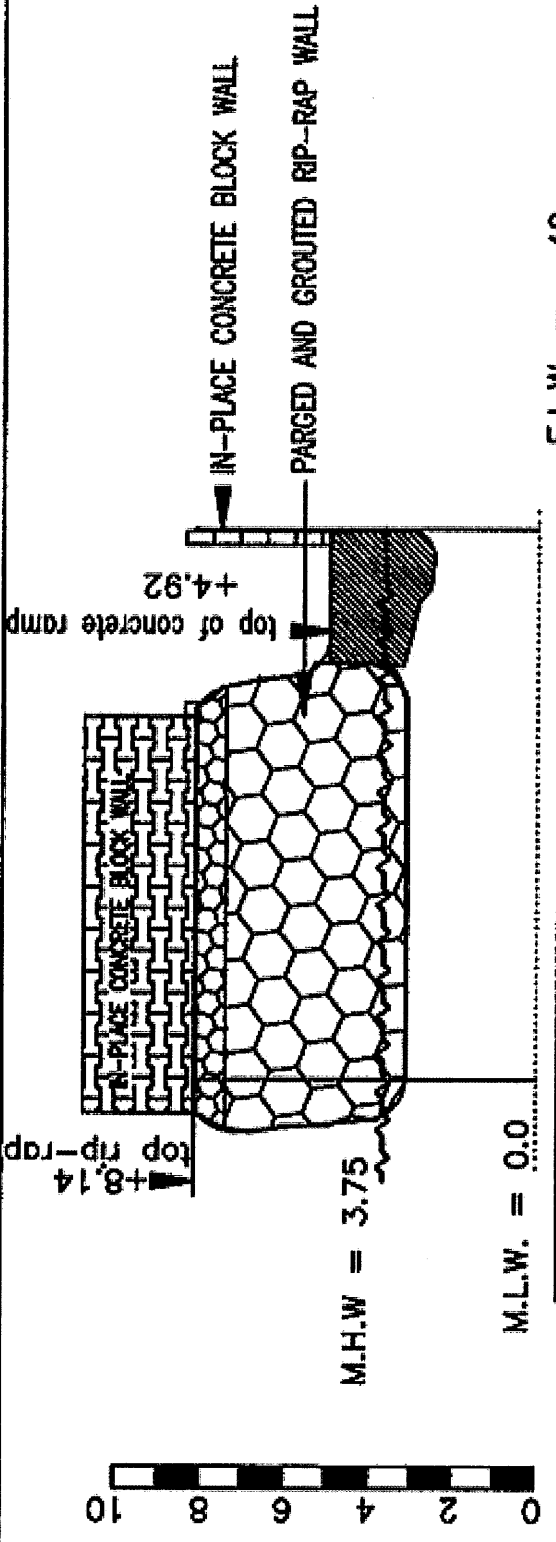
139-4

139-4

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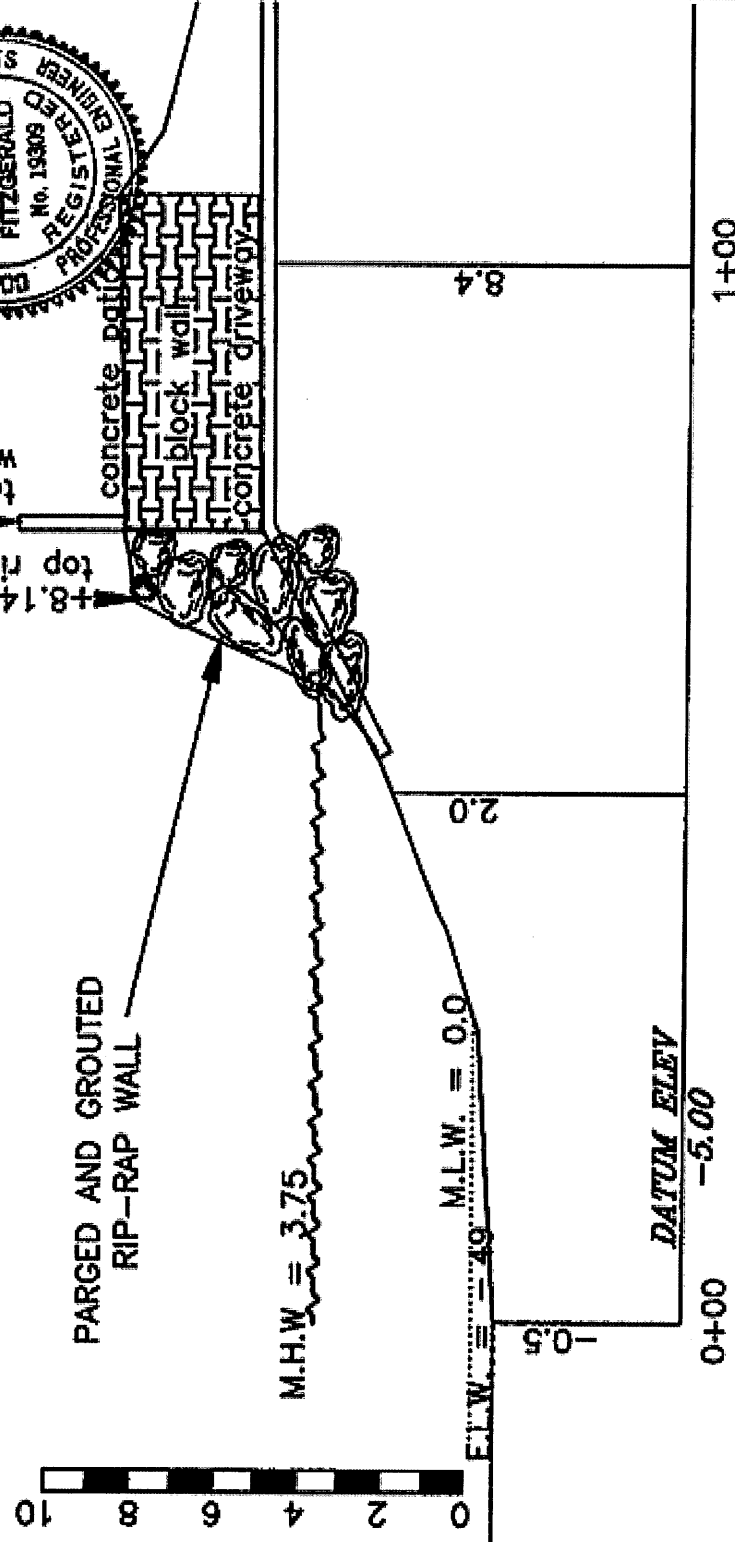
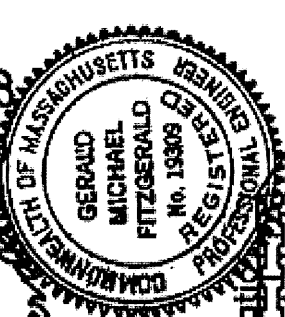
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE TO THE RULES AND REGULATIONS OF THE BRISTOL COUNTY REGISTERS OF DEEDS.

8-24-95 DATE *Gerald M. Fitzgerald* REGISTERED PROFESSIONAL ENGINEER



**ELEVATION OF REVETMENT**

HORIZONTAL SCALE: 1"=20'; VERTICAL SCALE 1"=5'



**CROSS-SECTION OF REVETMENT**

HORIZONTAL SCALE: 1"=20'; VERTICAL SCALE 1"=5'

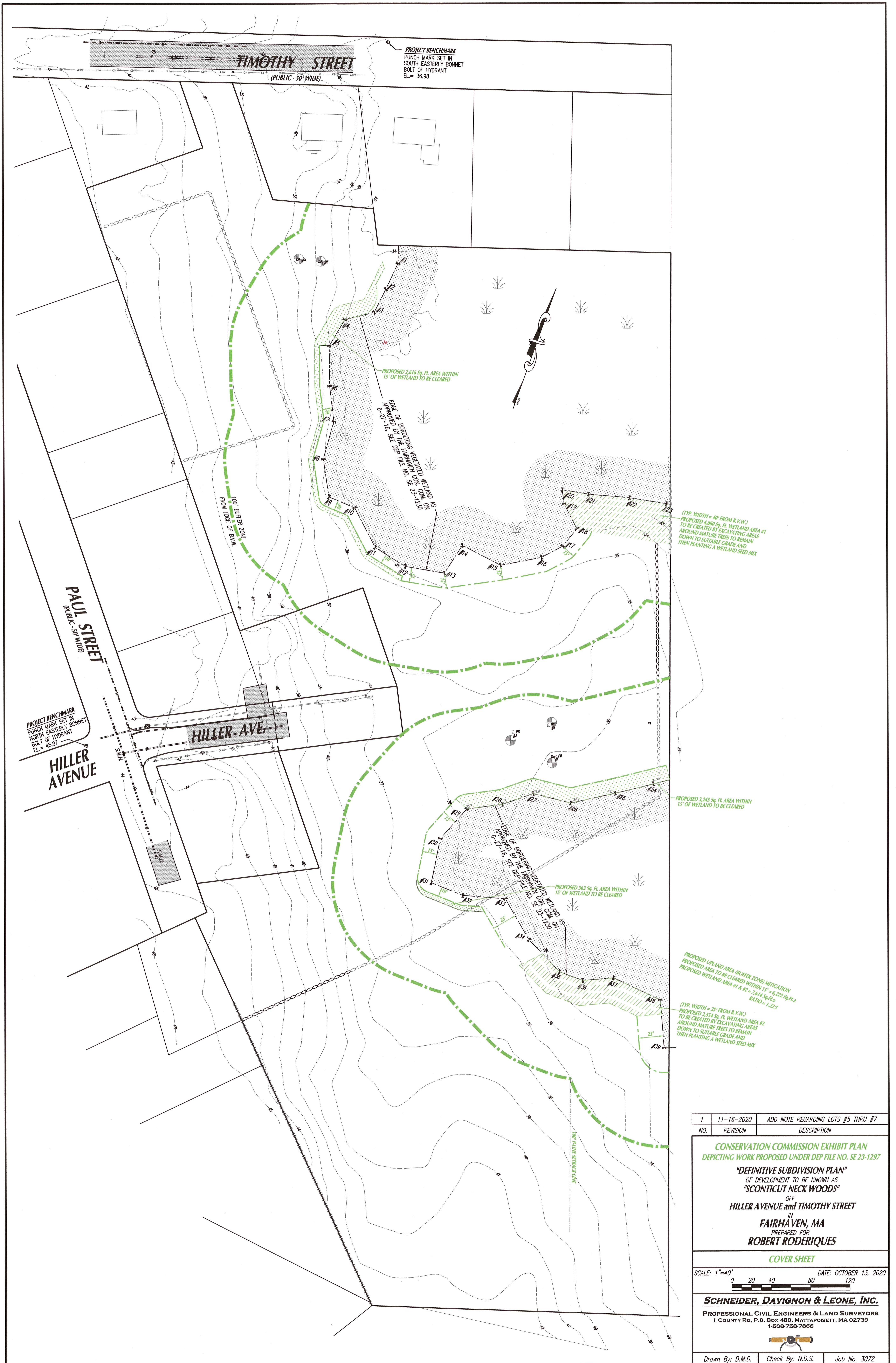
PURPOSE: COASTAL REVETMENT  
 DATUM: ELEVATION BASED ON M.L.W.(ELEV=0.0)  
 PLANS ACCOMPANYING PETITION OF: JOSEPH & LAURA MELO 14 GAR ST, SOMERVILLE MA 02143  
 8 BAYSIDE ST, FAIRHAVEN, MA; MAP 42-31 BOOK 1862 PG 795  
 TO MAINTAIN AND REPAIR A  
 CONCRETE AGGREGATE REVETMENT

PLAN BY: FITZGERALD ENGINEERING, INC.  
 13 CHURCH ST.  
 MATTAPOISSET, MA 02739

**LICENSE PLAN NO. 6882**  
 Approved by Department of Environmental Protection  
 Date: JAN 08 1998

139-4





1	11-16-2020	ADD NOTE REGARDING LOTS #5 THRU #7
NO.	REVISION	DESCRIPTION

CONSERVATION COMMISSION EXHIBIT PLAN  
 DEPICTING WORK PROPOSED UNDER DEP FILE NO. SE 23-1297  
 "DEFINITIVE SUBDIVISION PLAN"  
 OF DEVELOPMENT TO BE KNOWN AS  
 "SCONTICUT NECK WOODS"  
 OFF  
 HILLER AVENUE and TIMOTHY STREET  
 IN  
 FAIRHAVEN, MA  
 PREPARED FOR  
 ROBERT RODERIGUES

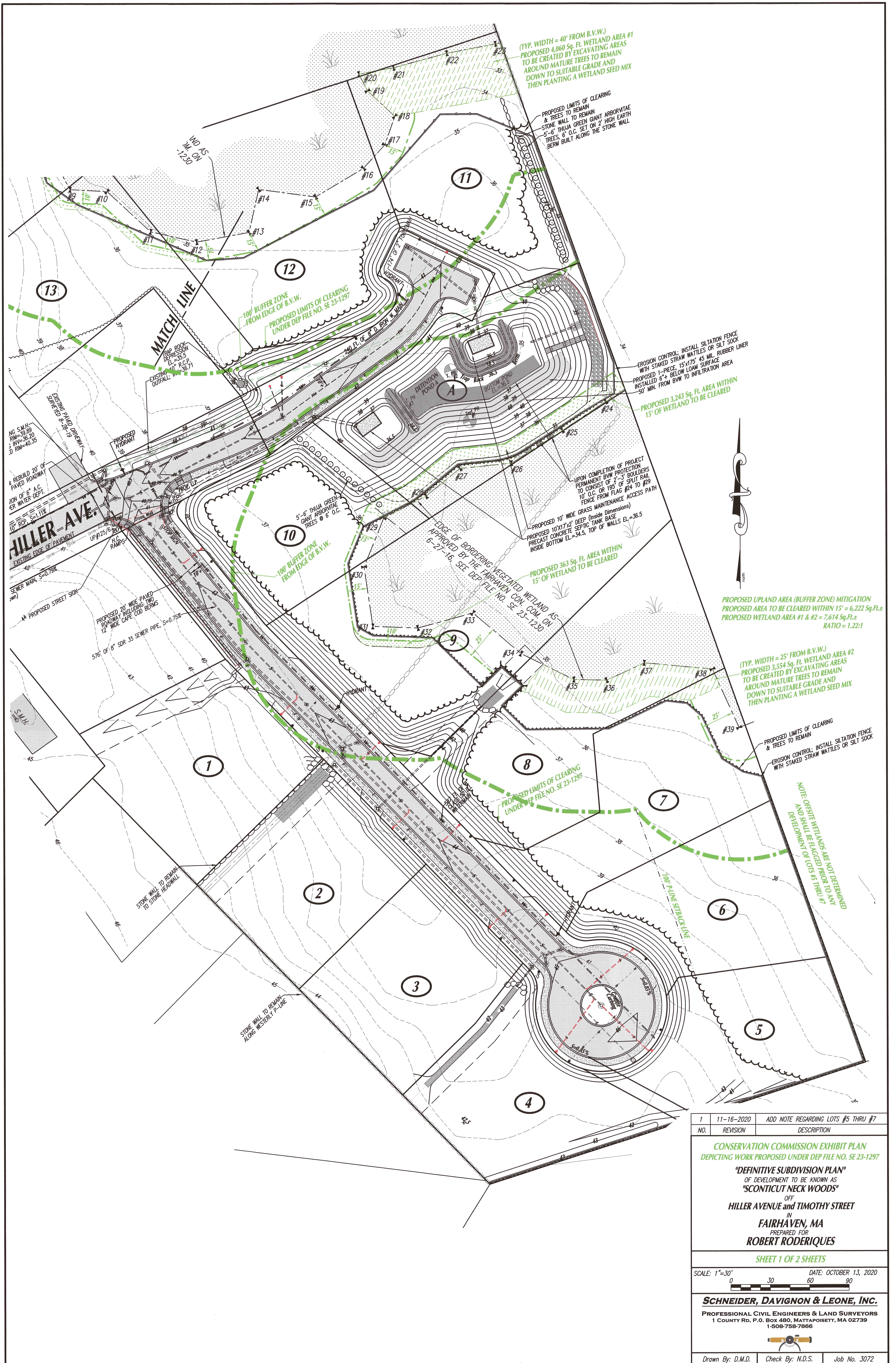
COVER SHEET

SCALE: 1"=40' DATE: OCTOBER 13, 2020  
 0 20 40 80 120

**SCHNEIDER, DAVIGNON & LEONE, INC.**  
 PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
 1 COUNTY RD., P.O. BOX 480, MATTA POWSETT, MA 02739  
 1-508-758-7866



Drawn By: D.M.D. Check By: N.D.S. Job No. 3072



(TYP. WIDTH = 40' FROM B.V.W.)  
 PROPOSED 4,060 Sq. Ft. WETLAND AREA #1  
 TO BE CREATED BY EXCAVATING AREAS  
 AROUND MATURE TREES TO REMAIN  
 DOWN TO SUITABLE GRADE AND  
 THEN PLANTING A WETLAND SEED MIX

PROPOSED LIMITS OF CLEARING  
 & TREES TO REMAIN  
 STONE WALL TO REMAIN  
 5'-6" THUJA GREEN GIANT ARBORVITAE  
 TREES, 6" O.C. SET ON 2' HIGH EARTH  
 BERM BUILT ALONG THE STONE WALL

100' BUFFER ZONE  
 FROM EDGE OF B.V.W.  
 PROPOSED LIMITS OF CLEARING  
 UNDER DEP FILE NO. SE 23-1297

EROSION CONTROL: INSTALL SILTATION FENCE  
 WITH STAKED STRAW WATTLES OR SILT SOCK  
 PROPOSED 1-PIECE 15'x175' 45 MIL. RUBBER LINER  
 INSTALLED 6"± BELOW LOAM SURFACE  
 50' MIN. FROM B/W TO INFILTRATION AREA  
 PROPOSED 3,243 Sq. Ft. AREA WITHIN  
 15' OF WETLAND TO BE CLEARED

UPON COMPLETION OF PROJECT  
 PERMANENT B/W PROTECTION  
 TO CONSIST OF 2'-3' BOULDERS  
 10' O.C. OR 195' OF SPLIT RAIL  
 FENCE FROM FLAG #24 TO #29  
 PROPOSED 10' WIDE GRASS MAINTENANCE ACCESS PATH  
 PROPOSED 10'x17'x2' DEEP (INSIDE DIMENSIONS)  
 PRECAST CONCRETE SEPTIC TANK BASE  
 INSIDE BOTTOM EL.=34.5, TOP OF WALLS EL.=36.5

PROPOSED 363 Sq. Ft. AREA WITHIN  
 15' OF WETLAND TO BE CLEARED

PROPOSED UPLAND AREA (BUFFER ZONE) MITIGATION  
 PROPOSED AREA TO BE CLEARED WITHIN 15' = 6,222 Sq. Ft.±  
 PROPOSED WETLAND AREA #1 & #2 = 7,614 Sq. Ft.±  
 RATIO = 1.22:1

(TYP. WIDTH = 25' FROM B.V.W.)  
 PROPOSED 3,554 Sq. Ft. WETLAND AREA #2  
 TO BE CREATED BY EXCAVATING AREAS  
 AROUND MATURE TREES TO REMAIN  
 DOWN TO SUITABLE GRADE AND  
 THEN PLANTING A WETLAND SEED MIX

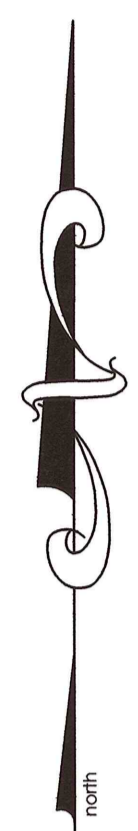
PROPOSED LIMITS OF CLEARING  
 & TREES TO REMAIN  
 EROSION CONTROL: INSTALL SILTATION FENCE  
 WITH STAKED STRAW WATTLES OR SILT SOCK

NOTE: OPPOSITE WETLANDS ARE NOT DETERMINED  
 AND SHALL BE RELOCATED PRIOR TO ANY  
 DEVELOPMENT OF LOTS #5 THRU #7

1	11-16-2020	ADD NOTE REGARDING LOTS #5 THRU #7
NO.	REVISION	DESCRIPTION
<b>CONSERVATION COMMISSION EXHIBIT PLAN</b> DEPICTING WORK PROPOSED UNDER DEP FILE NO. SE 23-1297 <b>"DEFINITIVE SUBDIVISION PLAN"</b> OF DEVELOPMENT TO BE KNOWN AS <b>"SCONTICUT NECK WOODS"</b> OFF <b>HILLER AVENUE and TIMOTHY STREET</b> IN <b>FAIRHAVEN, MA</b> PREPARED FOR <b>ROBERT RODERIGUES</b>		
<b>SHEET 1 OF 2 SHEETS</b>		
SCALE: 1"=30'	DATE: OCTOBER 13, 2020	
<b>SCHNEIDER, DAVIGNON &amp; LEONE, INC.</b> PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS 1 COUNTY RD., P.O. BOX 480, MATTAPOISETT, MA 02739 1-508-758-7866		
Drawn By: D.M.D.	Check By: N.D.S.	Job No. 3072



PROJECT BENCHMARK  
 PUNCH MARK SET IN  
 SOUTH EASTERLY BONNET  
 BOLT OF HYDRANT  
 EL. = 36.98



NO.	REVISION	DESCRIPTION
1	11-16-2020	ADD NOTE REGARDING LOTS #5 THRU #7

**CONSERVATION COMMISSION EXHIBIT PLAN**  
 DEPICTING WORK PROPOSED UNDER DEP FILE NO. SE 23-1297

**"DEFINITIVE SUBDIVISION PLAN"**  
 OF DEVELOPMENT TO BE KNOWN AS  
**"SCONTICUT NECK WOODS"**  
 OFF  
**HILLER AVENUE and TIMOTHY STREET**  
 IN  
**FAIRHAVEN, MA**  
 PREPARED FOR  
**ROBERT RODERIGUES**

**SHEET 2 OF 2 SHEETS**

SCALE: 1"=30' DATE: OCTOBER 13, 2020

**SCHNEIDER, DAVIGNON & LEONE, INC.**  
 PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
 1 COUNTY RD., P.O. BOX 480, MATTAPOISETT, MA 02739  
 1-508-759-7866

Drawn By: D.M.D. Check By: N.D.S. Job No. 3072