

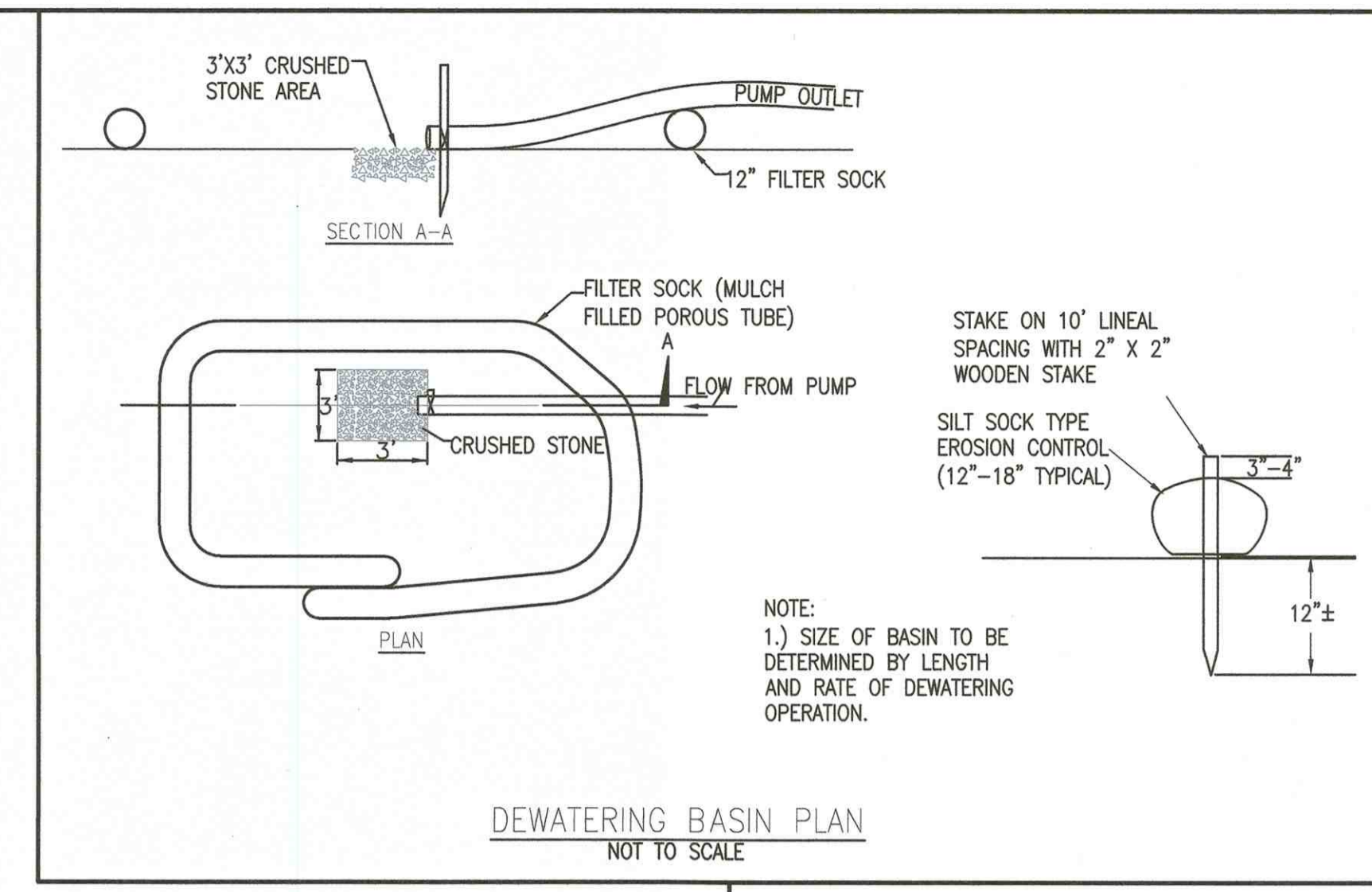
ZONING INFORMATION

RURAL RESIDENCE DISTRICT	
	REQUIRED
LOT AREA	30,000 S.F.
CONTIGUOUS UPLAND AREA	24,000 S.F.
LOT FRONTAGE	140 FEET
MIN. FRONTYARD SETBACK	30 FEET
MIN. SIDERYARD SETBACK	20 FEET
MIN. REARYARD SETBACK	30 FEET
MAXIMUM LOT COVERAGE	25%
ACCESSORY STRUCTURE SETBACKS 5' FROM PROPERTY LINES.	

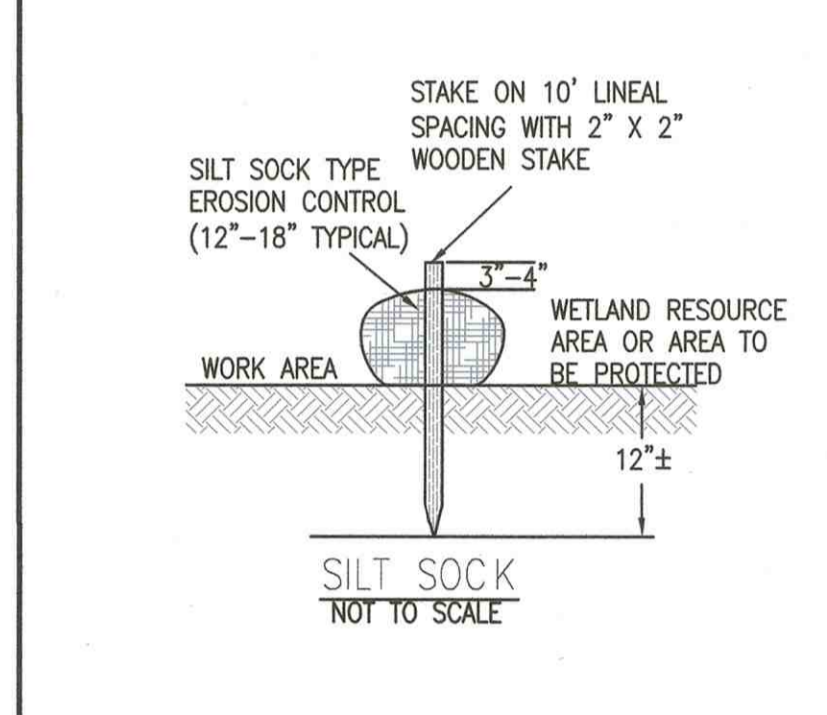
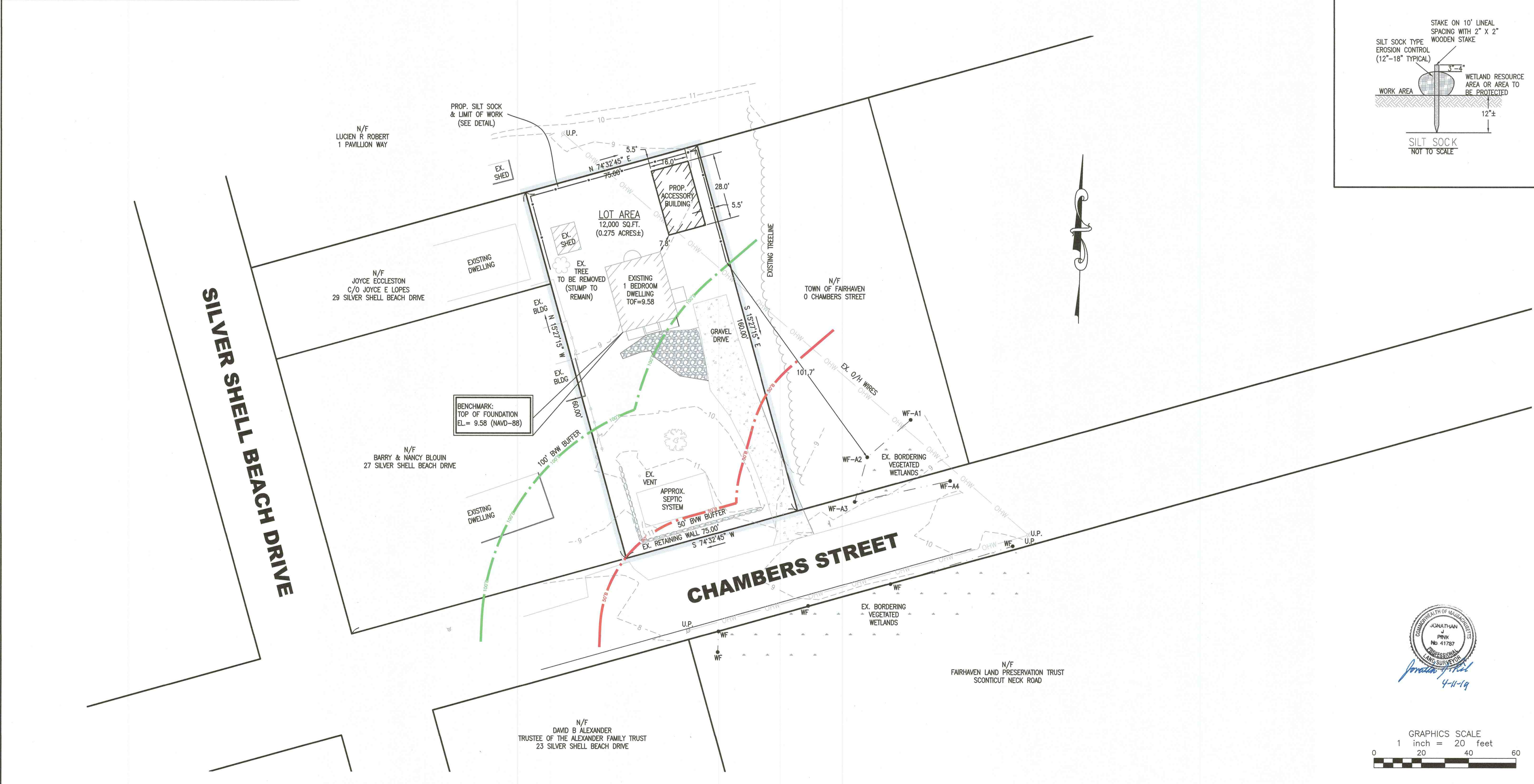
**BUFFER AREA DISTURBANCE**  
 PROPOSED WORK WITHIN 100' BUFFER ZONE = 0 S.F.  
 PROPOSED WORK WITHIN FLOOD BOUNDARY = 1,000 S.F.

**RIVERFRONT DISTURBANCE**  
 TOTAL RIVER FRONT AREA = 0 S.F.  
 PROPOSED WORK WITHIN 100' INNER RIPARIAN ZONE = 0 S.F.  
 PROPOSED WORK WITHIN 200' OUTER RIPARIAN ZONE = 0 S.F.

- SITE NOTES:**
- THE SUBJECT PROPERTY IS SHOWN AS ASSESSORS MAP 41 LOT 58 ON THE TOWN OF FAIRHAVEN ASSESSORS' RECORDS.
  - REFER TO BOOK 12436, PAGE 27 ON RECORD AT THE BRISTOL COUNTY REGISTRY OF DEEDS FOR TITLE REFERENCE TO THE SUBJECT PROPERTY.
  - PROPERTY LINE AND EXISTING CONDITIONS SURVEY COMPLETED BY ROMANELLI ASSOCIATES, INC. IN FEBRUARY 2019.
  - VERTICAL DATUM IS ON NAVD-88.
  - THE SUBJECT PROPERTY IS LOCATED IN ZONES VE-19 & VE-20, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF BRISTOL COUNTY, MASSACHUSETTS, MAP NUMBER 250050501F, MAP REVISED JULY 7, 2009.
  - LOCATION OF UTILITIES ARE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE ACTUAL LOCATION AND INVERTS OF UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE UNDER MASSACHUSETTS STATE LAW TO NOTIFY DIGSAFE (1.888.DIGSAFE) TO LOCATE UTILITIES IN THE PROJECT AREA A MINIMUM OF 72 HOURS PRIOR TO THE START OF EXCAVATION.
  - THE ORDER OF CONDITIONS ISSUED BY THE FAIRHAVEN CONSERVATION COMMISSION SHALL BE RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AND PROOF OF RECORDING GIVEN TO THE CONSERVATION COMMISSION PRIOR TO THE START OF CONSTRUCTION. THE ORDER OF CONDITIONS SHALL BE PRESENT ON-SITE AT ALL TIMES AND SHALL BE ADHERED TO BY THE OWNER/CONTRACTOR AND ANY DISCREPANCIES SHALL BE APPROVED BY THE CONSERVATION COMMISSION AND/OR ITS AGENT AND THE DESIGN ENGINEER.
  - ALL DISTURBED AREAS SHALL BE LOAMED AND SEED.
  - A CERTIFICATE OF COMPLIANCE MUST BE FILED FOR WITH THE FAIRHAVEN CONSERVATION COMMISSION PRIOR TO FINAL SIGNOFF.
  - WETLANDS SHOWN WERE DELINEATED BY STEPHEN CHMIEL IN DECEMBER 2018. SEE WETLAND REPORT FILED WITH THE FAIRHAVEN CONSERVATION COMMISSION FOR FURTHER DETAILS REGARDING THE WETLAND DELINEATION AND SITE FEATURES.
  - THE ACCESSORY BUILDING MUST BE CONSTRUCTED PER NFIP REGULATIONS AND DESIGNED BY A STRUCTURAL ENGINEER TO HANDLE POSSIBLE WAVE IMPACTS. THE BUILDING MUST BE APPROVED BY NFIP AND THE FAIRHAVEN BUILDING INSPECTOR PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL STRUCTURES ON THE PROPERTY ARE SUBJECT TO FEMA REGULATIONS AND WILL REQUIRE INSURANCE POLICIES.

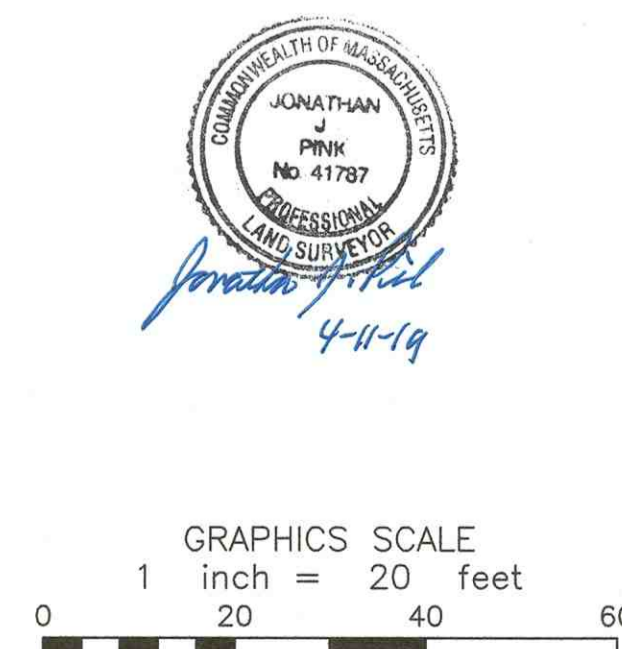


**ZCE**  
**ZENITH CONSULTING ENGINEERS, LLC**  
 3 MAIN STREET LAKEVILLE, MA 02347  
 PHONE: (508) 947-4208

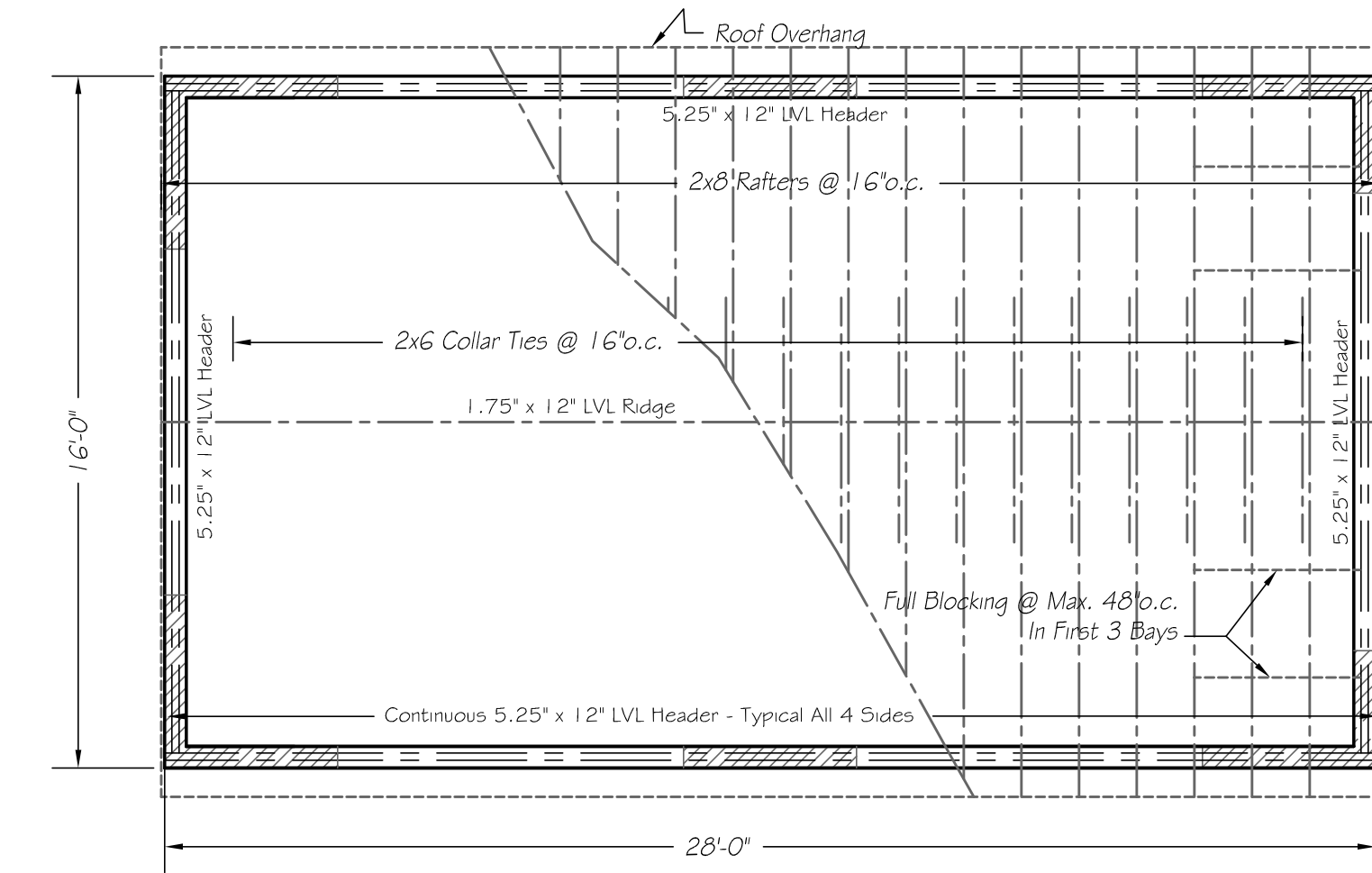


REV.	DATE	DESCRIPTION	BY	APP.
1	4-10-19	ADD TREE TO BE REMOVED	NCZ	JLB

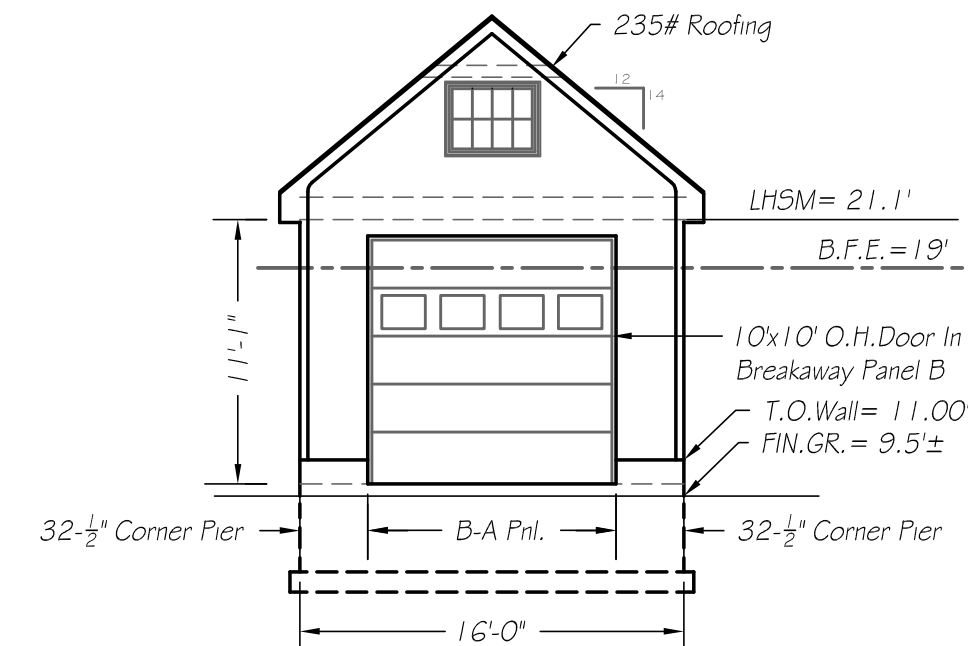
**SITE PLAN TO ACCOMPANY AN RDA FILING**  
**8 CHAMBERS STREET**  
 FAIRHAVEN, MASSACHUSETTS  
**CHRISTOPHER & TERESA AUGENTI**  
 8 CHAMBERS STREET  
 FAIRHAVEN, MASSACHUSETTS 02719



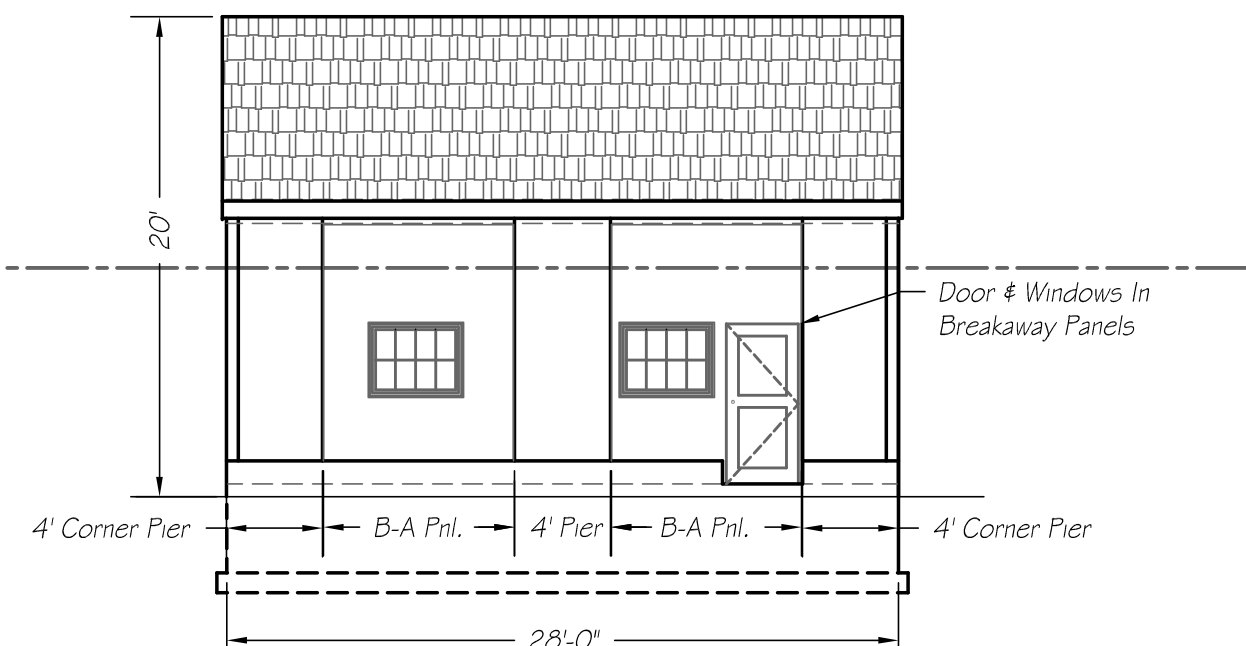
S:\Civil Engineering Projects\Fairhaven\Chambers Street\8 Chambers St\DWG\Site Plan - 8 Chambers St - Fairhaven - Revised 4-10-19.dwg



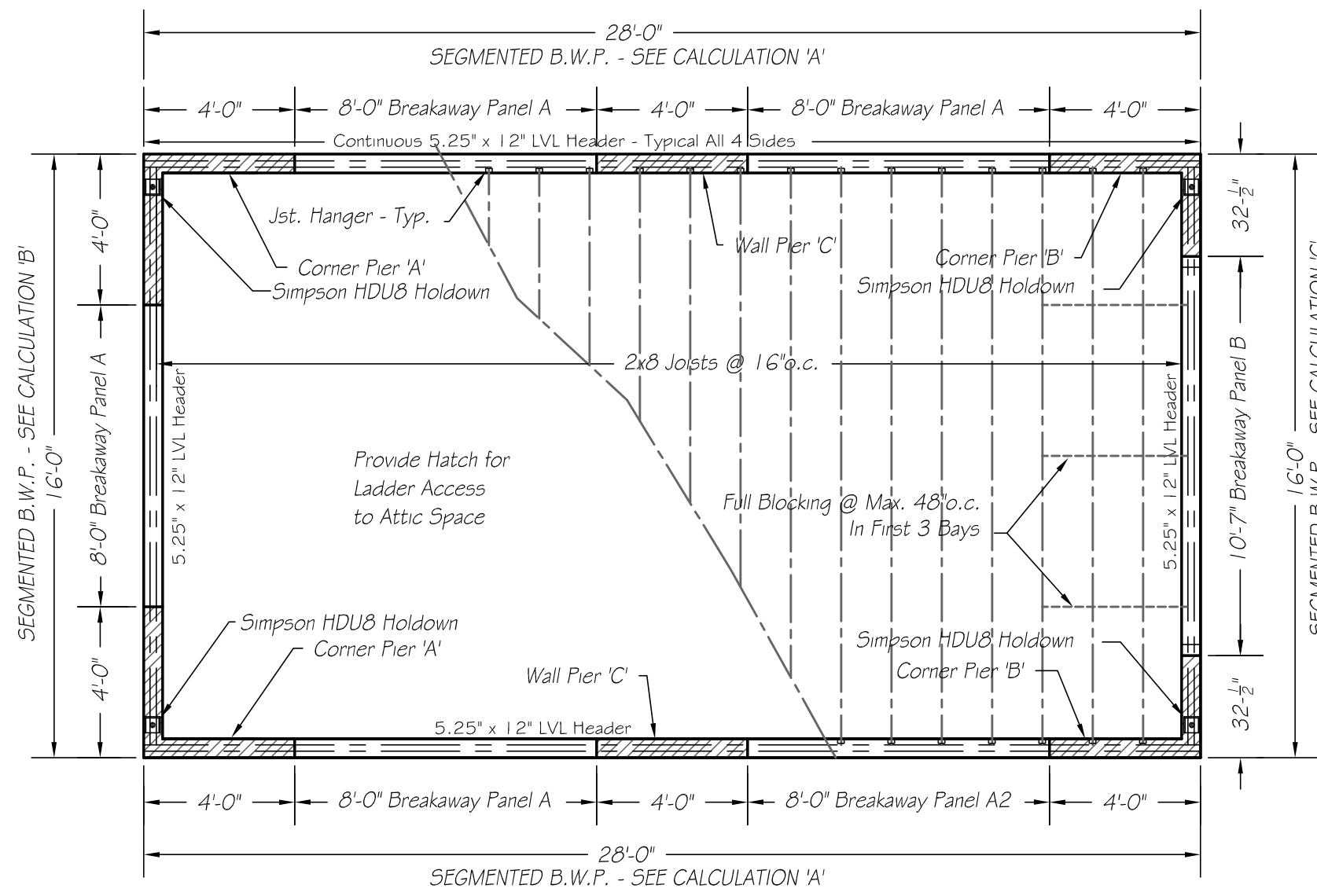
**ROOF FRAMING**  
SCALE: 1/4" = 1'-0"



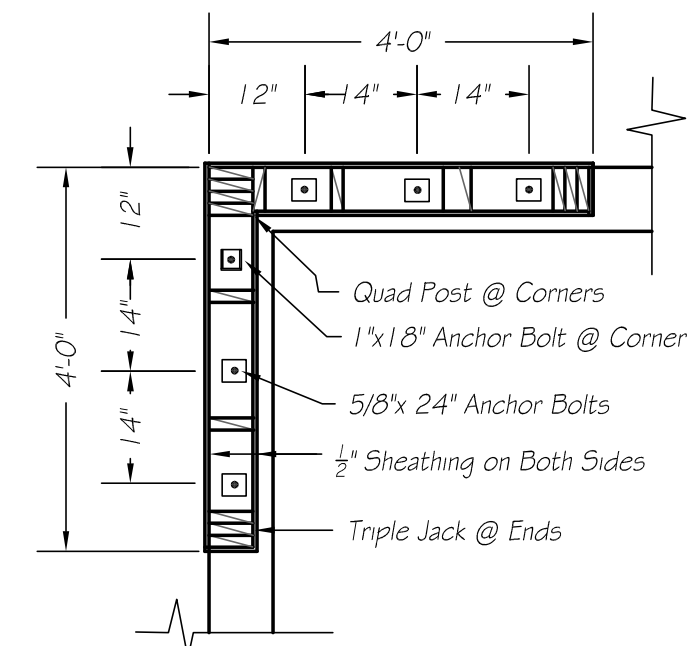
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



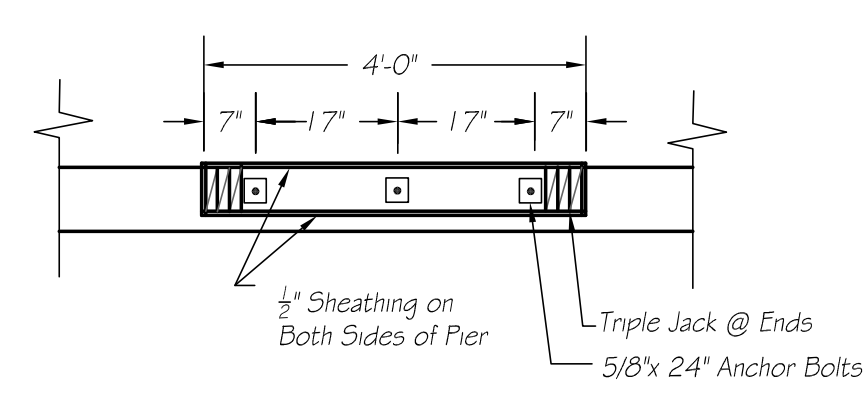
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



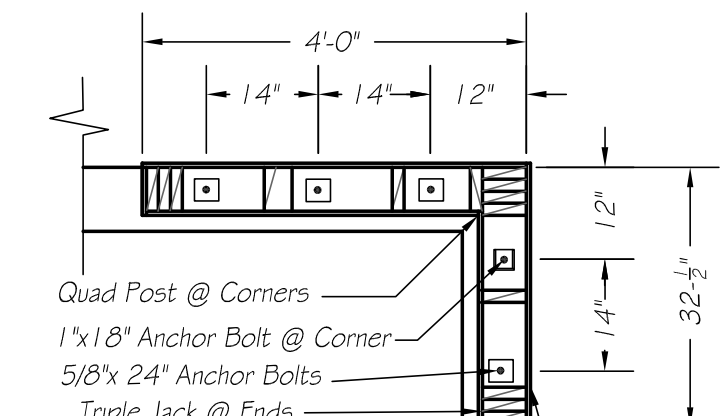
**FIRST FLOOR FRAMING & BRACED WALL PANELS**  
SCALE: 1/4" = 1'-0"



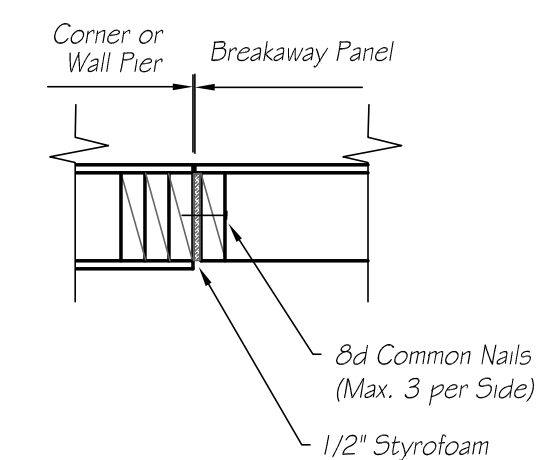
**CORNER PIER 'A'**  
SCALE: 1/2" = 1'-0"



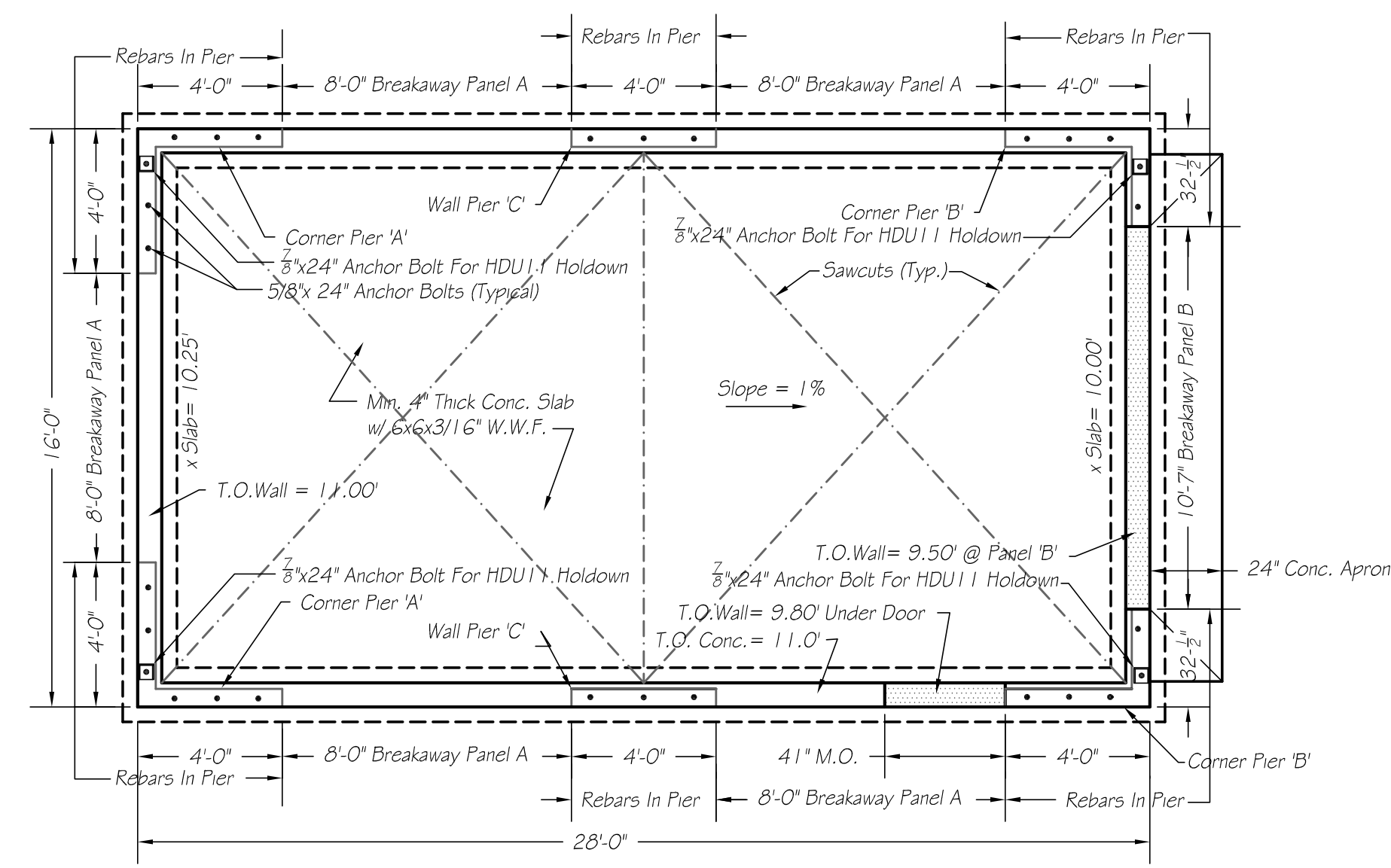
**WALL PIER 'C'**  
SCALE: 1/2" = 1'-0"



**CORNER PIER 'B'**  
SCALE: 1/2" = 1'-0"

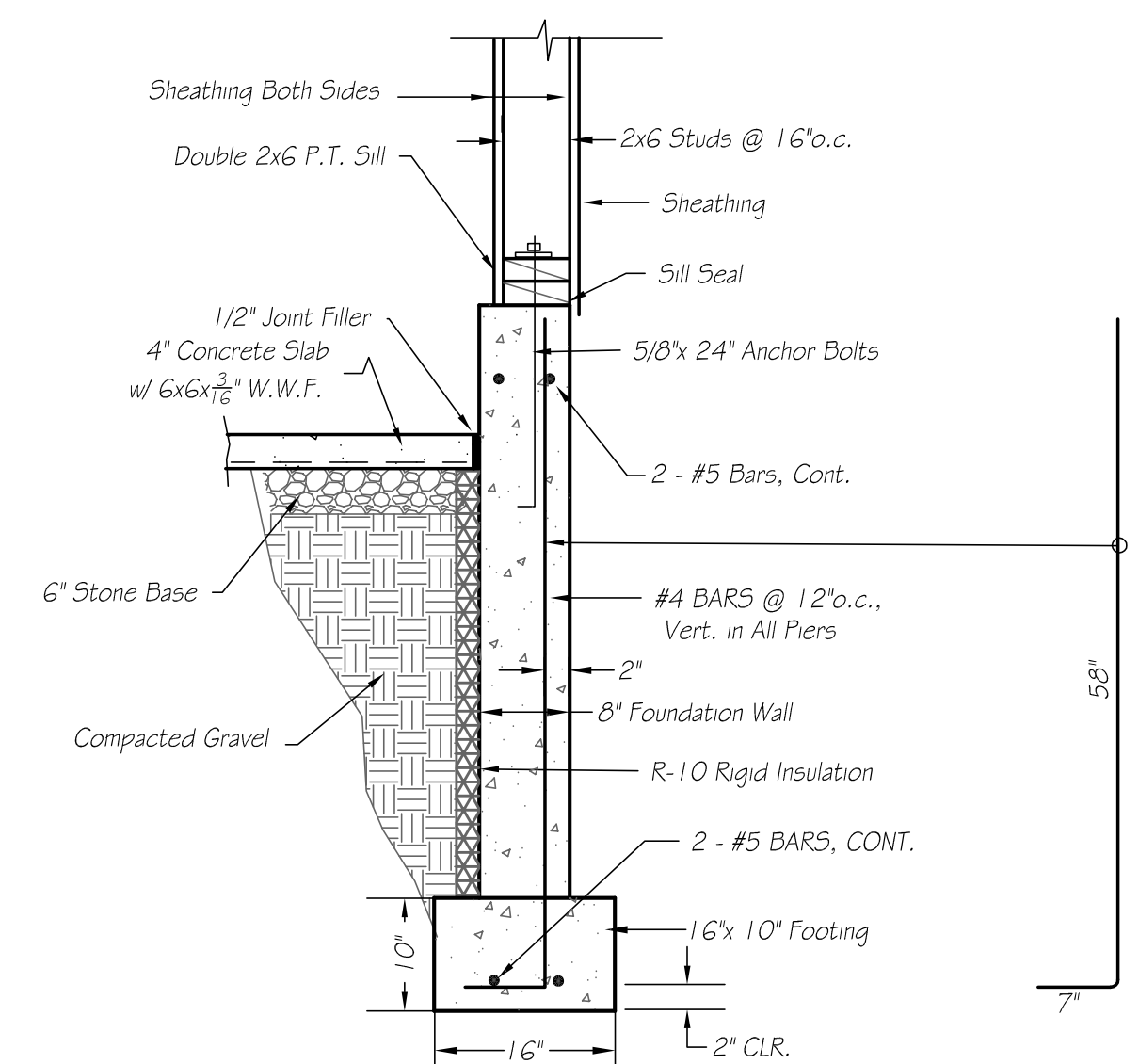


**PANEL ATTACHMENT**  
SCALE: 1" = 1'-0"



**FOUNDATION & ANCHOR BOLT PLAN**  
SCALE: 1/4" = 1'-0"

**LEGEND:**  
 Denotes Braced Wall Panel (B.W.P.)  
 Simpson HDU HoldDown  
 Denotes 5/8" x 24" Anchor Bolt



**FOUNDATION SECTION**  
SCALE: 3/4" = 1'-0"

**SPECIFICATIONS FOR FOUNDATION:**

1. THIS FOUNDATION AND STRUCTURE ARE DESIGNED TO COMPLY WITH THE REQUIREMENTS OF THE MASS. STATE BUILDING CODE FOR F.E.M.A. ZONE VE (EL. 19) AND FOR 110-MPH WIND ZONE, EXPOSURE C.
2. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE FOUNDATION LOCATION AND ELEVATIONS IN ACCORDANCE WITH THE APPROVED SITE PLAN ENTITLED 'SITE PLAN TO ACCOMPANY AN RDA FILING, 8 CHAMBERS STREET, FAIRHAVEN' DATED 3/04/19 BY ZENITH CONSULTING ENGINEERS, LLC.
3. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR UNDERGROUND UTILITIES PRIOR TO THE ERECTION OF FORMS AND THE POURING OF CONCRETE.
4. ALL CONTRACTORS SHALL SAFELY SHORE, BRACE OR SUPPORT ALL WORK AS REQUIRED, AND SHALL INSURE THAT THE WORK IS CONDUCTED IN ACCORDANCE WITH OSHA SAFETY RULES AND REQUIREMENTS.
5. CONCRETE FOR FOOTINGS AND FOUNDATION WALLS SHALL HAVE A MINIMUM 3500 PSI COMPRESSIVE STRENGTH AT 28 DAYS. MAXIMUM CONCRETE SLUMP SHALL BE 5 INCHES. ALL CONCRETE SHALL HAVE MAXIMUM 1-INCH AGGREGATE SIZE AND MINIMUM 6% AIR ENTRAINMENT. ALL CONCRETE SHALL BE THOROUGHLY CONSOLIDATED DURING PLACEMENT WITH MECHANICAL VIBRATION.
6. CONCRETE WHEN PLACED SHALL HAVE A TEMPERATURE BETWEEN 50 DEGREES F. TO 70 DEGREES F. DURING COLD WEATHER (AMBIENT TEMP. BELOW 40 F.) THE CONTRACTOR SHALL MAINTAIN A MINIMUM CONCRETE TEMPERATURE OF 50 F. FOR THREE DAYS AND ABOVE 32 F. FOR 14 DAYS AFTER PLACEMENT. DURING HOT WEATHER (AMBIENT TEMP. ABOVE 80 F.) THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS IN ACI 305R TO MINIMIZE TEMPERATURE AND SHRINKAGE CRACKING.
7. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60. PROVIDE SUITABLE SPACING, CHAIRS, TIES, ETC. FOR SUPPORTING REINFORCING STEEL IN THE PROPER POSITION WHILE PLACING CONCRETE. ARRANGEMENT AND BENDING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE A.C.I. DETAILING MANUAL.
8. CONCRETE COVER OF REINFORCING STEEL SHALL BE AS SHOWN ON DETAILS BUT NO LESS THAN 2".
9. MINIMUM SOIL BEARING CAPACITY EQUALS 2000 PSF. SOIL WITH LESSER BEARING CAPACITY SHALL BE REMOVED & REPLACED. ALL SOIL OVER WHICH CONCRETE IS TO BE PLACED SHALL BE FREE OF EXPANSIVE OR COMPRESSIBLE DEBRIS AND ORGANIC MATERIALS, AND SHALL NOT BE FROZEN.
10. STEEL REINFORCEMENT SHALL NOT BE BENT IN THE FIELD UNLESS THE BARS ARE SIZE 6 OR SMALLER. TIES, STIRRUPS AND HOOPS SHALL CONFORM TO ASTM A615.
11. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, SUPPLIED IN THE LONGEST LENGTHS PRACTICAL. ADJOINING SHEETS SHALL BE LAPPED ONE GRID PLUS 2 INCHES.
12. CONCRETE FOR SLABS SHALL HAVE A MINIMUM 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. PROVIDE SAW-CUT CONTROL JOINTS IN SLABS WITHIN 24 HOURS AFTER PLACEMENT. FILL JOINTS WITH ELASTOMERIC COMPOUND. CONCRETE FOR FLOOR SLABS SHALL CONTAIN FIBERESH REINFORCING FIBERS.
13. ANCHOR BOLTS & HOLD-DOWN STRAPS SHALL BE INSTALLED IN THE SIZES AND LOCATIONS NOTED ON DRAWINGS 5-1 & 5-2. BOLTS SHALL COMPLY WITH ANSIA/SME B18.2.1 SQUARE & HEX BOLTS AND SCREWS.

**SPECIFICATIONS FOR FRAMING:**

1. GENERAL DATA: NO. OF STORIES = 1  
 MEAN ROOF HEIGHT = 16'-6"  
 BUILDING ASPECT RATIO = 28' / 16' = 1.75  
 DESIGN WIND SPEED = 110 MPH, EXPOSURE C  
 ALL STRUCTURAL FRAMING SHALL BE INSTALLED IN ACCORDANCE WITH THE AF&PA WOOD FRAME CONSTRUCTION MANUAL (WFCM-2001) FOR 110-MPH WIND ZONE, EXPOSURE C.
2. FLOOR, WALL & ROOF SHEATHING SHALL BE MIN. 7/16" WOOD STRUCTURAL SHEATHING CONFORMING TO DOC P5.1, DOC P5.2, CSA 0437 OR CSA 0325. ALL PANELS SHALL BE IDENTIFIED BY GRADE MARK ISSUED BY AN APPROVED AGENCY.
3. ROOFING SHINGLES SHALL BE SECURED WITH NAILING PATTERNS AS REQUIRED BY THE MANUFACTURER FOR HIGH WIND ZONES.
4. ALL NEW FRAMING AND ALL FLOOR, WALL & ROOF SHEATHING SHALL HAVE CONNECTIONS AND FASTENERS IN CONFORMANCE WITH TABLE 3.1 OF THE WOOD FRAME CONSTRUCTION MANUAL 'GENERAL NAILING SCHEDULE'.
5. EXTERIOR WALL CLADDING SHALL BE RATED FOR 110 MPH EXPOSURE C 3-SECOND GUST WIND SPEED, INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
6. CORNER PIERS AND WALL PIERS SHALL BE CONSTRUCTED AS BRACED WALL PANELS (BWP's) WITH SHEATHING INSTALLED VERTICALLY ON BOTH SIDES OF PIERS WITH 8d NAILS AT EDGE SPACINGS OF 3' o.c. AND FIELD SPACINGS OF 12' o.c. SHEATHING SHALL EXTEND AS NOTED ON CALCULATIONS FOR EACH BRACED WALL PANEL SHOWN. SHEATHING SHALL EXTEND FROM BOTTOM PLATE TO TOP PLATE FROM BOTTOM PLATE TO TOP PLATE AT GABLES, WITH NAILING PATTERNS & CONNECTION DETAILS AS SHOWN ON THE DRAWINGS. HORIZONTAL JOINTS SHALL BE PERMITTED ONLY WHEN FULLY BLOCKED AT EDGES.
7. CORNER AND WALL PIERS SHALL HAVE DOUBLE TOP PLATES WITH OVERLAP AT CORNERS. DOUBLE TOP PLATES SHALL BE LAP-SPLICED WITH MINIMUM 4-FT. SPLICE LENGTH AND MINIMUM NUMBER OF FASTENERS IN ACCORDANCE WITH AWC TABLE 6 'TOP PLATE SPLICE'.
8. METAL CONNECTORS SHALL BE INSTALLED WHERE NOTED TO ACT IN CONCERT WITH STRUCTURAL SHEATHING TO PROVIDE A CONTINUOUS LOAD PATH FROM THE ROOF TO THE FOUNDATION. METAL CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE CO., WITH 'Z-MAX' ZINC COATING (1.85 OZ./S.F.).
9. NEW WINDOWS SHALL BE DESIGNED TO RESIST THE DESIGN WIND LOADS FOR 110-MPH EXPOSURE C 3-SECOND GUST WIND SPEED.
10. ALL WOOD MEMBERS USED FOR LOAD-BEARING PURPOSES SHALL BE IDENTIFIED BY AN ACCREDITED GRADEMARK SIGNIFYING COMPLIANCE WITH D.O.C. PS20-99.
11. GYPSUM SHEATHING SHALL BE DENSOGLASS DRYWALL PANEL WITH FIBERGLASS MAT FACING FOR SUPERIOR MOISTURE RESISTANCE.
12. NAILS FOR SHEATHING INSTALLATION SHALL BE COMMON NAILS WITH FULL HEADS DRIVEN FLUSH WITH SURFACE OF SHEATHING. FLUSH WITH SURFACE OF SHEATHING. NAILS SHALL COMPLY WITH ASTM F1667 STANDARD. NAILS SHALL COMPLY WITH ASTM F1667 STANDARD. SPECIFICATION FOR DRIVEN FASTENERS, NAILS, SPIKES AND STAPLES.
13. SCREWS SHALL COMPLY WITH ANSIA/SME B18.6.1 WOOD SCREWS.

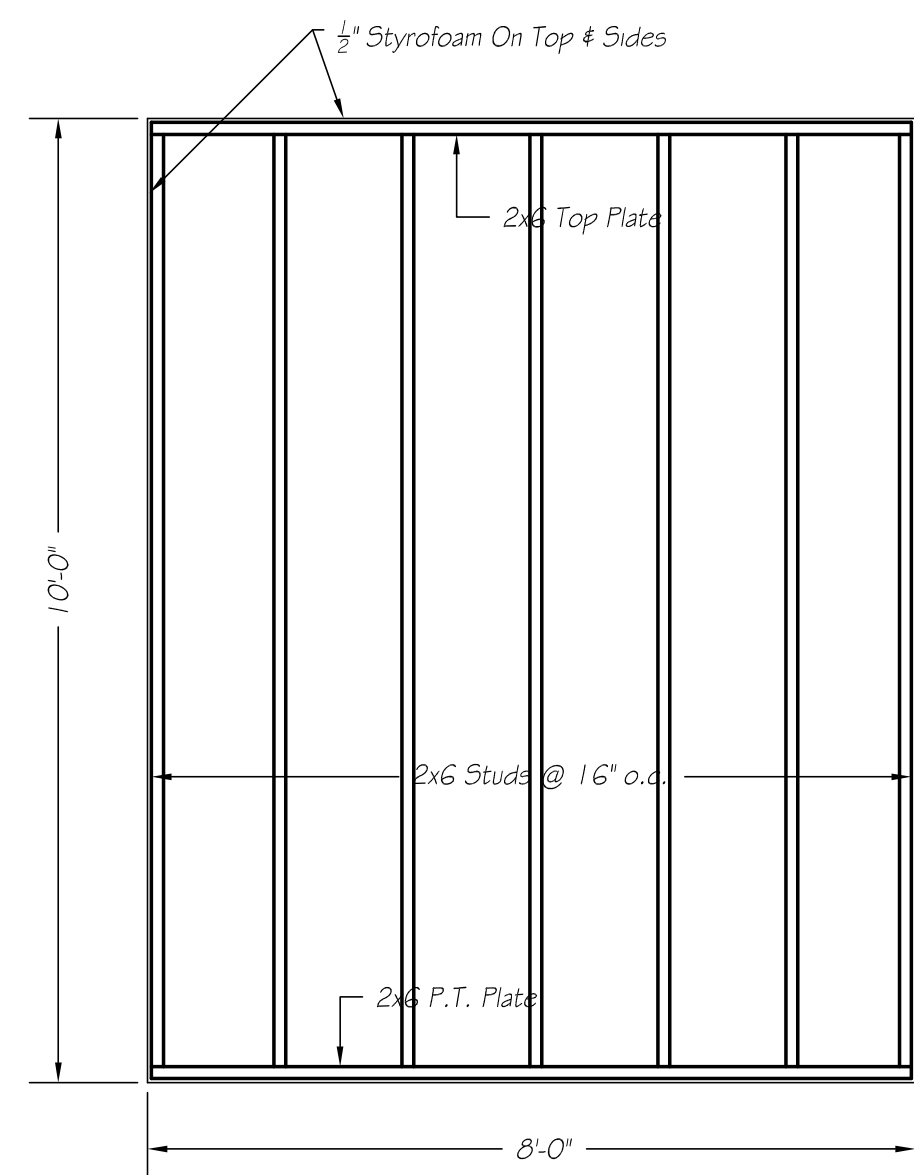
I CERTIFY THAT THE PROPOSED STRUCTURE AS SHOWN & AS NOTED HEREON IS IN COMPLIANCE WITH THE STRUCTURAL LOAD REQUIREMENTS OF THE MASS. STATE BUILDING CODE, 9th EDITION FOR F.E.M.A. VELOCITY ZONE AND HIGH WIND ZONE EXPOSURE C.

**PLAN OF GARAGE**  
 PREPARED FOR  
**CHRISTOPHER & TERESA AUGENTI**  
 8 CHAMBERS STREET  
 FAIRHAVEN, MASS.

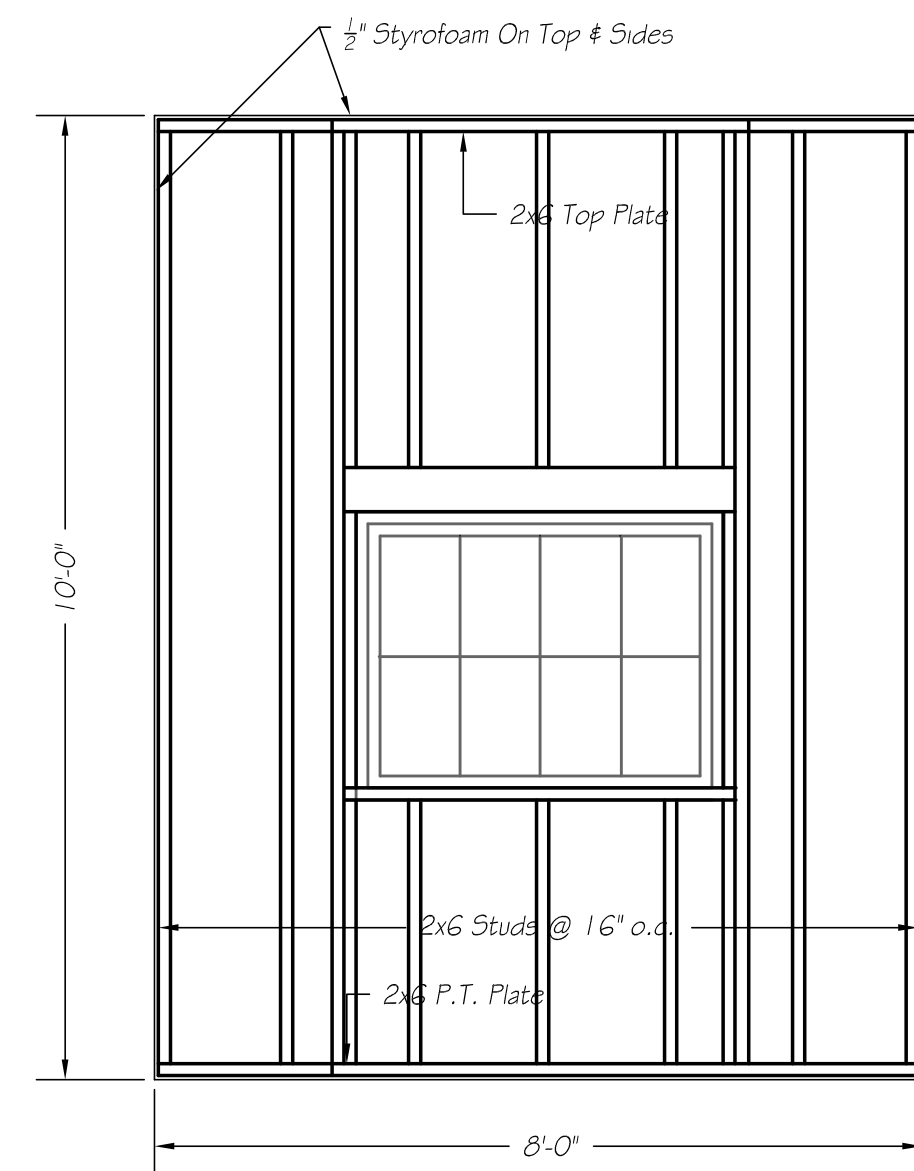
**CAI** Charon Associates, Inc.  
 Consulting Engineers  
 323 Neck Road - Rochester, MA 02770  
 Tel: 508-763-8362 Fax: 508-763-9582

SCALE: AS NOTED  
 DATE: OCTOBER 28, 2019

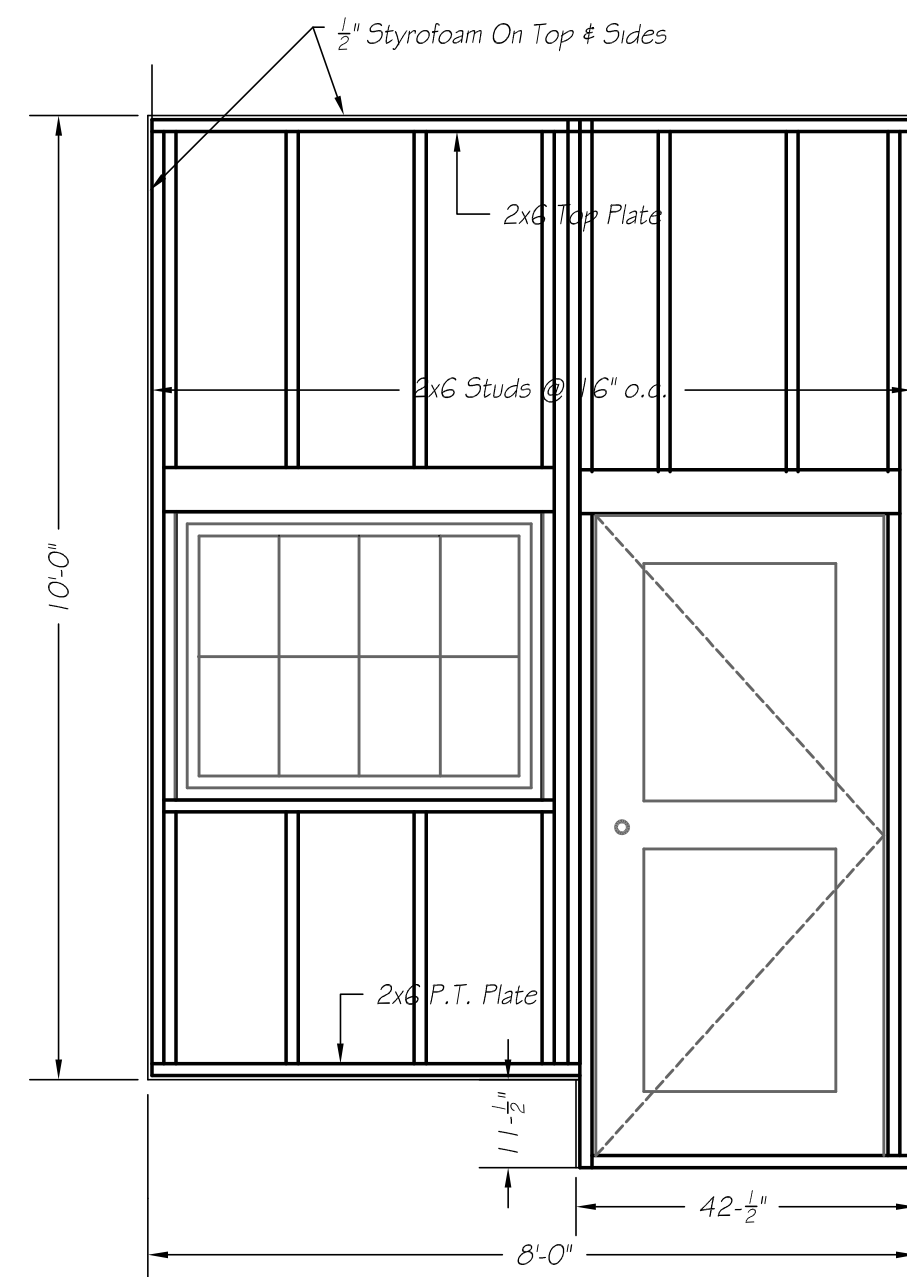
DWG. NO.  
**S-1**



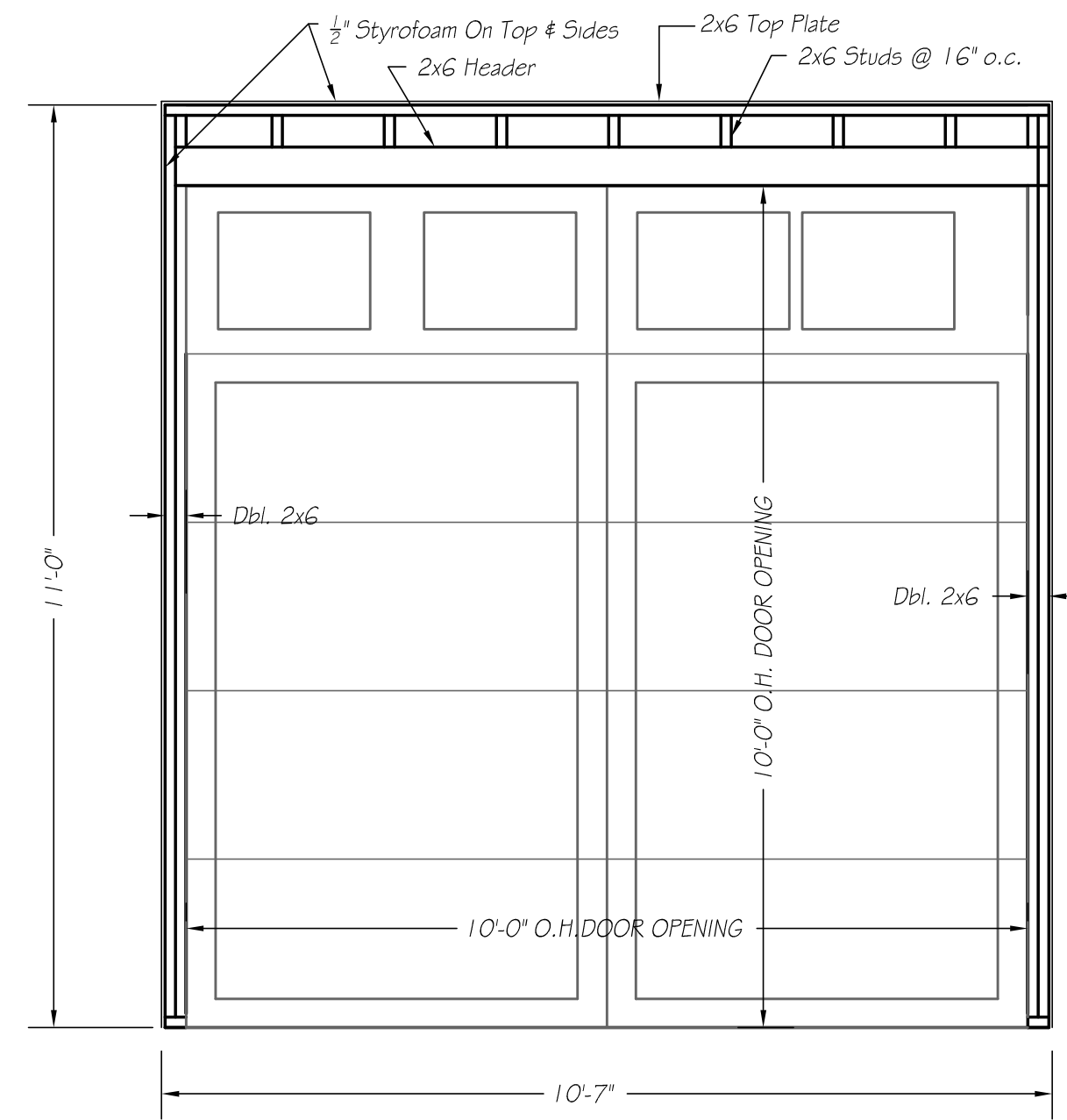
**BREAKAWAY PANEL 'A'**  
SCALE: 1/2" = 1'-0"  
- TYPICAL FOR 4 PANELS -



**BREAKAWAY PANEL 'A'**  
SCALE: 1/2" = 1'-0"  
- TYPICAL FOR 1 PANEL -

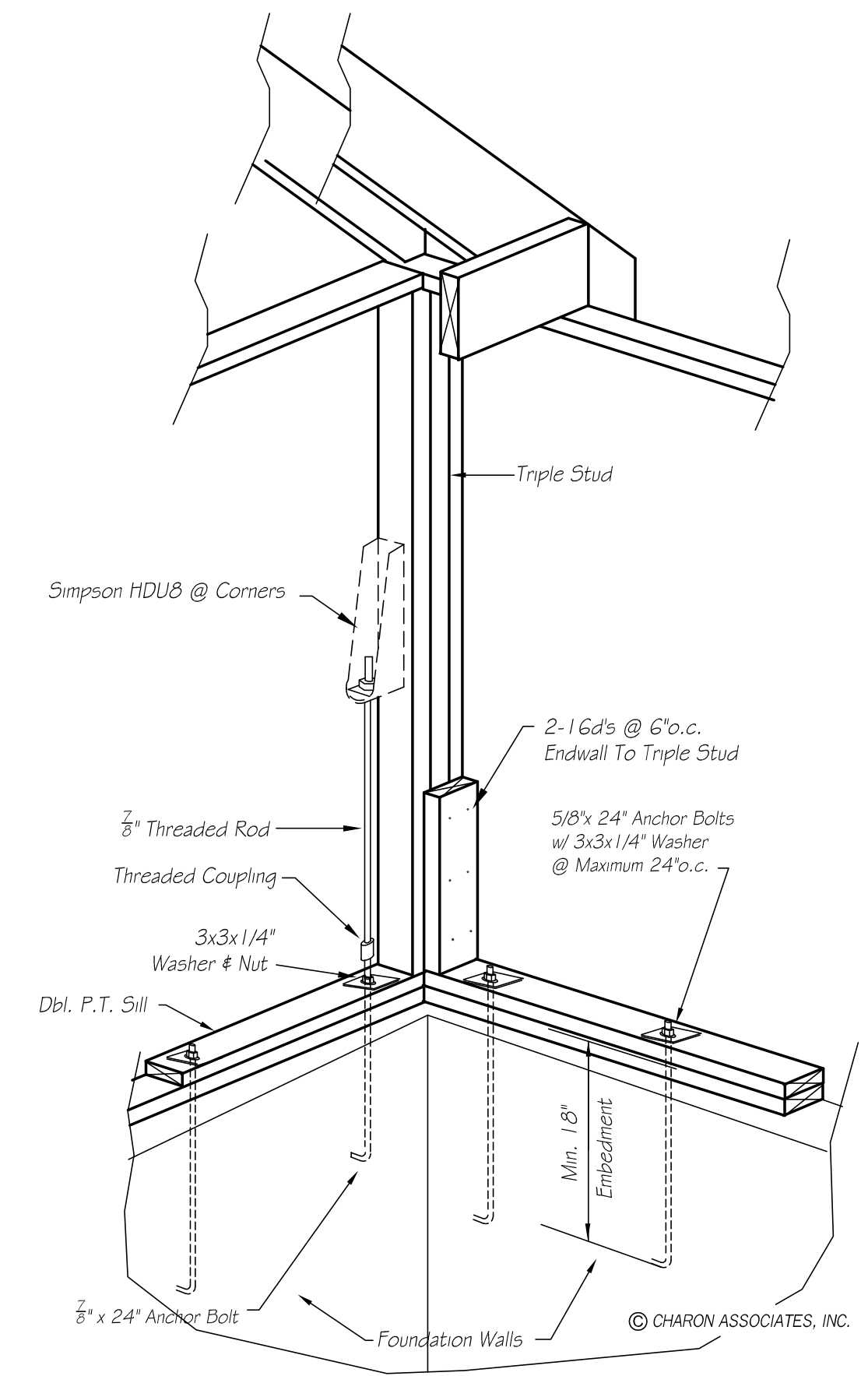


**BREAKAWAY PANEL 'A2'**  
SCALE: 1/2" = 1'-0"  
- TYPICAL FOR 1 PANEL -

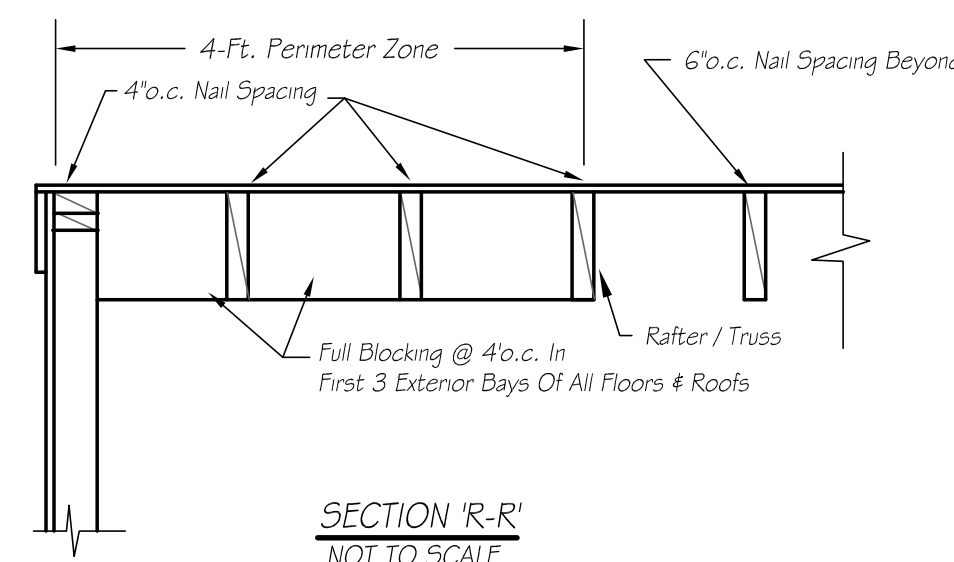


**BREAKAWAY PANEL 'B'**  
SCALE: 1/2" = 1'-0"

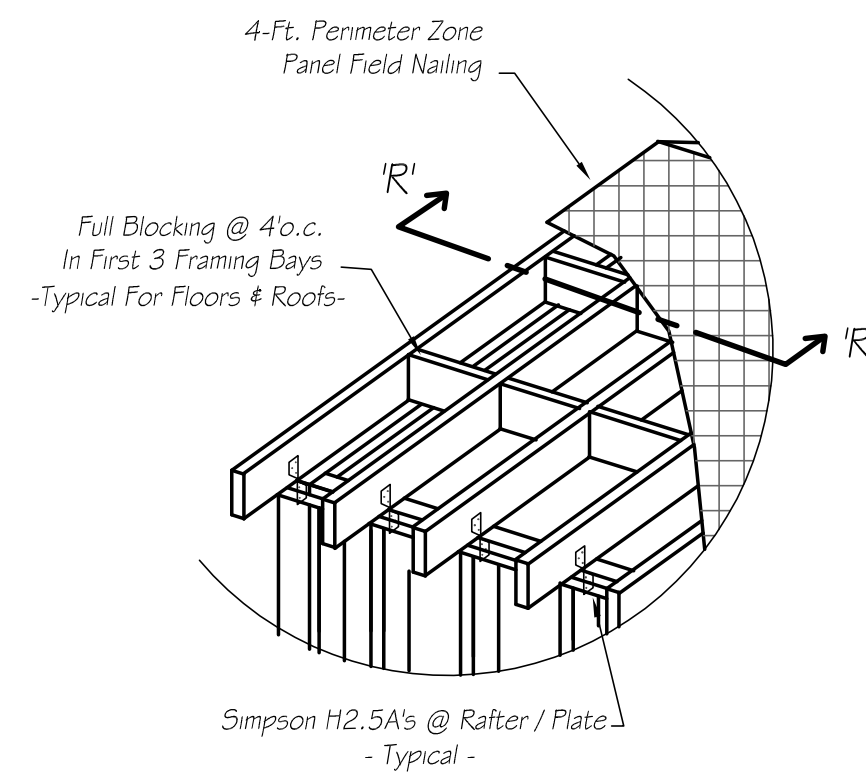
NOTE: Provide 1/2" Space Between Framing & Edge of Panel For Placement of 1/2" Styrofoam Between Panel Frame & Nailers.



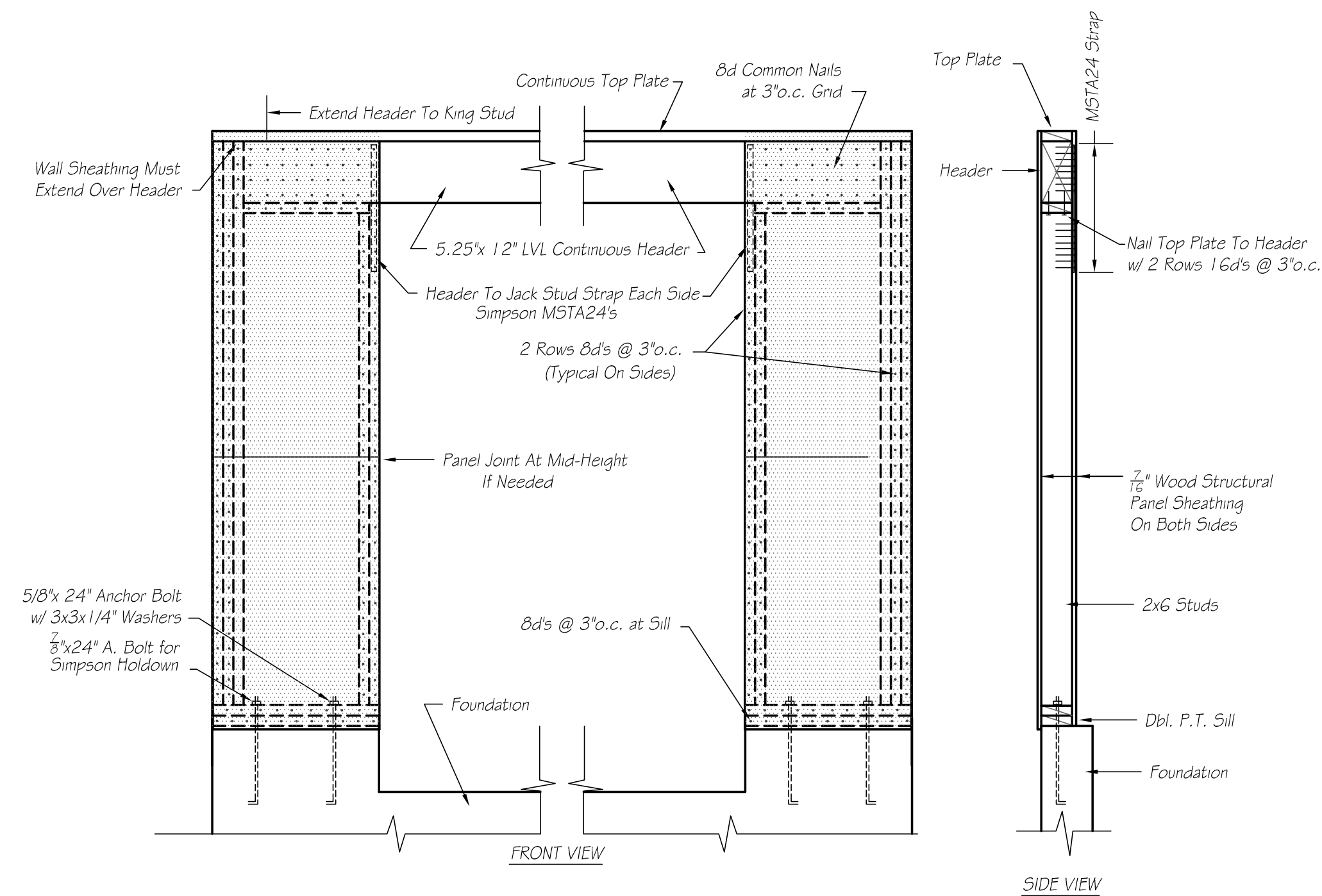
**DETAIL - HOLD-DOWNS & ANCHOR BOLTS**  
NOT TO SCALE



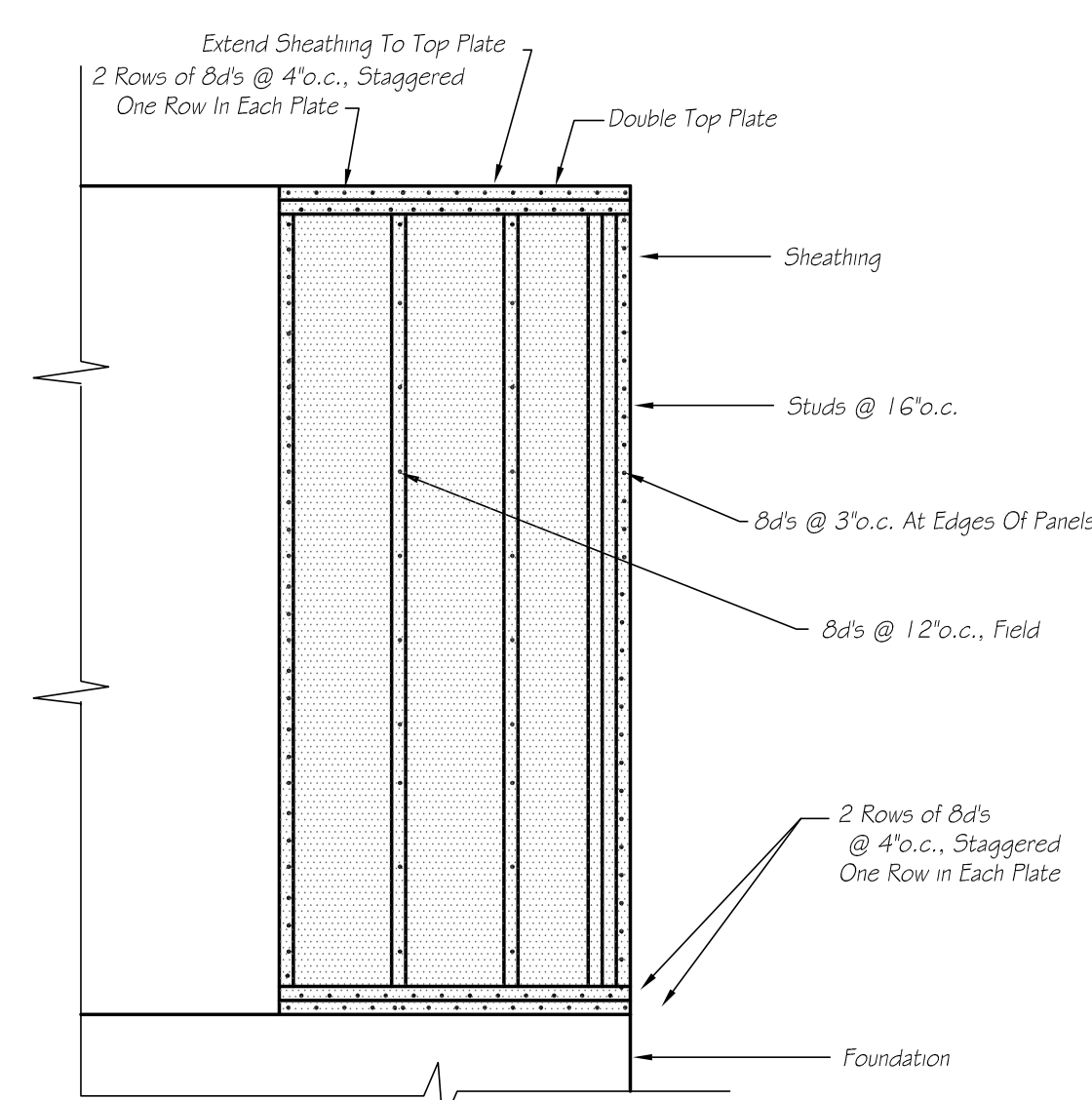
**SECTION 'R-R'**  
NOT TO SCALE



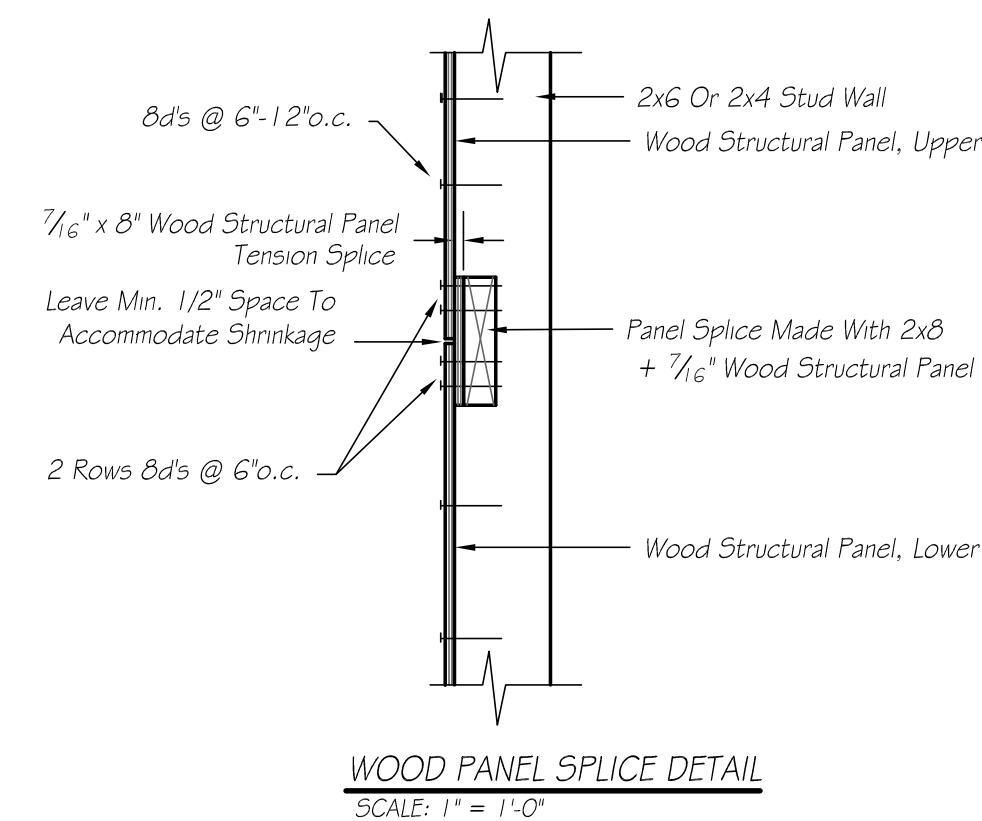
**GENERAL ROOF FRAMING & SHEATHING DETAIL**  
NOT TO SCALE



**SHEATHING ATTACHMENT DETAIL @ O.H. DOOR**  
NOT TO SCALE



**BRACED WALL PANEL / PIER SHEATHING DETAIL**  
NOT TO SCALE



**WOOD PANEL SPLICE DETAIL**  
SCALE: 1" = 1'-0"

NOTE: THIS SPLICE METHOD TO BE USED TO TRANSFER WIND LOAD TO SILL PLATES WHEN WALL HEIGHT EXCEEDS MAXIMUM HEIGHT OF WOOD STRUCTURAL PANELS OR OTHER CONDITIONS THAT REQUIRE FULL BLOCKING.

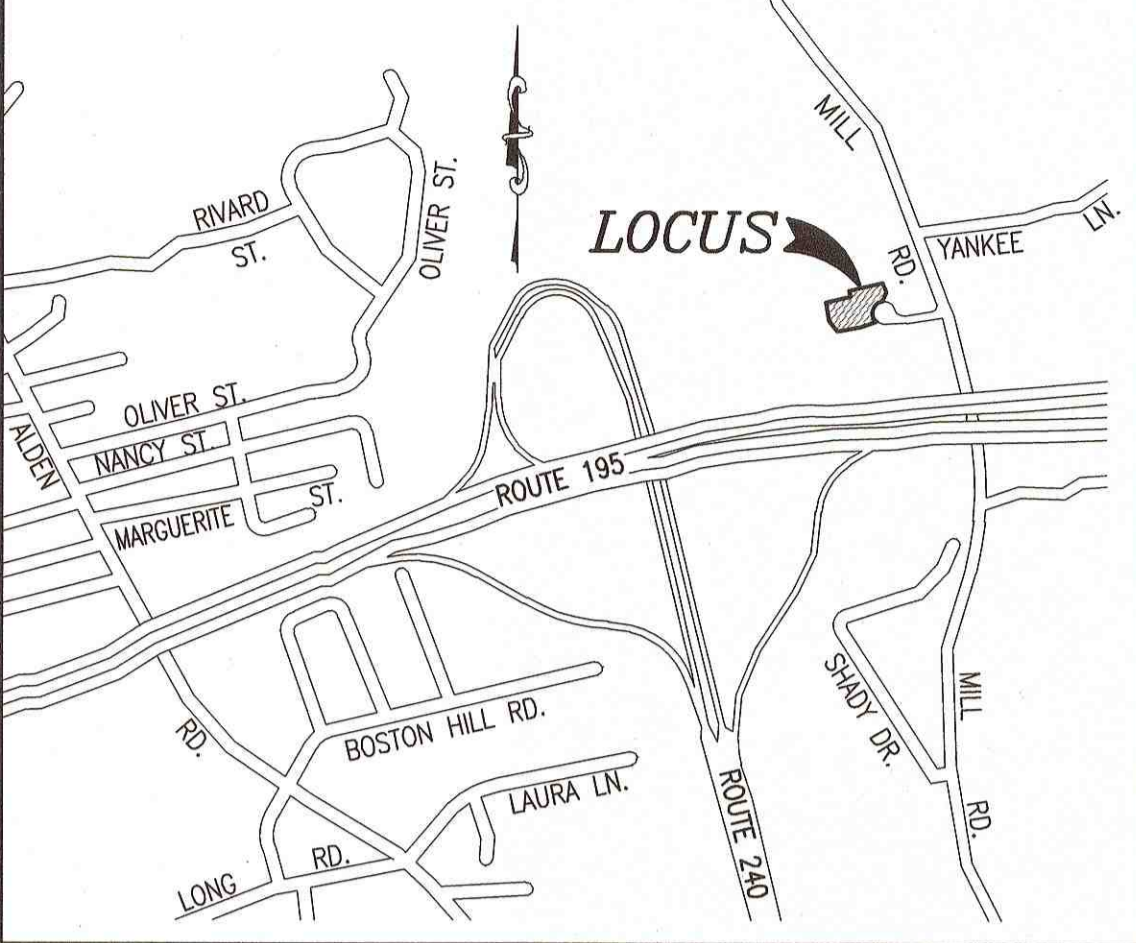
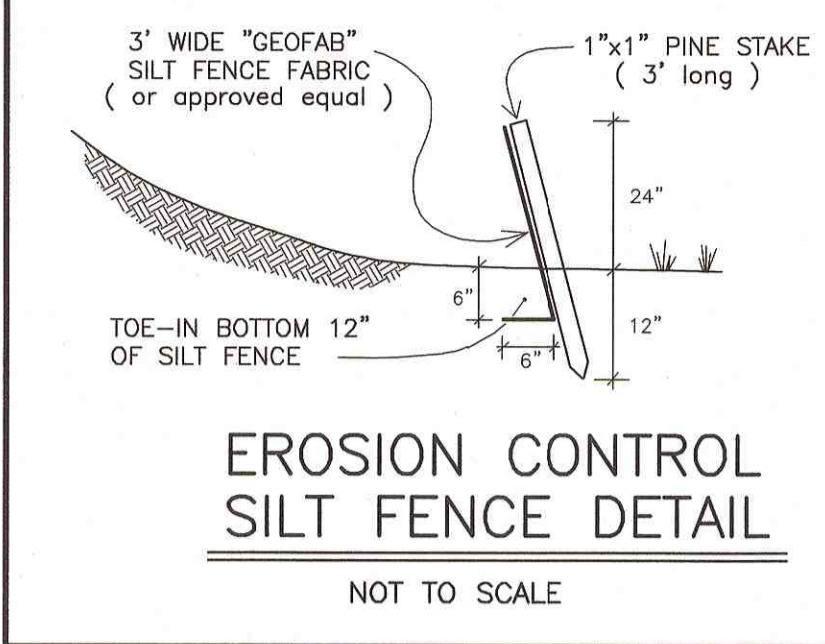
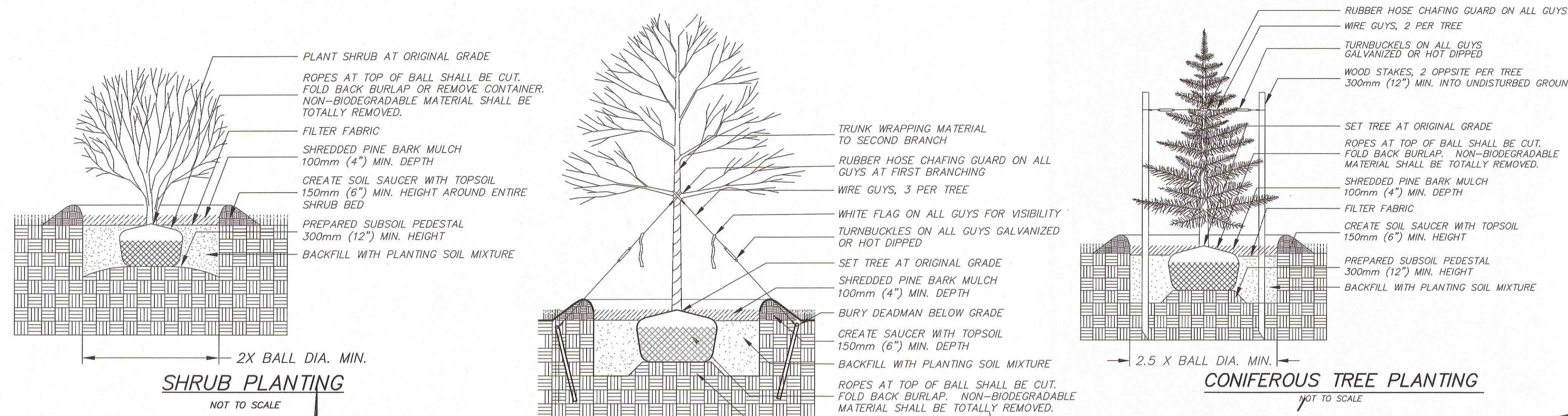
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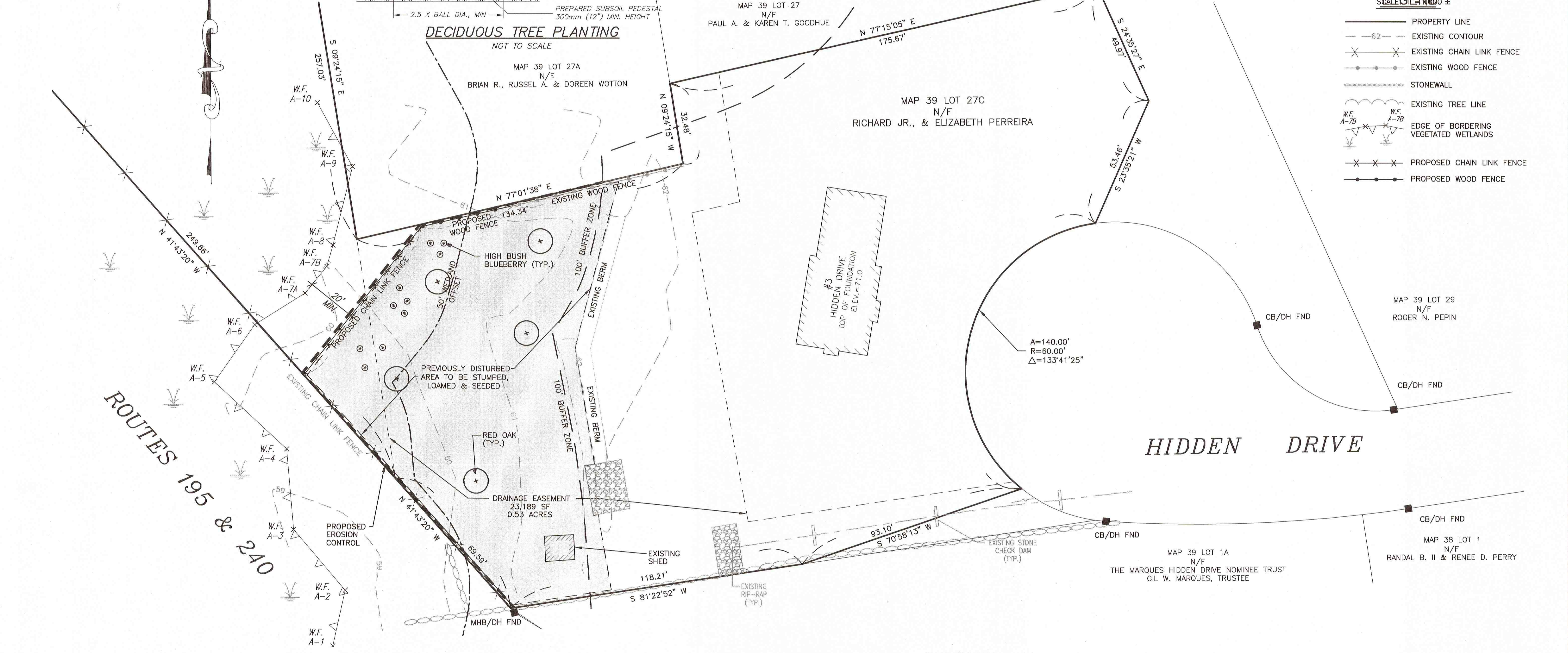
DWG. NO.  
**S-2**



**LOCUS MAP**

SCALE: 1"=20'

- LEGEND**
- PROPERTY LINE
  - - - EXISTING CONTOUR
  - X X X EXISTING CHAIN LINK FENCE
  - - - EXISTING WOOD FENCE
  - STONEWALL
  - W.F. A-7B EXISTING TREE LINE
  - W.F. A-7B EDGE OF BORDERING VEGETATED WETLANDS
  - X X X PROPOSED CHAIN LINK FENCE
  - - - PROPOSED WOOD FENCE



PLANT LIST			
symbol	quantity	name	size/notes
QR	5	QUERCUS RUBRA	2.5" CAL
		RED OAK	B&B
WF	10	VACCINIUM CORYMBOSOM	3 GAL. CONTAINERS
		HIGH BUSH BLUEBERRY	

- NOTES:**
- BASE INFORMATION TAKEN FROM A PLAN PREPARED BY FIELD ENGINEERING CO. INC. ENTITLED "PROPOSED SEPTIC SYSTEM PLAN, PHO LE TIEU, 3 HIDDEN DRIVE, FAIRHAVEN, MASSACHUSETTS", REV. 11/15/13.
  - EXISTING CONDITIONS SHOWN ARE A RESULT OF AN ON THE GROUND SURVEY PERFORMED BY SITEC, INC. IN MARCH 2020.
  - THE WETLANDS LINE DEPICTED ON THE PLAN WAS DELINEATED BY CHRISTOPHER CAPONE IN FEBRUARY 2020 AND FIELD LOCATED AS PART OF THE EXISTING CONDITIONS SURVEY.

- CONTRACTOR NOTES:**
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF THE WORK AND MAINTAINED UNTIL ALL DISTURBED SLOPES HAVE BEEN STABILIZED.
  - PROPOSED WORK:
    - THE REMNANTS OF THE PREVIOUSLY DISTURBED VEGETATION SHALL BE REMOVED AND LEGALLY DISPOSED OF.
    - A CHAIN LINK FENCE WITH A GATE ALONG WITH A WOODEN FENCE ARE PROPOSED, AS SHOWN.
    - APPLY LOAM AND RESEED BACKYARD AREA. NO EXPANSION OF THE EXISTING LAWN AREA IS PROPOSED.
    - PLANTINGS SHALL BE ADDED AS SHOWN.
    - AFTER ALL PLANTINGS HAVE BEEN COMPLETED, ALL DISTURBED AREAS SHALL BE SEEDED WITH NEW ENGLAND WETMIX (WETLAND SEED MIX) AS PREPARED BY NEW ENGLAND WETLAND PLANTS, INC., 820 WEST STREET, AMHERST, MA 01002, (413) 548-8000, WWW.NEWP.COM OR APPROVED EQUAL.
  - THE CONSERVATION COMMISSION SHALL BE NOTIFIED PRIOR TO THE START OF THE RESTORATION WORK.
  - WE PROPOSE TO MONITOR THE REPLICATION AREAS AND SUBMIT REPORTS AFTER THE FIRST AND SECOND GROWING SEASON. THE OBJECTIVE WILL BE TO ACHIEVE 75% PLANT ESTABLISHMENT SUCCESS AFTER THE FIRST GROWING SEASON. MONITORING REPORTS SHALL BE SUBMITTED TO THE CONSERVATION COMMISSION AT THE END OF EACH SEASON WHICH FOLLOWS THE FORMAT SUGGESTED IN THE DEP WETLAND REPLICATION GUIDELINES.
  - ALL WORK SHALL BE CARRIED OUT BY A QUALIFIED NURSERY OR LANDSCAPE CONTRACTOR UNDER THE DIRECT SUPERVISION OF A WETLANDS SCIENTIST.

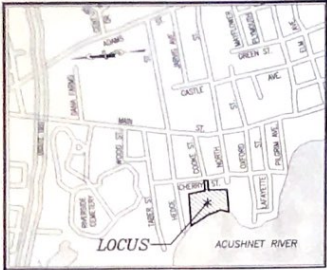
Chkd. By	Revision	Description	Date
	1	ADDED RESTORATION PLANTINGS	FEB. 20, 2021

scale: 1"=20'  
 date: NOV. 30, 2020  
 drawn: NAD  
 checked: SDG  
 approved: SDG  
 sheet 1 of 1  
 drawing number: 1-1

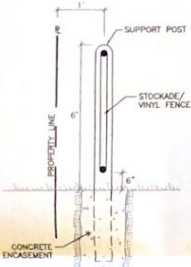
**SITEC, Inc.**  
 418 Frances Corner Road  
 Dornmouth, MA 02747  
 TEL: (978) 938-7554  
 FAX: (978) 938-7554  
 WWW.SITEC-ENGINEERING.COM

**SITEC**  
 Civil and Environmental Engineering  
 Land Use Planning

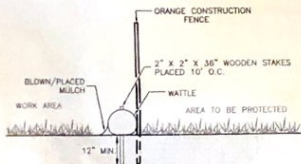
Acad No. FVN 20-7539 LIP.DWG  
 File No. 20-7539



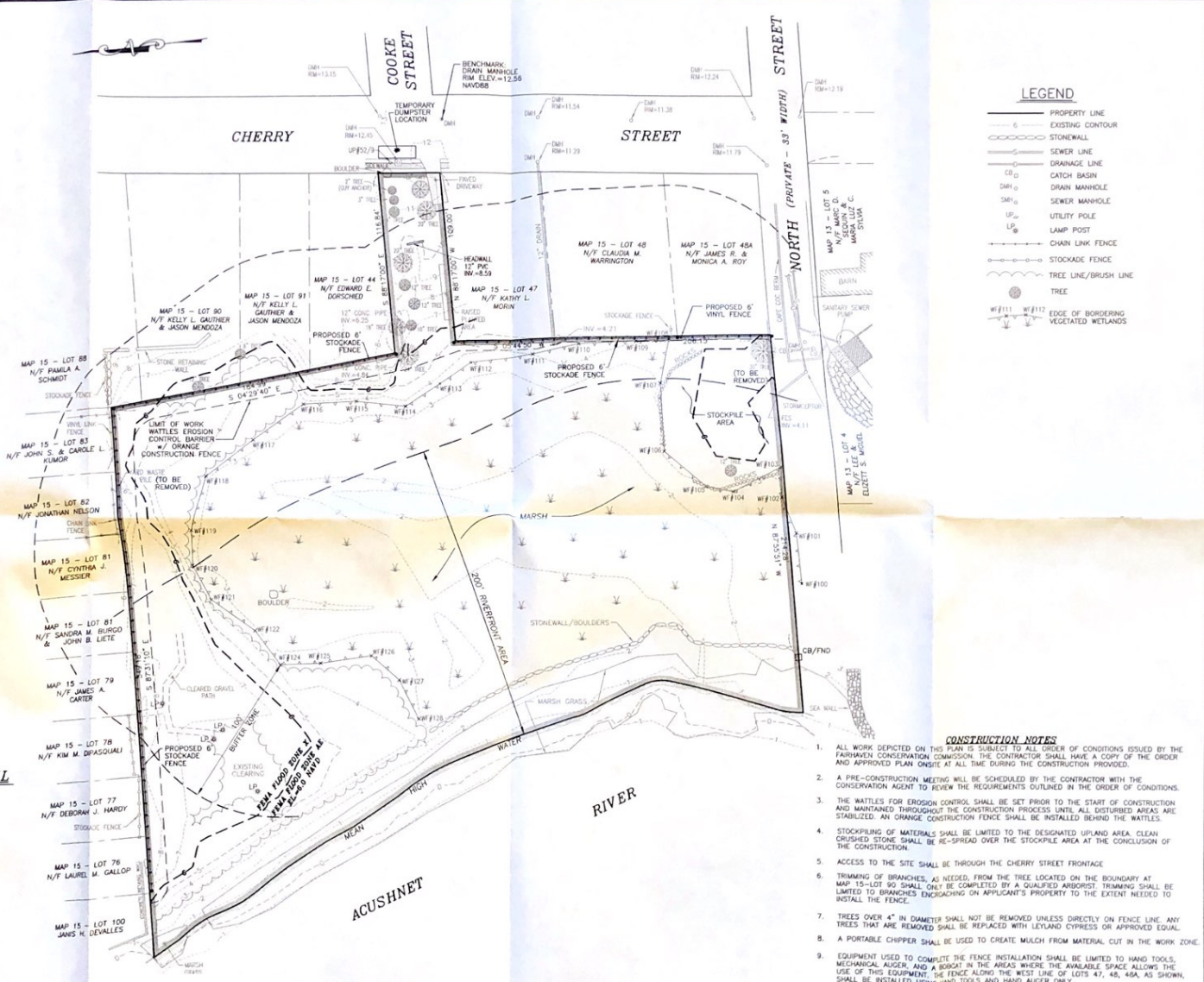
**LOCUS MAP**  
SCALE: 1"=600'



**FENCE DETAIL**  
(NOT TO SCALE)



**WATTLE EROSION CONTROL DETAIL**  
(NOT TO SCALE)

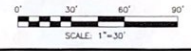


**LEGEND**

	PROPERTY LINE
	EXISTING CONTOUR
	STONE WALL
	SEWER LINE
	DRAINAGE LINE
	CATCH BASIN
	DRAIN MANHOLE
	SEWER MANHOLE
	UTILITY POLE
	LAMP POST
	CHAIN LINK FENCE
	STOCKADE FENCE
	TREE LINE/BRUSH LINE
	TREE
	EDGE OF BORDERING VEGETATED WETLANDS

**CONSTRUCTION NOTES**

- ALL WORK DEPICTED ON THIS PLAN IS SUBJECT TO ALL ORDERS OF CONDITIONS ISSUED BY THE FAIRHAVEN CONSERVATION COMMISSION. THE CONTRACTOR SHALL HAVE A COPY OF THE ORDER AND APPROVED PLAN ON-SITE AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
- A PRE-CONSTRUCTION MEETING WILL BE SCHEDULED BY THE CONTRACTOR WITH THE CONSERVATION AGENT TO REVIEW THE REQUIREMENTS OUTLINED IN THE ORDER OF CONDITIONS.
- THE WATTLES FOR EROSION CONTROL SHALL BE SET PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL ALL DISTURBED AREAS ARE STABILIZED. AN ORANGE CONSTRUCTION FENCE SHALL BE INSTALLED BEHIND THE WATTLES.
- STOCKPILING OF MATERIALS SHALL BE LIMITED TO THE DESIGNATED UPLAND AREA. CLEAN CRUSHED STONE SHALL BE RE-SPREAD OVER THE STOCKPILE AREA AT THE CONCLUSION OF THE CONSTRUCTION.
- ACCESS TO THE SITE SHALL BE THROUGH THE CHERRY STREET FRONTAGE.
- TRIMMING OF BRANCHES, AS NEEDED, FROM THE TREE LOCATED ON THE BOUNDARY AT MAP 15-LOT 90 SHALL ONLY BE COMPLETED BY A QUALIFIED ARBORIST. TRIMMING SHALL BE LIMITED TO BRANCHES ENDOGAGING ON APPLICANT'S PROPERTY TO THE EXTENT NEEDED TO INSTALL THE FENCE.
- TREES OVER 4" IN DIAMETER SHALL NOT BE REMOVED UNLESS DIRECTLY ON FENCE LINE. ANY TREES THAT ARE REMOVED SHALL BE REPLACED WITH LEYLAND CYPRESS OR APPROVED EQUAL.
- A PORTABLE CHIPPER SHALL BE USED TO CREATE MULCH FROM MATERIAL CUT IN THE WORK ZONE.
- EQUIPMENT USED TO COMPLETE THE FENCE INSTALLATION SHALL BE LIMITED TO HAND TOOLS, MECHANICAL AUGER AND A BOWSPIN IN THE AREAS WHERE THE AVAILABLE SPACE ALLOWS THE USE OF THIS EQUIPMENT. THE FENCE ALONG THE BOUNDARY OF LOTS 47, 48, 48A, AS SHOWN, SHALL BE INSTALLED USING HAND TOOLS AND HAND AUGER ONLY.
- EXCESS SOILS SHALL BE SPREAD NEAR THE FENCE POSTS, AND THE AREA SEEDED FOR STABILIZATION. IF REQUIRED, THE SOILS WILL BE AMENDED WITH ORGANIC TOPSOIL TO FACILITATE GRASS GROWTH.
- IF REQUIRED, A LINED CONCRETE WASHOUT PIT SHALL BE SET IN THE STOCKPILE AREA WITH SALT FENCING SET ALONG THE DOWNGRADIENT PERIMETER OF THE PIT.



**OWNER/APPLICANT:**  
LEE & ELIZETT S. MIGUEL  
3 NORTH STREET  
FAIRHAVEN, MA 02719

No.	Date	Revision Description
1	11/15/2020	ISSUE FOR PERMITS
2	12/22/2020	REVISIONS PER CONSERVATION COMMISSION COMMENTS
3	FEBRUARY 26, 2021	FINAL CONSTRUCTION NOTES
4	FEBRUARY 28, 2021	ISSUE FOR PERMITS
5	12/22/2020	REVISIONS PER CONSERVATION COMMISSION COMMENTS

Project: ASSESSORS MAP 15, LOT 43  
NORTH STREET, CHERRY STREET  
FAIRHAVEN, MASSACHUSETTS

Drawn: LEE & ELIZETT S. MIGUEL

Checked: LEE & ELIZETT S. MIGUEL

Project No.: 2020-001

**SITE PLAN**

Scale: 1"=50'

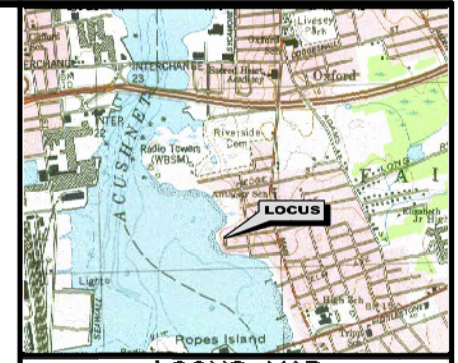
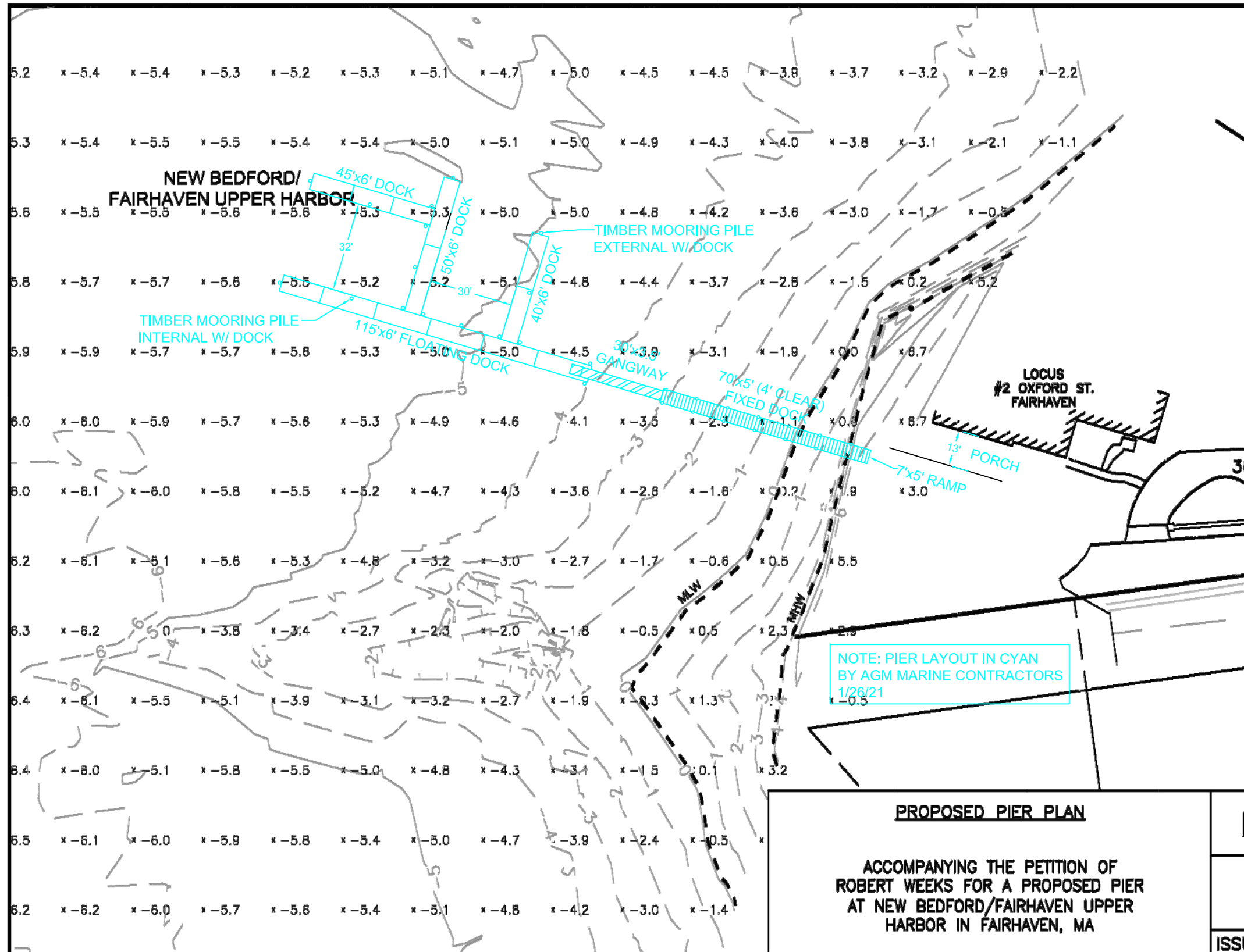
Date: JULY 27, 2020

Drawn: LEE & ELIZETT S. MIGUEL

Checked: LEE & ELIZETT S. MIGUEL

Project No.: 2020-001

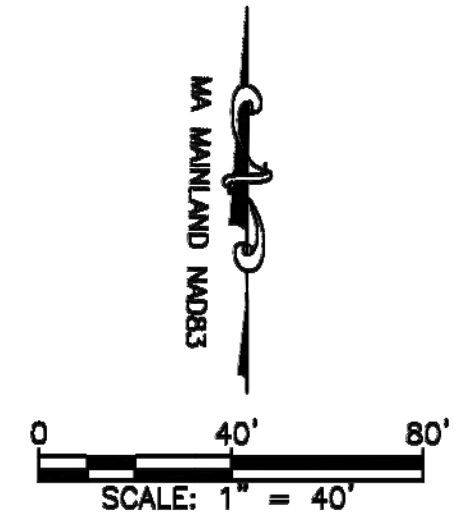
**SITEC, Inc.**  
444 North Street  
Fairhaven, MA 02719  
Tel: 508-989-1222  
Fax: 508-989-1224  
www.sitec-engineering.com



**LOCUS MAP**  
APPROX. SCALE: 1" = 3,500'

**NOTES:**

1. VERTICAL DATUM SHOWN IS MEAN LOW WATER DATUM.
2. CONVERSION OF NAVD88 DATUM TO MEAN LOW WATER DATUM IS BASED ON DATA PROVIDED BY NOAA ONLINE VERTICAL DATUM TRANSFORMATION PROGRAM.
3. THE SUBJECT PROPERTY IS SHOWN ON THE TOWN OF FAIRHAVEN ASSESSORS' MAP 13 LOT 001.



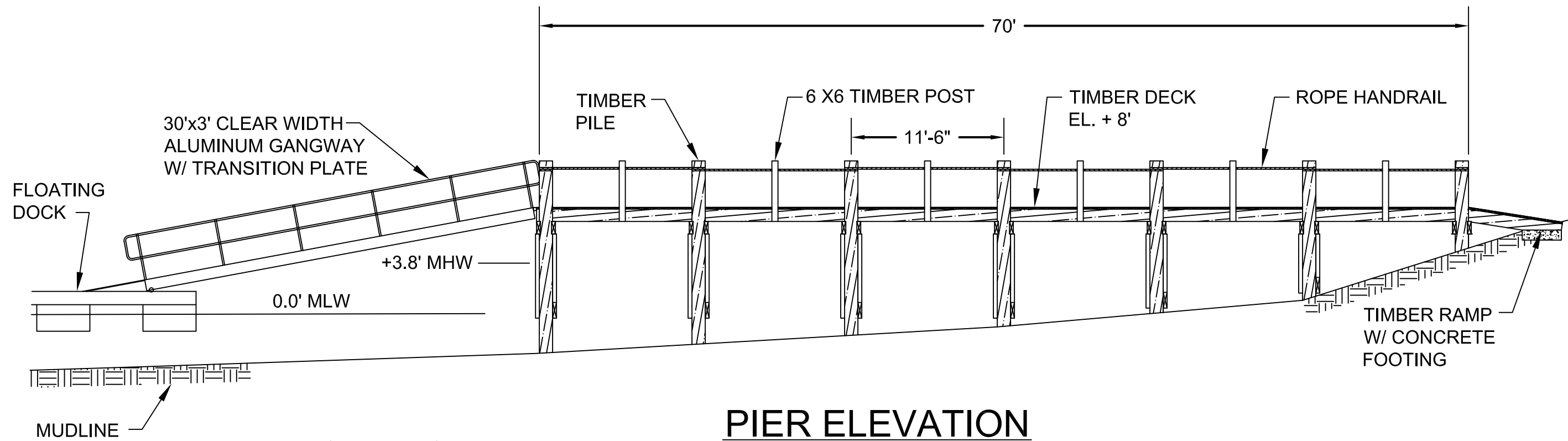
**PROPOSED PIER PLAN**

ACCOMPANYING THE PETITION OF  
ROBERT WEEKS FOR A PROPOSED PIER  
AT NEW BEDFORD/FAIRHAVEN UPPER  
HARBOR IN FAIRHAVEN, MA

**EXISTING CONDITIONS**

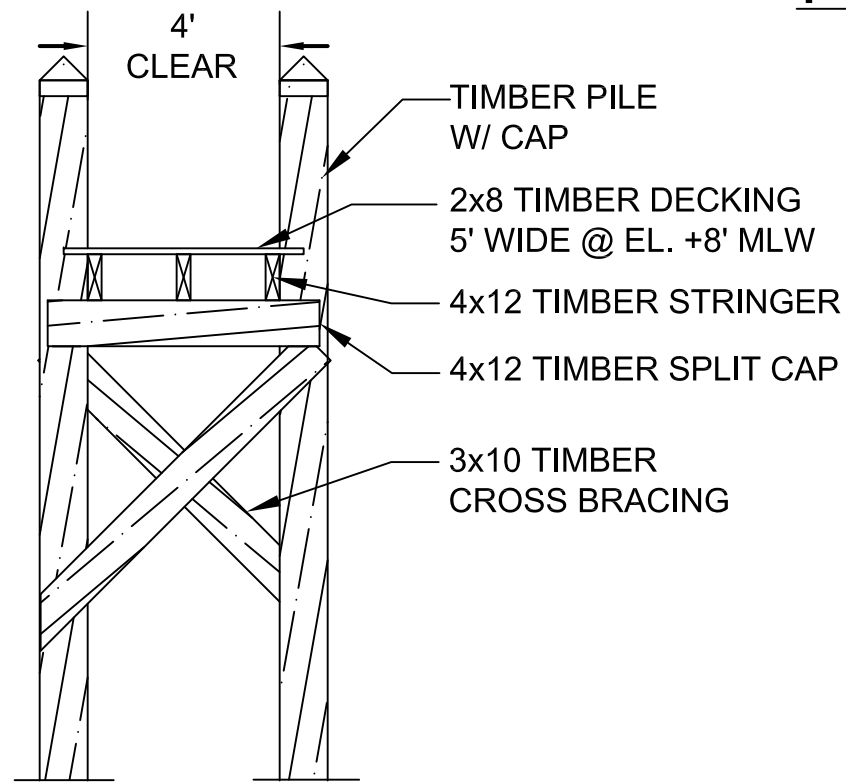
**PRIME ENGINEERING**

ISSUED: JANUARY 19, 2021 | SHEET 1 OF 3



### PIER ELEVATION

SCALE:  $\frac{1}{8}'' = 1'-0''$



### PIER CROSS SECTION

SCALE:  $\frac{1}{4}'' = 1'-0''$

PROPOSED PIER DETAILS  
25 OXFORD STREET  
FAIRHAVEN, MA.

SCALE: AS NOTED	SHEET NO. 1 OF 1.
DATE: JANUARY 26, 2021	
DRAWN BY: RGF	
AGM MARINE CONTRACTORS, INC. 30 ECHO ROAD, MASHPEE, MA 02649	

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

DATE

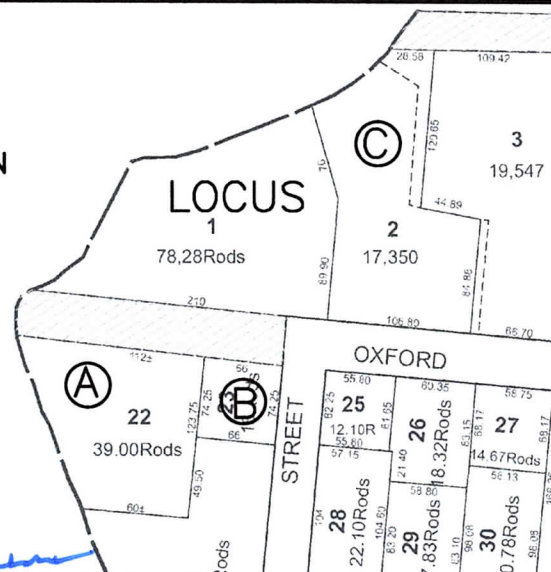
**ABUTTERS:**

- N/F  
**(A)** RUTH & LARS OLSON  
 MAP 13, LOT 22 & 23  
 2 WEST STREET
- N/F  
**(B)** NINA BONNOYER  
 MAP 13, LOT 23  
 7 OXFORD STREET
- N/F  
**(C)** HUGETTE WHITE  
 MAP 13, LOT 2  
 10 OXFORD STREET

**NEW  
 BEDFORD/FAIRHAVEN  
 UPPER  
 HARBOR**



*Richard J. Rheaume*

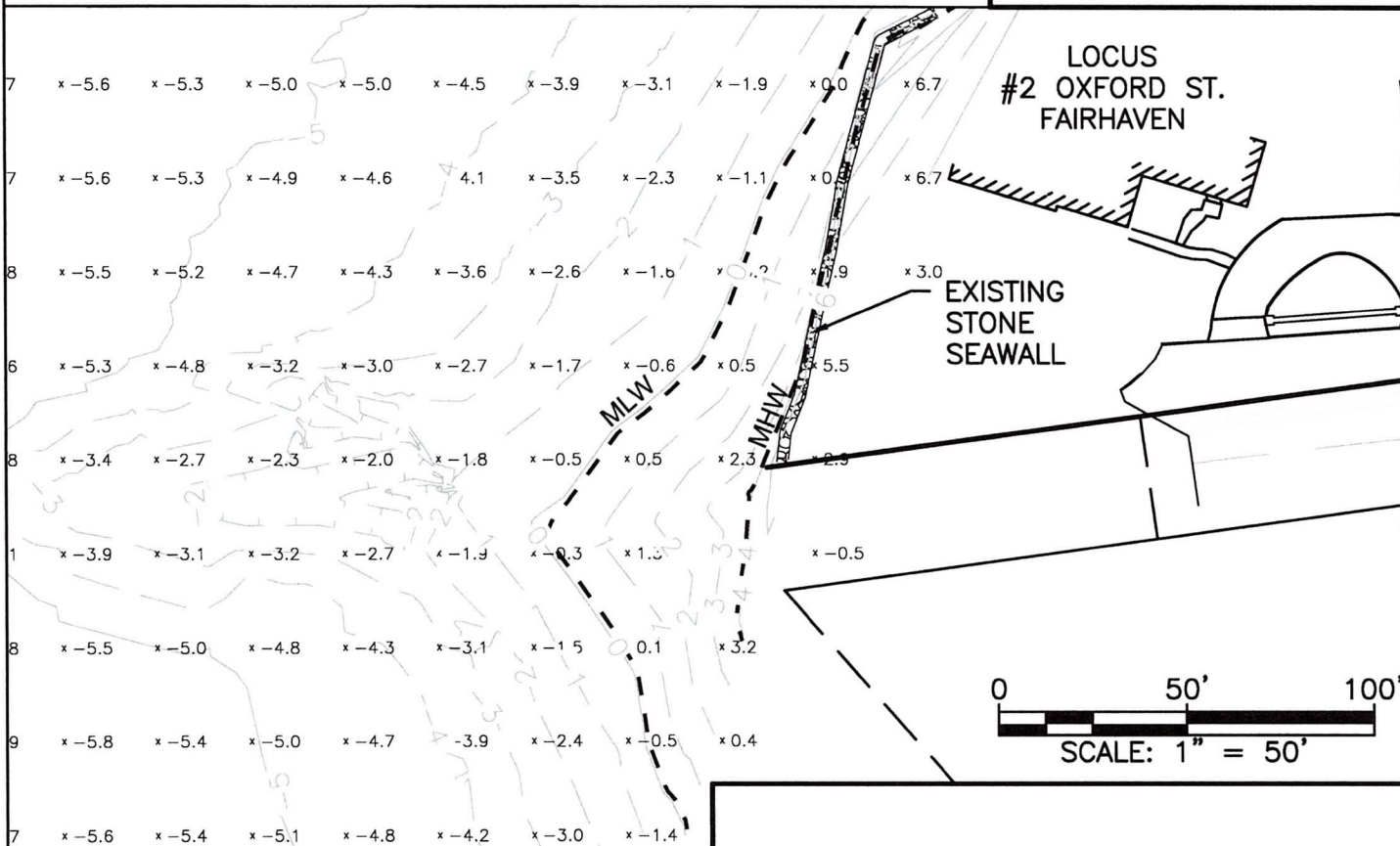


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**LOCUS MAP**  
 APPROX. SCALE: 1"=3,500'



**EXISTING CONDITIONS**



PLAN ACCOMPANYING THE PETITION OF OXFORD STREET LLC FOR A PROPOSED PIER, GANGWAY, AND FLOATS AT NEW BEDFORD/FAIRHAVEN UPPER HARBOR IN FAIRHAVEN, MA



I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

DATE

NOTES:

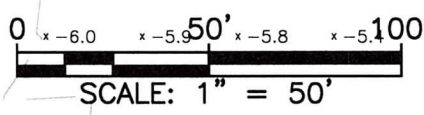
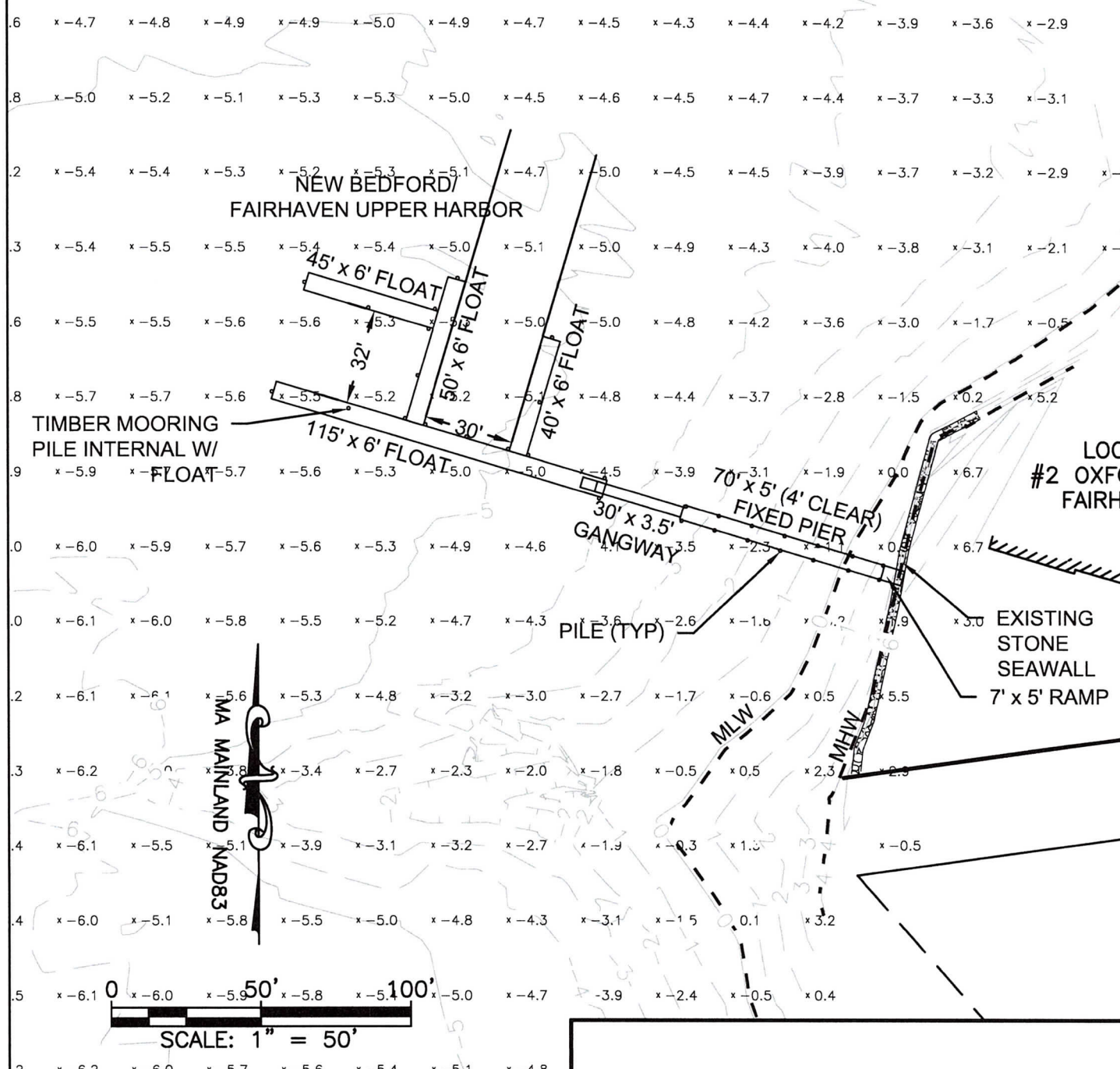
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*Richard J. Rheaume*



LOCUS MAP  
APPROX. SCALE: 1"=3,500'



PLAN VIEW

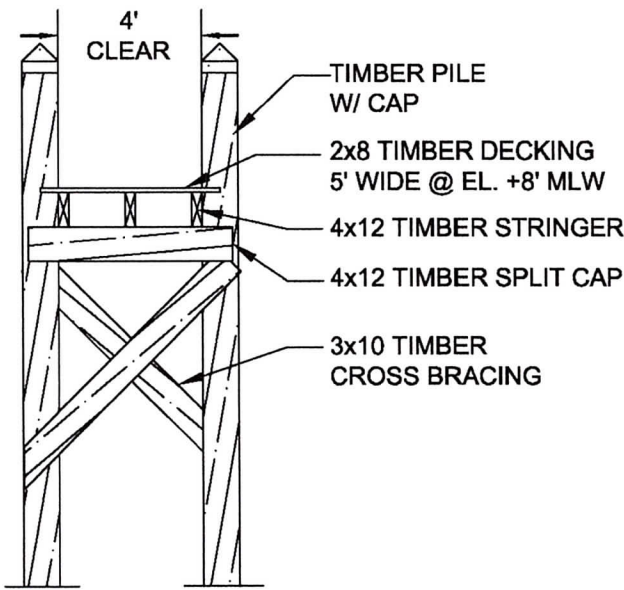
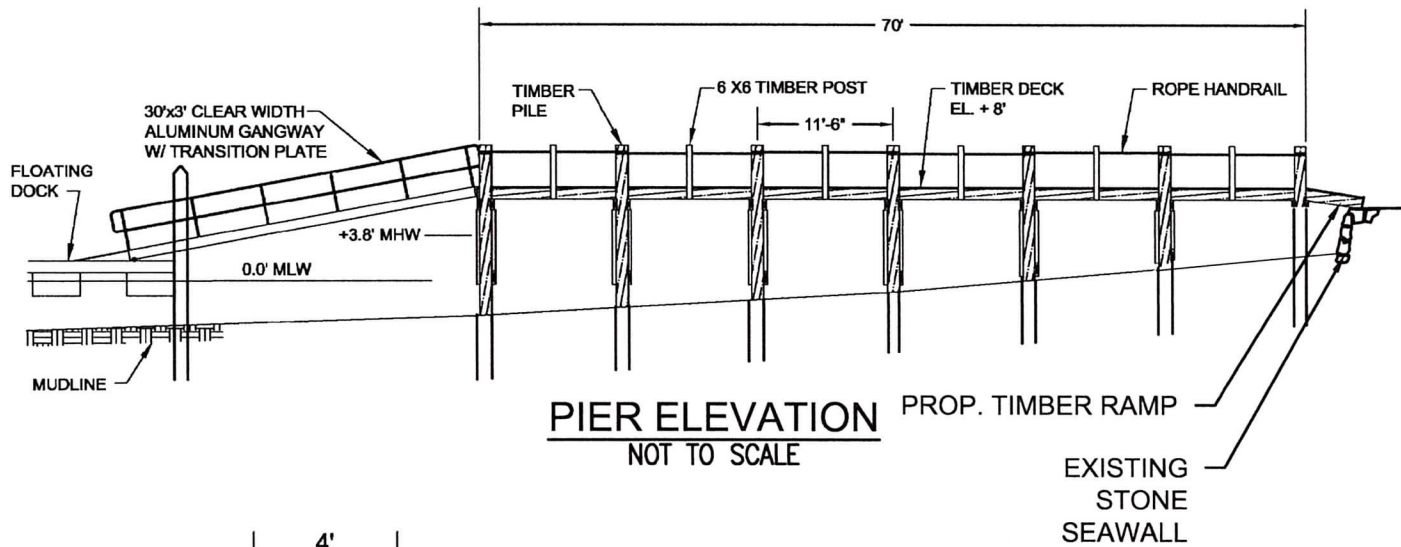
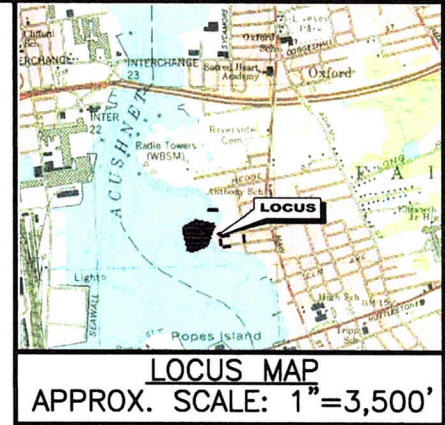


PLAN ACCOMPANYING THE PETITION OF OXFORD STREET LLC FOR A PROPOSED PIER, GANGWAY, AND FLOATS AT NEW BEDFORD/FAIRHAVEN UPPER HARBOR IN FAIRHAVEN, MA

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

DATE

3.89	MEAN HIGH WATER	
2.03	MEAN SEA LEVEL	1.8'
0.12	MEAN LOW WATER	1.97
<u>TIDE ELEVATIONS</u>		



**PIER CROSS SECTION**

NOT TO SCALE

PROFILE AND DETAILS



*Richard J. Rheaume*

PLAN ACCOMPANYING THE PETITION OF OXFORD STREET LLC FOR A PROPOSED PIER, GANGWAY, AND FLOATS AT NEW BEDFORD/FAIRHAVEN UPPER HARBOR IN FAIRHAVEN, MA

