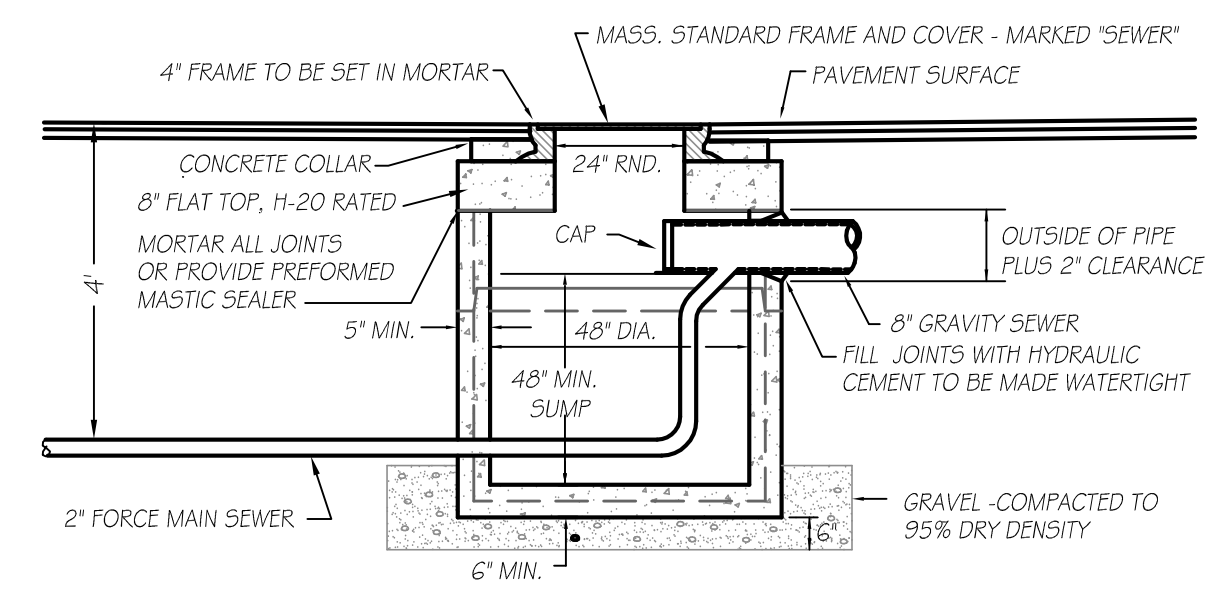
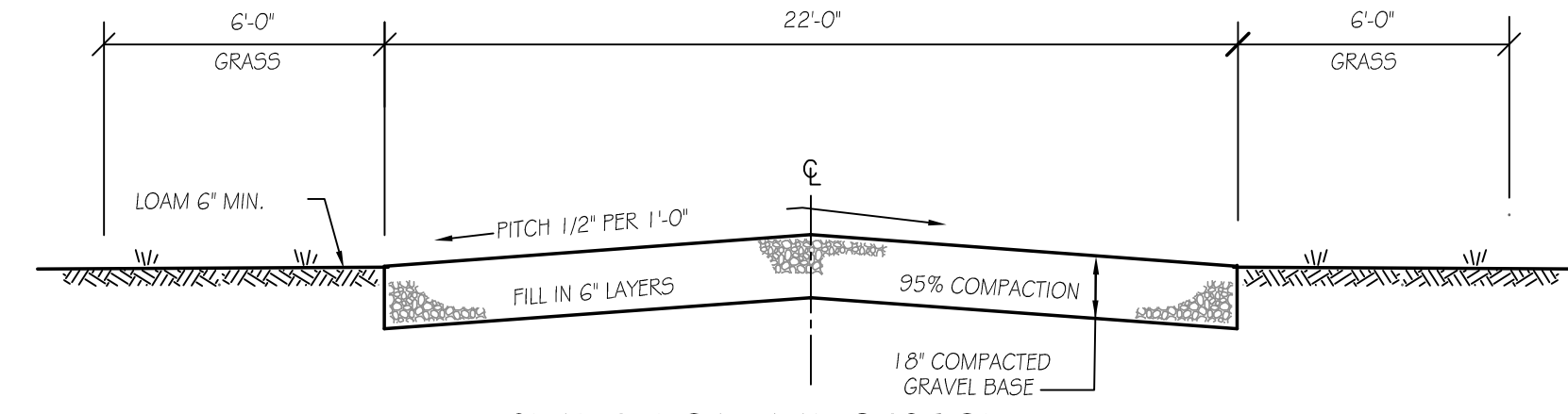


LOCUS PLAN



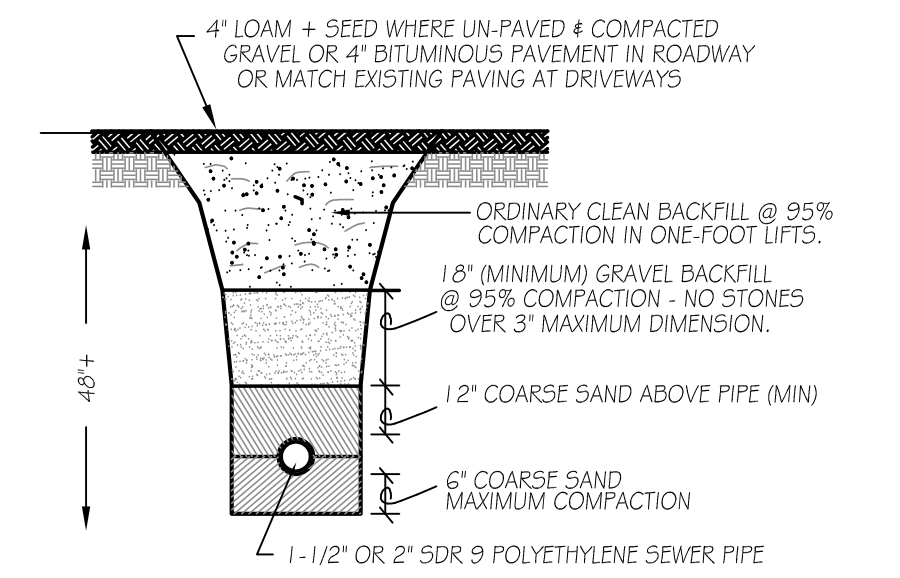
SEWER MANHOLE DETAIL
NOT TO SCALE

NOTE: BARRELS & CONES SHALL BE MANUFACTURED IN ACCORDANCE WITH A.S.T.M. STANDARD SPECIFICATIONS FOR REINFORCED CONCRETE MANHOLE RISERS & TOPS DESIGNATION C478-63T.

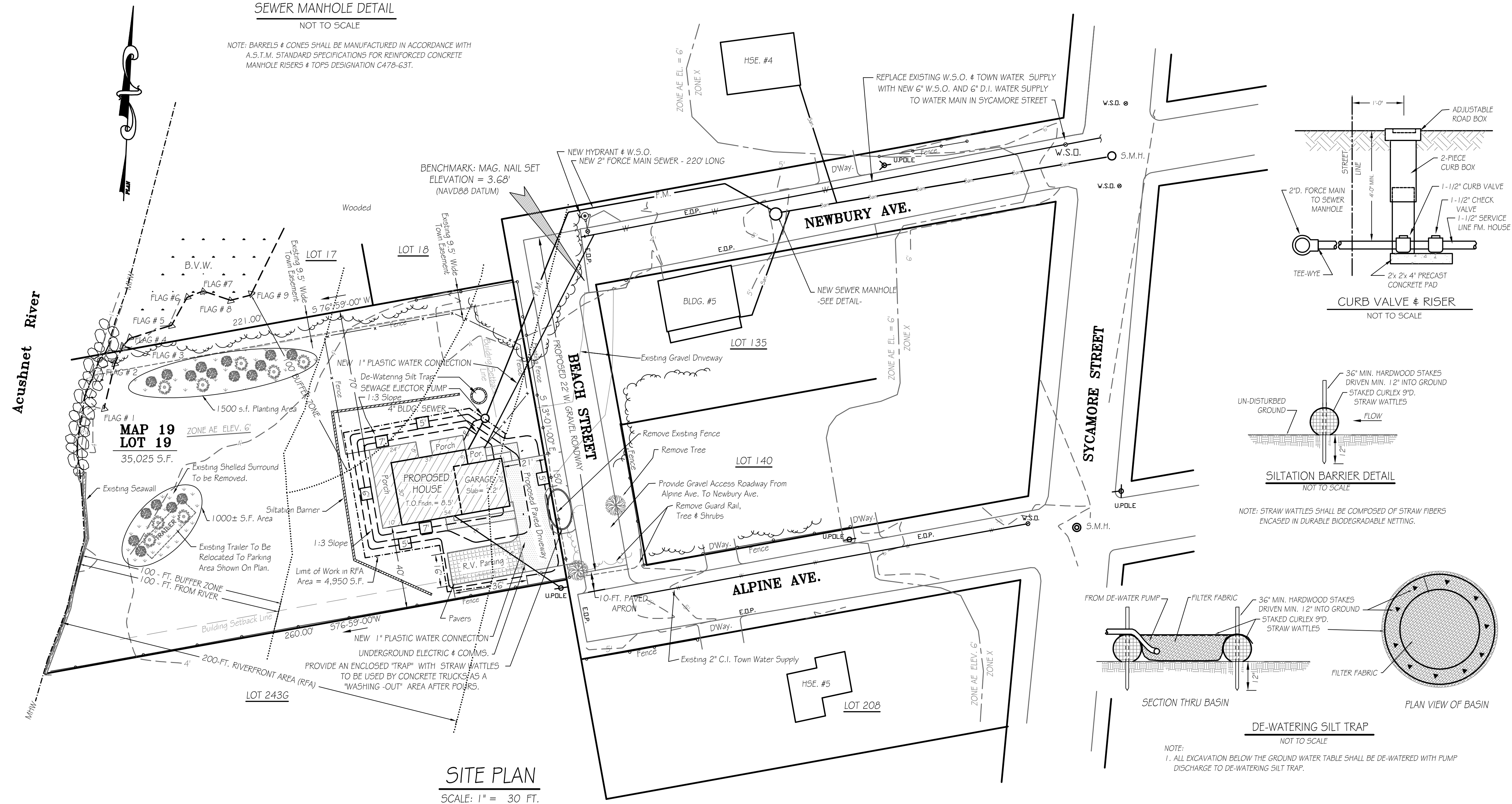


GRAVEL ROADWAY SECTION
NOT TO SCALE

NOTES:
1. REMOVE EXISTING TOPSOIL AND SUBSOIL UNDER PROPOSED ROADWAY AND FILL TO SUBGRADE WITH GRAVEL BORROW AND COMPACT TO 95% DENSITY.
2. COMPACTED GRAVEL BASE SHALL CONFORM TO MASS. DPW SPEC. M-1.03.0 FOR GRAVEL BORROW. COMPACT GRAVEL BASE TO 95% DENSITY.



TRENCH PIPE BEDDING DETAIL
NOT TO SCALE

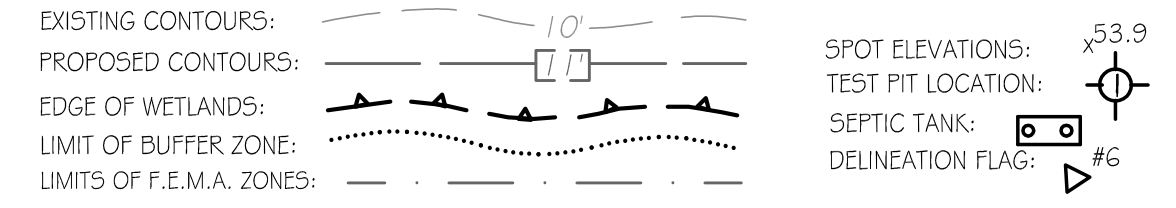


SITE PLAN
SCALE: 1" = 30 FT.

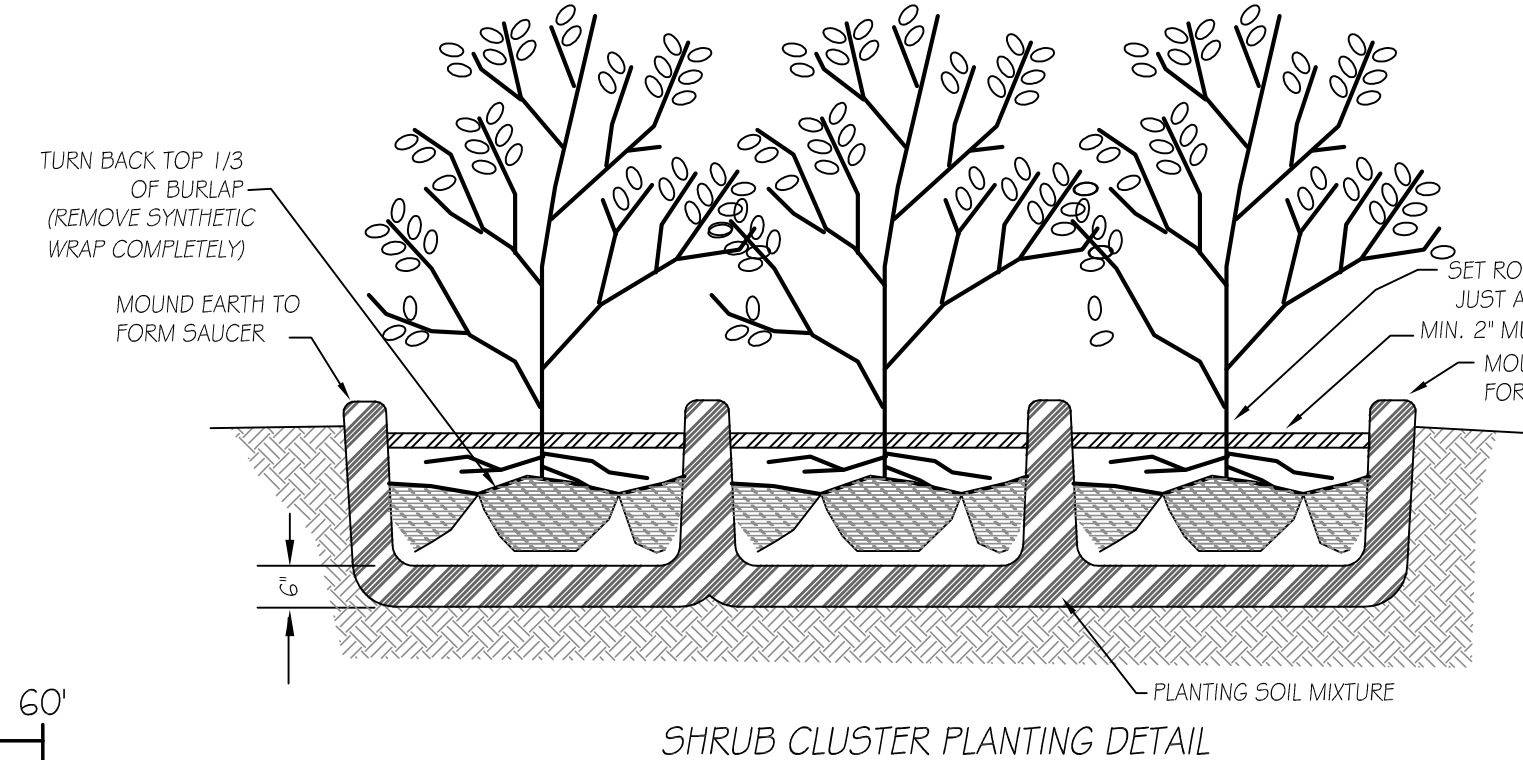
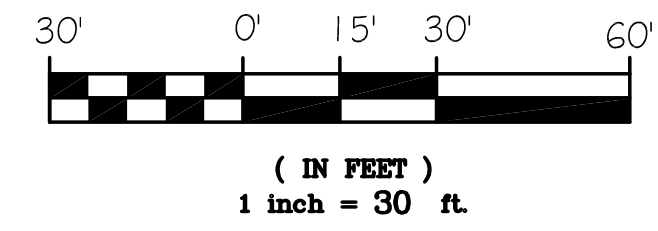
GENERAL PLANTING NOTES:

- SUITABLE PLANTINGS SHALL INCLUDE INKBERY (ILEX GLABRA), BAYBERRY (MORELIA CAROLINIENSIS), AND EASTERN RED CEDAR (JUNIPERUS VIRGINIANA). SUITABLE GROUNDCOVER SHALL INCLUDE PURPLE LOVEGRASS (ERAGROSTIS SPECIABILIS), NEW YORK ASTER (SYMPHYOTRICHUM NOVIBELGII) AND GRAY GOLDENROD (SOLIDAGO NEMORALIS).
- PROPOSED PLANTING ACTIVITIES ARE NOT TO HAPPEN WHEN THE SOIL CONDITIONS ARE FROZEN OR WHEN SOILS WILL BE TOO DRY TO PERMIT PLANTING. OPTIMUM PLANTING PERIOD IS MID-MARCH TO MID-APRIL. PLANTS SHALL BE IRRIGATED REGULARLY AFTER PLANTING FROM THE WELL TO BE INSTALLED ON THE PROPERTY OR FROM RELIABLE ALTERNATIVE SOURCE.
- ALL PLANTING HOLES SHALL BE HAND-BACKFILLED WITH NATIVE SOIL AS POSSIBLE. ADDITIONAL SOIL SHALL BE SCREENED TOPSOIL AND COMPOST MIX. ALL PLANTED TREES SHALL RECEIVE ORGANIC SLOW RELEASE FERTILIZER AND BE STAKED AS NECESSARY.

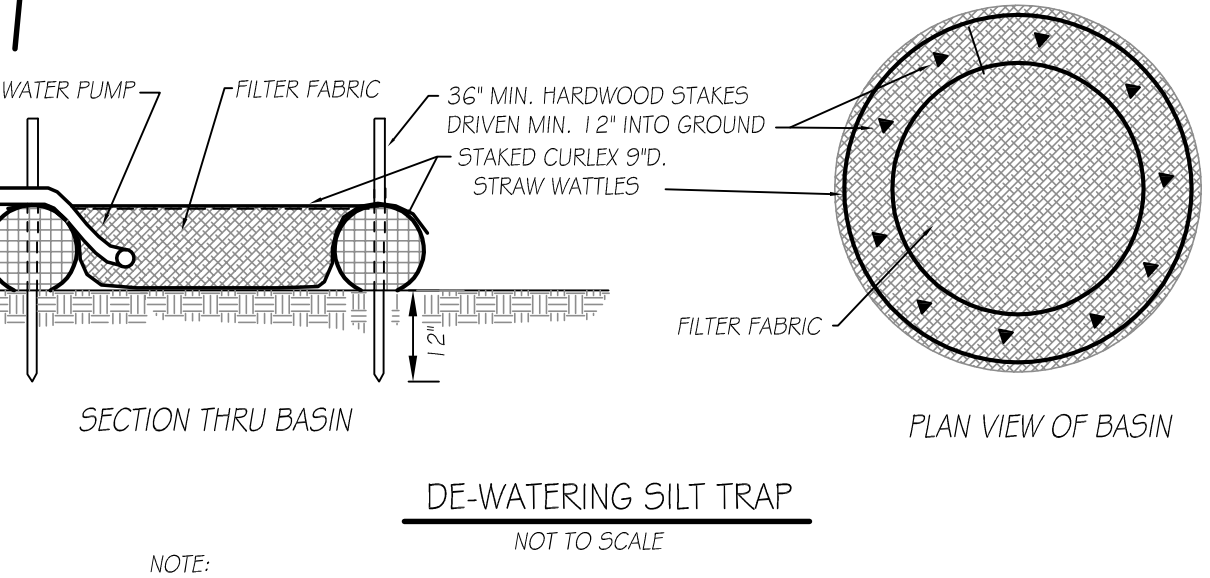
LEGEND:



GRAPHIC SCALE

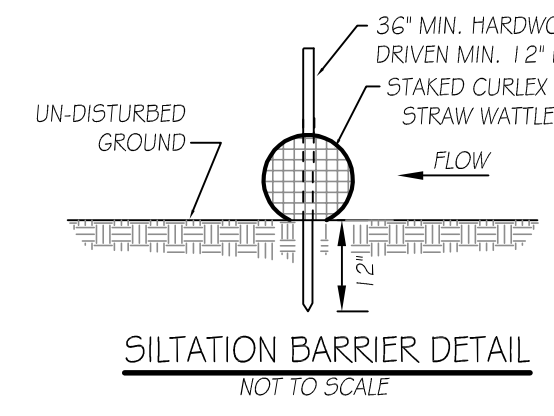


SHRUB CLUSTER PLANTING DETAIL
NOT TO SCALE



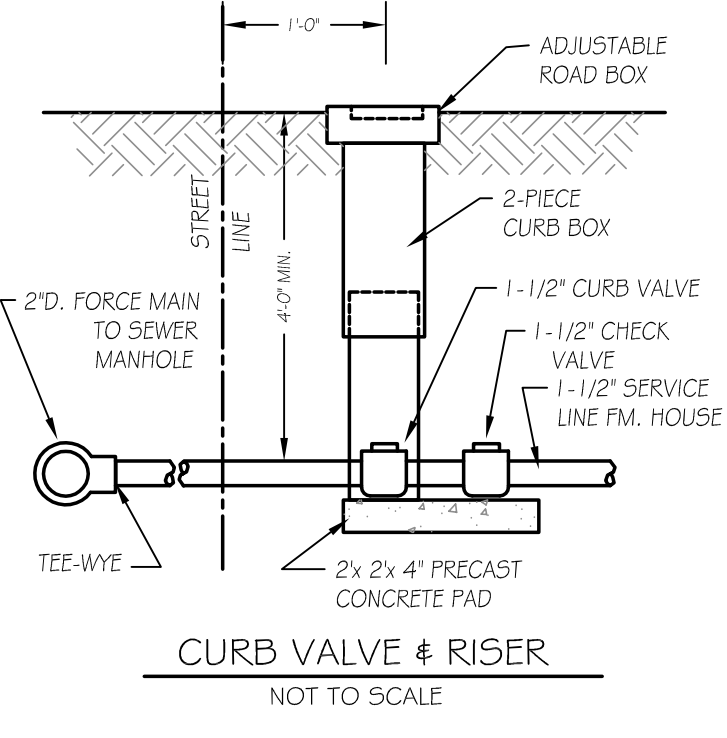
DE-WATERING SILT TRAP
NOT TO SCALE

NOTE:
1. ALL EXCAVATION BELOW THE GROUND WATER TABLE SHALL BE DE-WATERED WITH PUMP DISCHARGE TO DE-WATERING SILT TRAP.

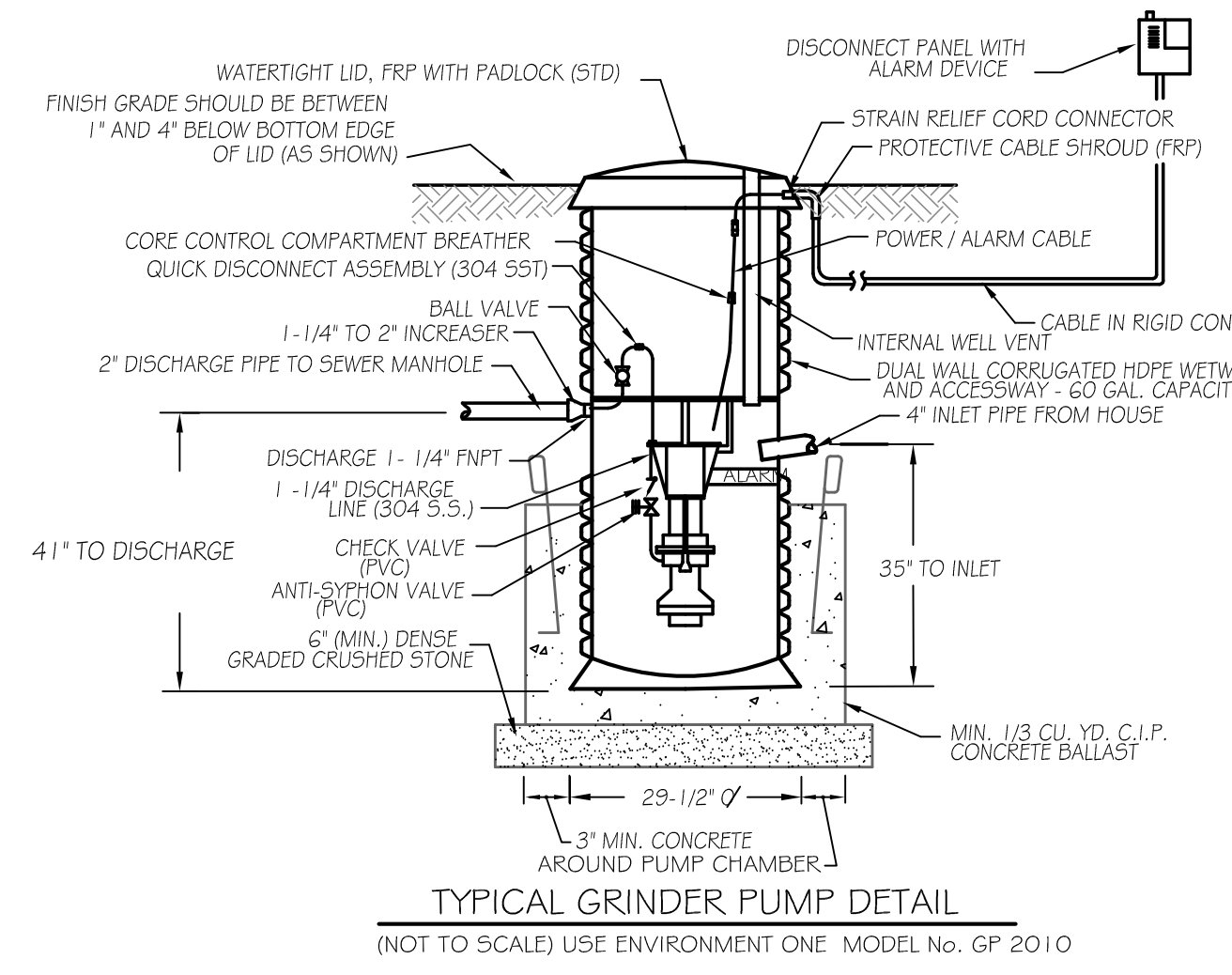


SILTATION BARRIER DETAIL
NOT TO SCALE

NOTE: STRAW WATTLES SHALL BE COMPOSED OF STRAW FIBERS ENCASED IN DURABLE BIODEGRADABLE NETTING.



CURB VALVE & RISER
NOT TO SCALE



TYPICAL GRINDER PUMP DETAIL
(NOT TO SCALE) USE ENVIRONMENT ONE MODEL No. GP 2010

SPECIFICATIONS:

- SEWER PIPE SHALL BE 'ENDURE' S.D.R. 9 POLYETHYLENE PIPE RATED FOR 200 PSI, LAID TRUE TO GRADE. PIPE SHALL BE BEDDED IN COMPACTED SAND AS SHOWN ON BEDDING DETAIL. PIPE SHALL BE INSPECTED IN PLACE BY THE ENGINEER AND THE FAIRHAVEN D.P.W. REPRESENTATIVE PRIOR TO FINAL COVER.
- NEW GRINDER PUMP PACKAGE SHALL BE 'E-ONE' PUMP BY ENVIRONMENT ONE CORPORATION WITH PROGRESSIVE CAVITY PUMP WITH STAINLESS STEEL ROTOR AND 1-HP 1725 RPM MOTOR, SELF-CLEANING STATIC LEVEL SENSORS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM CLEARANCE BETWEEN NEW SEWER SERVICE AND EXISTING UNDERGROUND UTILITIES OF AT LEAST 2 FEET. WHERE NEW SEWER CROSSES OTHER UTILITIES WITHIN 2 FEET, BACKFILL WITH CRUSHED STONE BETWEEN THE PIPES.

GENERAL NOTES:

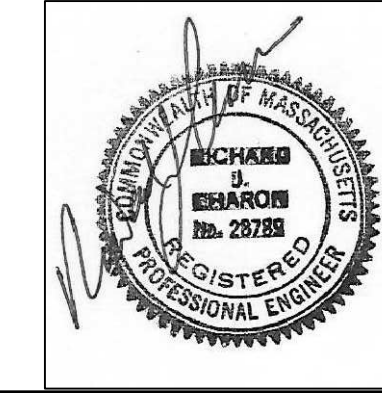
- NOTE A: SUBJECT LOCATION IS SHOWN AS LOT 19 OF ASSESSORS MAP 19. ZONING IS GENERAL RESIDENCE - RB. MIN. LOT AREA = 15,000 S.F.; MIN. FRONTAGE = 100 FT. SETBACKS: 20-FT. FRONT, 10-FT. SIDE & 30-FT. REAR. MAX. BLDG. COVERAGE = 30%; MAX. LOT COVERAGE = 50%. PROPOSED BUILDING COVERAGE = (HOUSE @ 2,280 SF) / 35,025 SF = 6.5%. PROPOSED LOT COVERAGE = (HOUSE + DRIVEWAY & WALKS @ 4,180 SF) / 35,025 SF = 11.9%.
- NOTE B: THE DWELLING SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE AE, EL. C) AS DELINEATED ON F.E.M.A. COMMUNITY PANEL NO. 25005C0391G DATED JULY 16, 2014.
- NOTE C: THE OWNERS PROPOSE TO PLACE FILL WITHIN THE FLOOD ZONE SUBJECT TO APPROVAL OF A CONDITIONAL LETTER OF MAP REVISION BASED ON FILL (CLOMR-F) TO BE REQUESTED FROM F.E.M.A. UPON THE ISSUANCE OF AN ORDER OF CONDITIONS FROM THE FAIRHAVEN CONSERVATION COMMISSION. ESTIMATED FILL QUANTITY = 300 CU YDS.
- NOTE D: THE SUBJECT PARCEL LIES WITHIN THE RIVER FRONT AREA (RFA) OF THE ACUSHNET RIVER. RFA = 32,110 S.F. FOR LOT RECORDED PRIOR TO 10/6/1997. MAX. ALTERATION WITHIN RFA = 5,000 S.F. DEED REFERENCE FOR SUBJECT PARCEL: BOOK 10950 PAGE 167 (1/10/2013) FOR LOT NOS. 318, 319, 320, 321, 322, 334, 335, 336, 337 & 338 AS SHOWN ON 'PLAN OF OXFORD TERRACE' DATED MAY 20, 1904, AND RECORDED IN PLAN BOOK 4 PAGE 61.
- NOTE E: NOTIFY DIG-SAFE CENTER, LOCAL UTILITIES AND FAIRHAVEN B.P.W. 72 HOURS PRIOR TO START OF WORK.
- NOTE F: REVISION #4 INCLUDES THE FOLLOWING CHANGES RESULTING FROM PLANNING BOARD REVIEW: (1) BEACH STREET TO BE 22-FT. WIDE GRAVEL WAY BETWEEN ALPINE AVE. AND NEWBURY AVE.; (2) NEW 6" WATER MAIN & NEW HYDRANT TO BE INSTALLED IN NEWBURY AVE. AND EXTENDED TO NEW HOUSE FROM NORTH SIDE.

D.E.P. FILE NO.: 023-1310

PLAN OF SITE, PROPOSED HOUSE & UTILITY CONNECTIONS
PREPARED FOR
DANIEL E. & PAMELA J. CORCORAN
MAP 19 LOT 19 - BEACH STREET
FAIRHAVEN, MASS.

CAI Charon Associates, Inc.
Consulting Engineers
323 Neck Road - Rochester, MA 02770
Tel: 508-763-8362 Fax: 508-763-9582

DATE: DECEMBER 30, 2019 SCALE: AS NOTED
REV. 1: JANUARY 21, 2020 Limit Of Siltation Barrier And Concrete Wash-Out
REV. 2: FEBRUARY 3, 2020, Plantings, & D.P.W. Water Line/ Hydrant And Access Road Requirements
REV. 3: FEB. 19, 2020, Silt Trap & R.V. Parking
REV. 4: MAR. 28, 2021 - Note F'



DWG. NO. L-1

REQUEST FOR DETERMINATION OF APPLICABILITY ISSUED FOR PERMITTING FAIRHAVEN HIGH SCHOOL ATHLETIC FIELD IMPROVEMENTS

12 HUTTLESTONE AVE
FAIRHAVEN, MA 02719

TRAVERSE LANDSCAPE ARCHITECTS PROJECT NO. A1037



CONTACT INFORMATION

ORGANIZATION	NAME	PHONE
OWNER FAIRHAVEN SCHOOL DISTRICT 12 HUTTLESTONE AVE FAIRHAVEN, MA 02719	NICOLE POTTER	(508) 979 400 EXT 140
	ANDY KULAK	
LANDSCAPE ARCHITECT TRAVERSE LANDSCAPE ARCHITECTS	JUSTIN ROBERTSHAW	(319) 440 8989
	ARTHUR EDDY	(401) 585 0017

SHEET INDEX

SHEET	DESCRIPTION
C101	CIVIL NOTES AND LEGEND
C201	DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN
C301	GENERAL PLAN
C401	GRADING PLAN
C501	DRAINAGE AND UTILITY PLAN
C601	CIVIL DETAILS 1
C602	CIVIL DETAILS 2
L0.01	LEGEND SCHEDULES AND GENERAL NOTES
L1.01	EXISTING CONDITIONS
L1.11	OVERALL SITE PLAN
L1.21	LANDSCAPE ATHLETICS MATERIALS PLAN
L1.31	LANDSCAPE ATHLETIC LAYOUT PLAN
L3.11	LANDSCAPE ATHLETIC DETAILS
L3.12	LANDSCAPE ATHLETIC DETAILS
L3.13	LANDSCAPE ATHLETIC DETAILS
L3.14	LANDSCAPE ATHLETIC DETAILS
L3.15	LANDSCAPE ATHLETIC DETAILS
L3.21	ATHLETIC SUPPORT BUILDING DETAILS
L3.22	ATHLETIC SUPPORT BUILDING DETAILS

SCOPE OF WORK

BASE BID - FIELD IMPROVEMENTS
STRIPING OF TOP SOIL WITH THE STADIUMS EXISTING BRICK WALLS, REMOVAL OF EXISTING SPORTS LIGHTING, REMOVAL AND REPLACEMENT OF FENCE FABRIC, SELECTIVE DEMOLITION OF EXISTING FENCE NORTH AND SOUTH OF FIELD REPLACED BY NEW ORNAMENTAL FENCE AND BALL SAFETY NETTING, NEW ACCESSIBLE PATHWAYS NORTH AND EAST OF THE FIELD, NEW DRAINAGE AND SYNTHETIC TURF PROFILE.

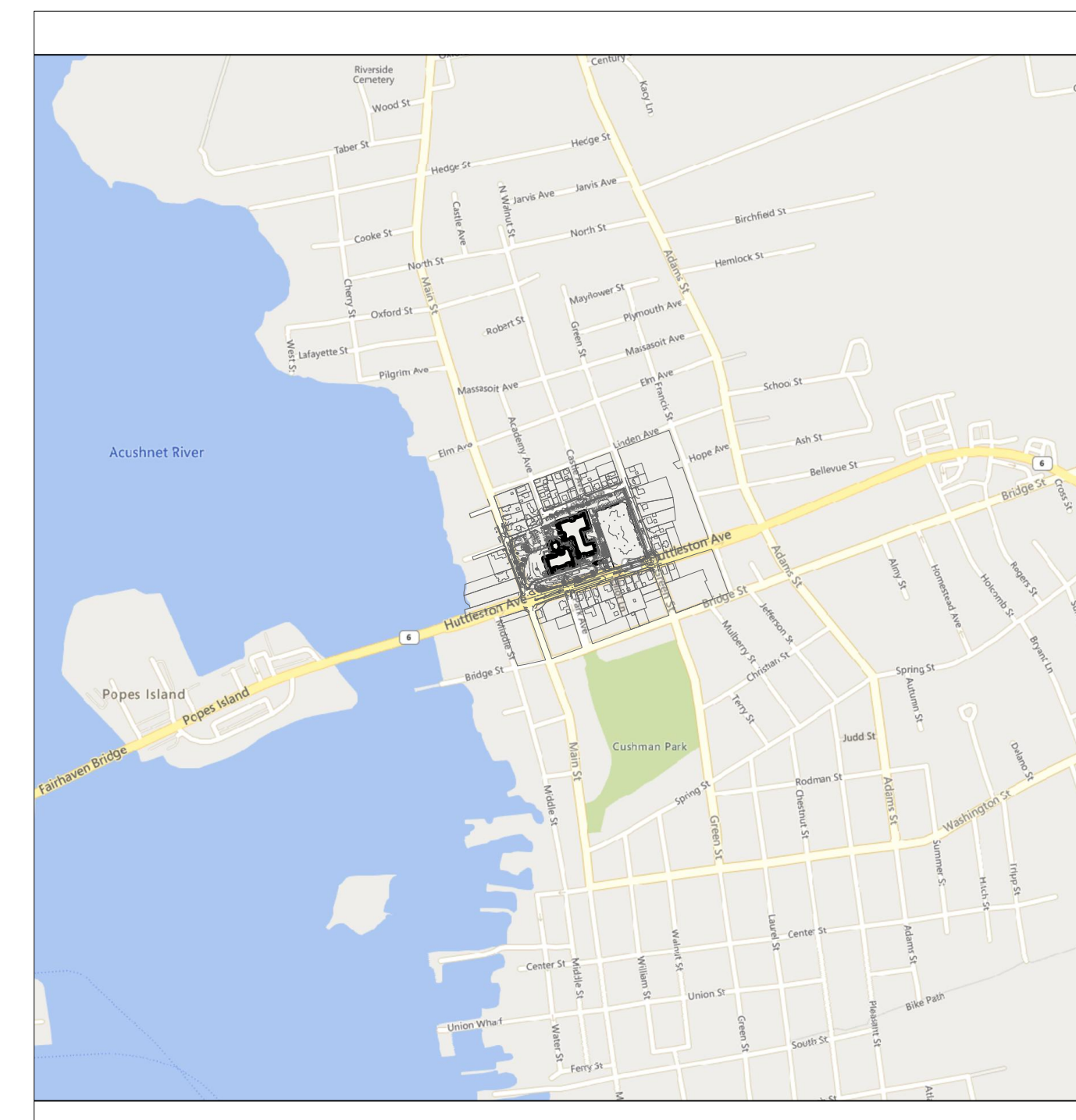
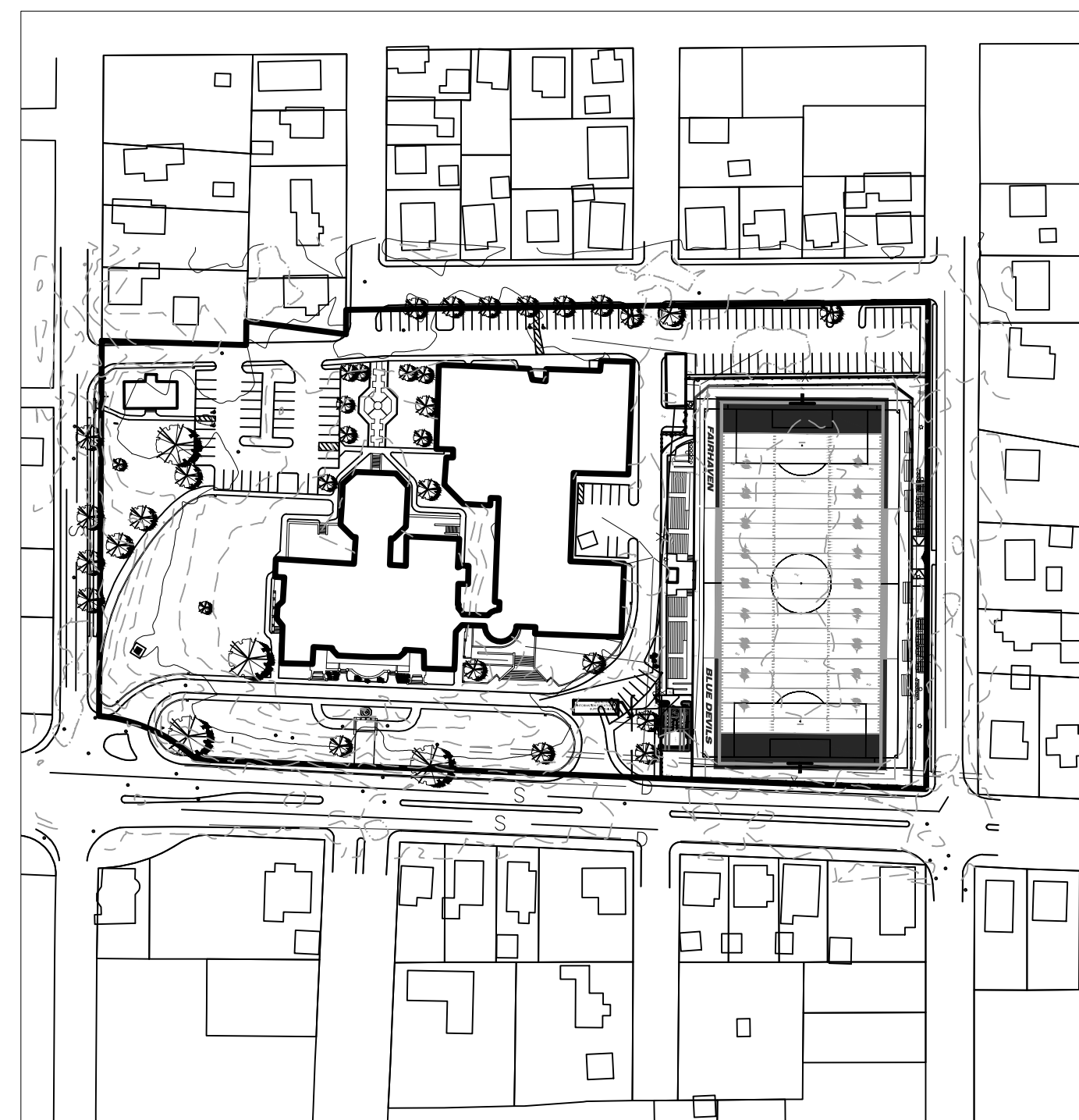
ALTERNATE #1 SPORTS LIGHTING
FURNISH AND INSTALL NEW LED SPORTS LIGHTING AND ASSOCIATED ELECTRICAL DISTRIBUTION

ALTERNATE #2 RESTROOM SUPPORT BUILDING WITH STORAGE
ALL DEMOLITION AND PROPOSED SITE WORK WITH THE ALT. #2 LOCATION ALONG WITH THE FURNISHING, LABOR AND INSTALLATION OF NEW RESTROOM SUPPORT BUILDING.

PREPARED BY



PROJECT MAPS



REFERENCE

- PROJECT LOCATION: FAIRHAVEN HIGH SCHOOL 12 HUTTLESTON AVENUE, FAIRHAVEN, MA. 02719 ASSESSOR'S MAP 12, LOT 236.
- EXISTING CONDITIONS MAPPING TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS PLAN" PREPARED BY INSITE ENGINEERING SERVICES, LLC, DATED FEBRUARY 16, 2021.

GENERAL NOTES

- THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, 2020 EDITION OR LATEST REVISION, AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL MEET OR EXCEED THE MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, WITH LATEST REVISIONS. THE LATEST REVISION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND OWNER'S REPRESENTATIVE AS REQUIRED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ALL OPEN EXCAVATED AREAS IN ACCORDANCE WITH OSHA FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEERS APPROVAL.
- IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS REQUIRED, THE CONTRACTOR SHALL IMMEDIATELY CONTACT AND COORDINATE ANY DEVIATIONS WITH THE ENGINEER AND OWNER.
- ANY AREA OUTSIDE OF THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS PREPARED FOR THIS PROJECT.
- ALL UTILITIES (LOCATION AND ELEVATION) DEPICTED SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ALL DAMAGE TO EXISTING UTILITIES OR STRUCTURES, AND THE COST TO REPAIR THE DAMAGES TO INITIAL CONDITIONS, AS SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- NO EXCAVATION SHALL BE DONE UNTIL COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE. NOTE THAT NOT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RESPECTIVE UTILITY COMPANIES TO VERIFY AND LOCATE EXISTING UTILITIES.

LAYOUT NOTES

- ALL LINES ARE PERPENDICULAR OR PARALLEL TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- ACCESSIBLE RAMPS SHALL BE PER THE AMERICAN WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND CODE OF MASSACHUSETTS REGULATIONS (CMR) TITLE 521 OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL PERFORM BENCHMARK FIELD LEVEL VERIFICATION AND COORDINATE LAYOUT CHECK. THE CONTRACTOR SHALL CONTACT PARE CORPORATION IF ANY DISCREPANCIES ARE FOUND.
- DIMENSIONS OF PARKING SPACES AND DRIVEWAYS ARE FROM FACE OF CURB TO FACE OF CURB. DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING TO FACE OF CURB.
- ALIGN WALKWAYS ON DOORWAYS THEY SERVE TO PROVIDE MINIMUM REQUIRED MANEUVERING CLEARANCE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND CODE OF MASSACHUSETTS REGULATIONS (CMR) TITLE 521 OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS.

DEMOLITION NOTES

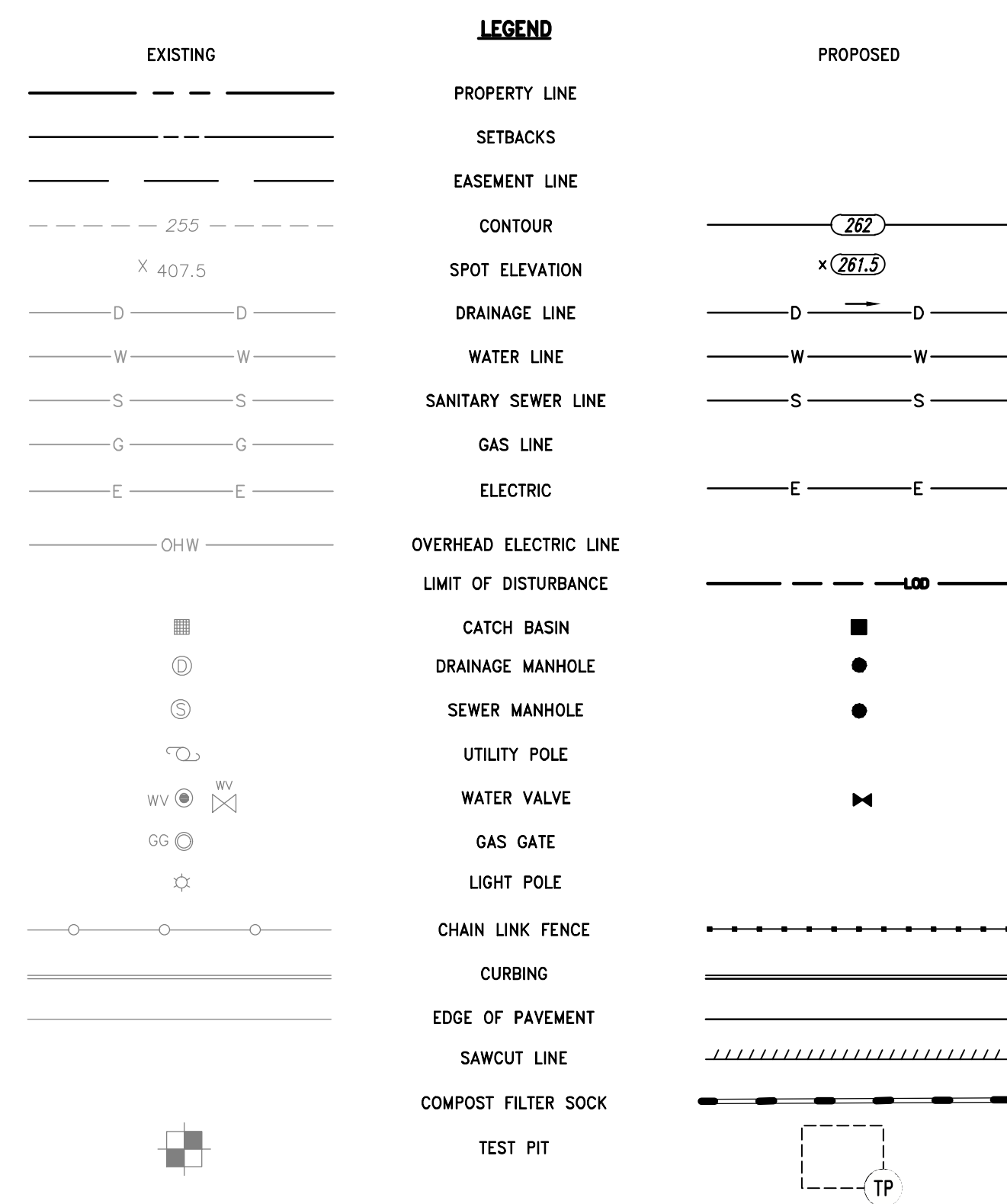
- THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION OF STRUCTURES, PAVEMENT AND CONCRETE MATERIALS, AND UTILITIES WITH APPROPRIATE PROPOSED SITE GENERAL, GRADING, UTILITY, AND LANDSCAPING DRAWINGS.
- ALL NOTED UTILITIES TO BE REMOVED AND DISPOSED OF, RELOCATED OR CAPPED REPRESENT ALL KNOWN SITE CONDITIONS TO BE DEMOLISHED. THE CONTRACTOR SHALL COORDINATE ALL UNFORESEEN CONDITIONS WITH THE PROJECT ENGINEER, OWNER AND/OR RESPECTIVE UTILITY COMPANIES PRIOR TO PROCEEDING WITH WORK.
- WATER, SEWER, DRAINAGE, GAS, AND OTHER SITE UTILITIES SERVICING THE EXISTING FACILITIES ARE TO REMAIN ACTIVE THROUGHOUT CONSTRUCTION.
- THERE SHALL BE NO INTERRUPTION OF UTILITY SERVICES DURING THE CONSTRUCTION OPERATION WITHOUT APPROVAL OF THE OWNER.

GRADING AND UTILITY NOTES

- UNDERGROUND UTILITIES DEPICTED WERE COMPILED FROM AVAILABLE RECORD PLANS AND SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES DEPICTED OR NOT DEPICTED ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS TO REPAIR SUCH DAMAGES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED.
- ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS.
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
- ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION SHALL BE PROVIDED ON A SKETCH TO SCALE OF THE EXISTING UTILITY WITH TIES TO KNOWN POINTS, PHOTOS AND FURNISHED TO THE ENGINEER FOR RESOLUTION.
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS SHALL BE RESTORED TO ORIGINAL CONDITION.
- GAS, ELECTRIC, AND COMMUNICATIONS ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY APPROPRIATE UTILITY COMPANIES.
- ALL GRAVITY SANITARY PIPING SHALL BE SDR-35 PVC. ALL SEWER CONSTRUCTION SHALL CONFORM TO THE TOWN OF FAIRHAVEN SEWER/WASTEWATER DEPARTMENT.
- ALL WATER LINE BENDS AND TEES SHALL BE REINFORCED WITH THRUST BLOCKS. ALL WATER DISTRIBUTION PIPING AND FITTINGS MUST ADHERE TO THE TOWN OF FAIRHAVEN WATER DIVISION SPECIFICATIONS AND SHALL BE INSPECTED BEFORE, DURING, AND AFTER CONSTRUCTION PRIOR TO TAPPING THE SERVICE MAIN.
- EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED.
- THE PROPOSED WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% AS SHOWN ON CONSTRUCTION DETAILS AND GRADING PLAN.

EROSION AND SEDIMENTATION CONTROL NOTES - MASSACHUSETTS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY'S (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) AND THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT AN ELECTRONIC NOTICE OF INTENT (eNOI) WITH THE EPA IN ACCORDANCE WITH THE NPDES PERMIT REQUIREMENTS PRIOR TO CONSTRUCTION.
- SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE PROVIDED IN ACCORDANCE WITH THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND THE NOTES AND DETAILS SHOWN IN THIS PLAN SET.
- THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE PLANS ARE INTENDED TO REPRESENT THE MINIMUM CONTROLS NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- REQUIRED PERIMETER CONTROL SHALL BE PROPERLY ESTABLISHED, CLEARLY VISIBLE AND IN OPERATION PRIOR TO INITIATING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK. SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. WORKERS SHALL BE INFORMED THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
- AS FEASIBLE, CONSTRUCTION SHALL BE PHASED TO LIMIT THE AREA OF EXPOSED SOIL AND THE DURATION OF EXPOSURE. ALL DISTURBED AREAS SHALL BE TEMPORARILY AND/OR PERMANENTLY STABILIZED WITHIN 14 DAYS FOLLOWING COMPLETION OF GRADING ACTIVITIES.
- THE CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER DURING CONSTRUCTION TO ENSURE THAT THE EROSION CONTROL BARRIERS ARE INTACT.
- CLEAN AND MAINTAIN SEDIMENTATION CONTROL BARRIERS WHEN SEDIMENT ACCUMULATES TO ONE HALF THE HEIGHT OF THE BARRIER. MATERIAL COLLECTED FROM THE SEDIMENTATION BARRIER SHALL BE REMOVED AS NECESSARY AND DISPOSED IN AN UPLAND AREA.
- THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES OR ROUTINE MAINTENANCE.
- THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUB GRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZED DISCHARGE POINTS.
- CRUSHED STONE CONSTRUCTION ENTRANCES SHALL BE ESTABLISHED AT ALL POINTS OF INGRESS AND EGRESS.
- DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CATCH BASINS AND STORM DRAINS SHALL BE PROTECTED WITH HAY BALES OR SEDIMENT BAGS IN PAVED AREAS UNTIL CONTRIBUTING AREA IS PERMANENTLY STABILIZED.
- DEWATERING WASTEWATER PUMPED FROM EXCAVATIONS SHALL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO A DEWATERING BASIN, HAY BALE CORALS, OR SEDIMENTATION BAGS.
- CONSTRUCTION SITE WASTE MATERIALS SHALL BE PROPERLY CONTAINED ONSITE AND DISPOSED OFF SITE AT A LOCATION IN ACCORDANCE WITH THE LOCAL AND STATE REGULATIONS.
- RIPRAP OR OTHER ENERGY DISSIPATORS SHALL BE USED WHERE NECESSARY TO CONTROL EROSION.
- ANY EQUIPMENT THAT IS NOT READILY MOBILE (TRACK MACHINERY) SHALL BE PARKED WITHIN THE PROJECT LIMIT OF DISTURBANCE. LARGE AND/OR BULKY MATERIALS SHALL BE STORED SUCH THAT THEY DO NOT INTERFERE WITH THE ONGOING CONSTRUCTION ACTIVITIES OR EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL NOT REMOVE ANY COMPOST FILTER SOCKS OR OTHER EROSION CONTROLS UNTIL THE CONTRIBUTING AREA IS PERMANENTLY STABILIZED.
- ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE OF THE FINAL PROJECT. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUB GRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PONDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZED DISCHARGE POINTS.
- INSTALLATION OF THE EROSION CONTROL BARRIERS AS ILLUSTRATED IS INTENDED TO REPRESENT THE MINIMUM SEDIMENTATION CONTROL FACILITIES NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS UPON COMPLETION OF WORK IN THAT AREA.



CONSTRUCTION NOTES

- = ADJUST TO GRADE
- = CEMENT CONCRETE WALK
- = CONSTRUCTION ENTRANCE
- = COMPOST FILTER SOCK (SEE DETAIL)
- = SAWCUT AND MATCH
- = CONNECT TO EXISTING
- = REMOVE AND DISPOSE CONCRETE WALK
- = REMOVE AND DISPOSE DRAINAGE
- = REMOVE AND DISPOSE FENCE
- = REMOVE AND DISPOSE FRAME & GRATE
- = REMOVE AND DISPOSE FLEXIBLE PAVMENT
- = REMOVE AND DISPOSE LIGHT POLE
- = DRIPLINE TREE PROTECTION
- = EXISTING TO REMAIN. PROTECT DURING CONSTRUCTION.
- = GATE VALVE
- = HOT MIXED ASPHALT PAVEMENT (SEE DETAIL)
- = REFER TO ELECTRICAL DRAWINGS
- = REFER TO LANDSCAPE DRAWINGS
- = REMOVE AND DISPOSE
- = REMOVE AND STOCKPILE
- = TEMPORARY INLET PROTECTION



STAMP

CONSULTANT



SHEET TITLE

CIVIL NOTES & LEGEND

PROJECT NAME

FAIRHAVEN HIGH SCHOOL
 ATHLETIC FIELD-SYNTHETIC TURF

PROJECT ADDRESS

12 HUTTLESTONE AVE
 FAIRHAVEN , MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

NO.	REVISIONS	DATE

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FAIRHAVEN HS ATHLETIC FIELD SYNTHETIC TURF

DESIGN DEVELOPMENT - 03/05/2021

DEMOLITION NOTES:

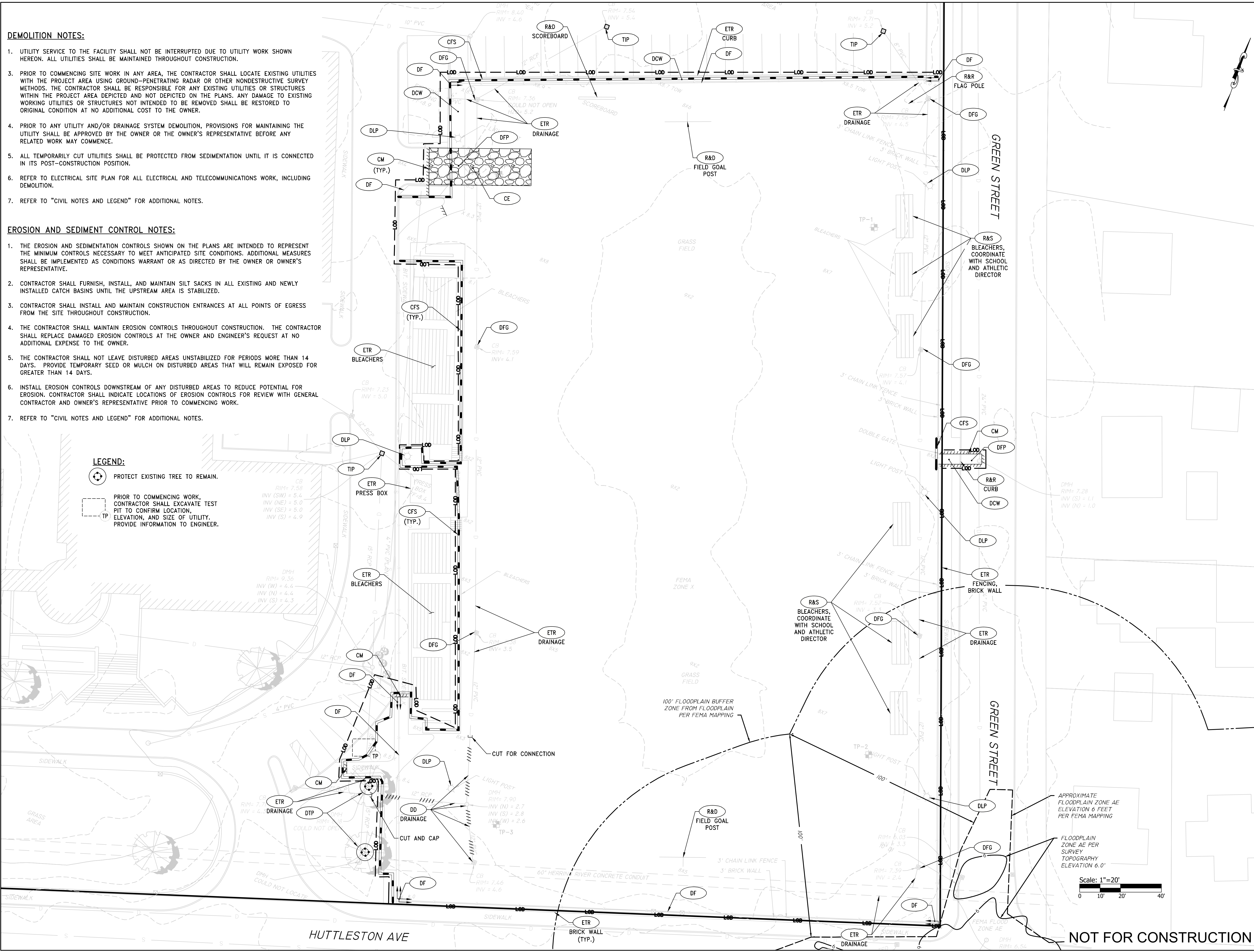
- UTILITY SERVICE TO THE FACILITY SHALL NOT BE INTERRUPTED DUE TO UTILITY WORK SHOWN HEREON. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- PRIOR TO COMMENCING SITE WORK IN ANY AREA, THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES WITH THE PROJECT AREA USING GROUND-PENETRATING RADAR OR OTHER NONDESTRUCTIVE SURVEY METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING UTILITIES OR STRUCTURES WITHIN THE PROJECT AREA DEPICTED AND NOT DEPICTED ON THE PLANS. ANY DAMAGE TO EXISTING WORKING UTILITIES OR STRUCTURES NOT INTENDED TO BE REMOVED SHALL BE RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO ANY UTILITY AND/OR DRAINAGE SYSTEM DEMOLITION, PROVISIONS FOR MAINTAINING THE UTILITY SHALL BE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE BEFORE ANY RELATED WORK MAY COMMENCE.
- ALL TEMPORARILY CUT UTILITIES SHALL BE PROTECTED FROM SEDIMENTATION UNTIL IT IS CONNECTED IN ITS POST-CONSTRUCTION POSITION.
- REFER TO ELECTRICAL SITE PLAN FOR ALL ELECTRICAL AND TELECOMMUNICATIONS WORK, INCLUDING DEMOLITION.
- REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.

EROSION AND SEDIMENT CONTROL NOTES:

- THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE PLANS ARE INTENDED TO REPRESENT THE MINIMUM CONTROLS NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN SILT SACKS IN ALL EXISTING AND NEWLY INSTALLED CATCH BASINS UNTIL THE UPSTREAM AREA IS STABILIZED.
- CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION ENTRANCES AT ALL POINTS OF EGRESS FROM THE SITE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN EROSION CONTROLS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL REPLACE DAMAGED EROSION CONTROLS AT THE OWNER AND ENGINEER'S REQUEST AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL NOT LEAVE DISTURBED AREAS UNSTABILIZED FOR PERIODS MORE THAN 14 DAYS. PROVIDE TEMPORARY SEED OR MULCH ON DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR GREATER THAN 14 DAYS.
- INSTALL EROSION CONTROLS DOWNSTREAM OF ANY DISTURBED AREAS TO REDUCE POTENTIAL FOR EROSION. CONTRACTOR SHALL INDICATE LOCATIONS OF EROSION CONTROLS FOR REVIEW WITH GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.

LEGEND:

- PROTECT EXISTING TREE TO REMAIN.
- PRIOR TO COMMENCING WORK, CONTRACTOR SHALL EXCAVATE TEST PIT TO CONFIRM LOCATION, ELEVATION, AND SIZE OF UTILITY. PROVIDE INFORMATION TO ENGINEER.



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SHEET TITLE

DEMOLITION, EROSION & SEDIMENT CONTROL PLAN

PROJECT NAME

**FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS

12 HUTTLESTON AVE
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SUBMITTAL	DATE
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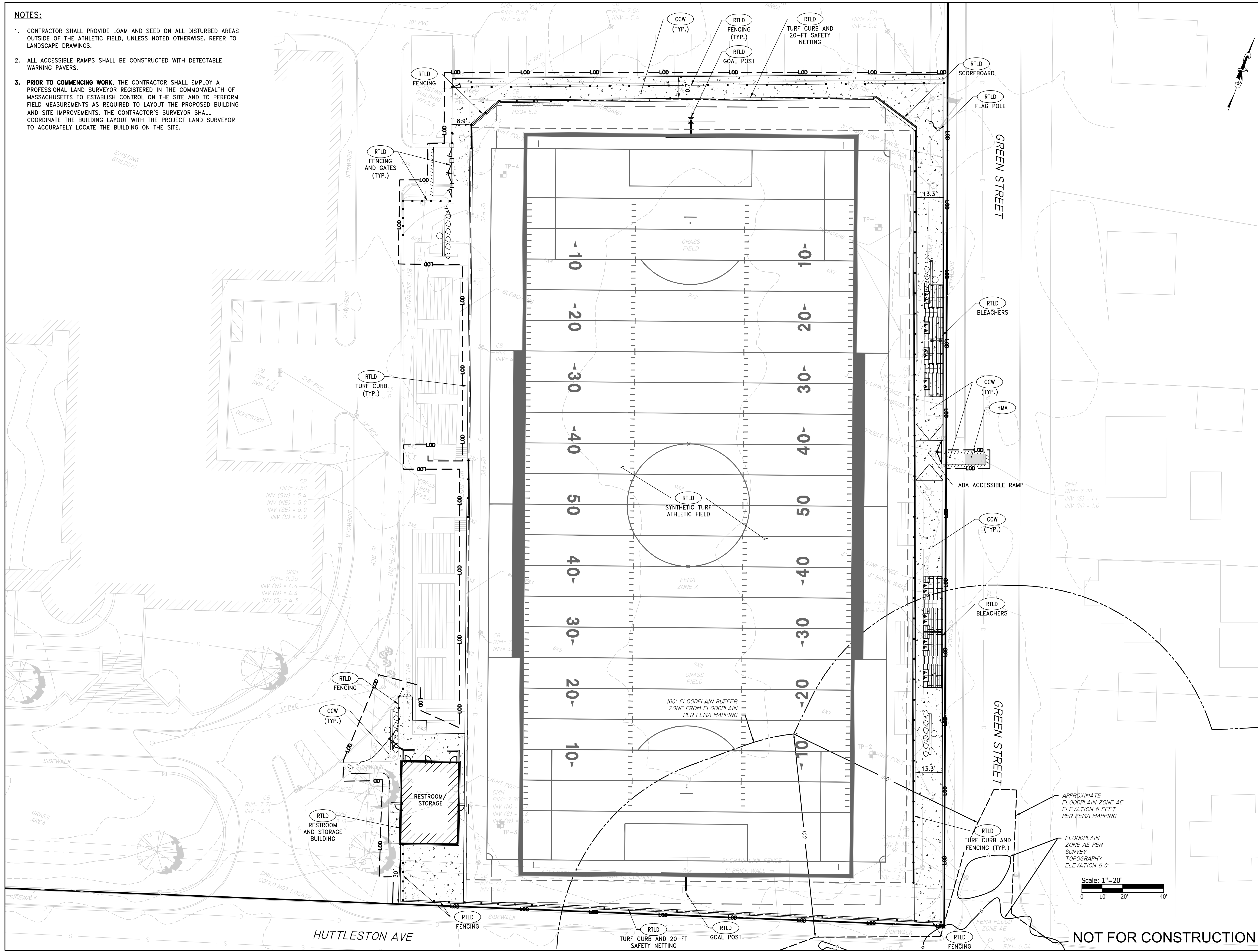
NOT FOR CONSTRUCTION


FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF

DESIGN DEVELOPMENT - 03/05/2021

NOTES:

1. CONTRACTOR SHALL PROVIDE LOAM AND SEED ON ALL DISTURBED AREAS OUTSIDE OF THE ATHLETIC FIELD, UNLESS NOTED OTHERWISE. REFER TO LANDSCAPE DRAWINGS.
2. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING PAVERS.
3. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL EMPLOY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS TO ESTABLISH CONTROL ON THE SITE AND TO PERFORM FIELD MEASUREMENTS AS REQUIRED TO LAYOUT THE PROPOSED BUILDING AND SITE IMPROVEMENTS. THE CONTRACTOR'S SURVEYOR SHALL COORDINATE THE BUILDING LAYOUT WITH THE PROJECT LAND SURVEYOR TO ACCURATELY LOCATE THE BUILDING ON THE SITE.






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SHEET TITLE

GENERAL PLAN

PROJECT NAME

**FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS

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SUBMITTAL	DATE
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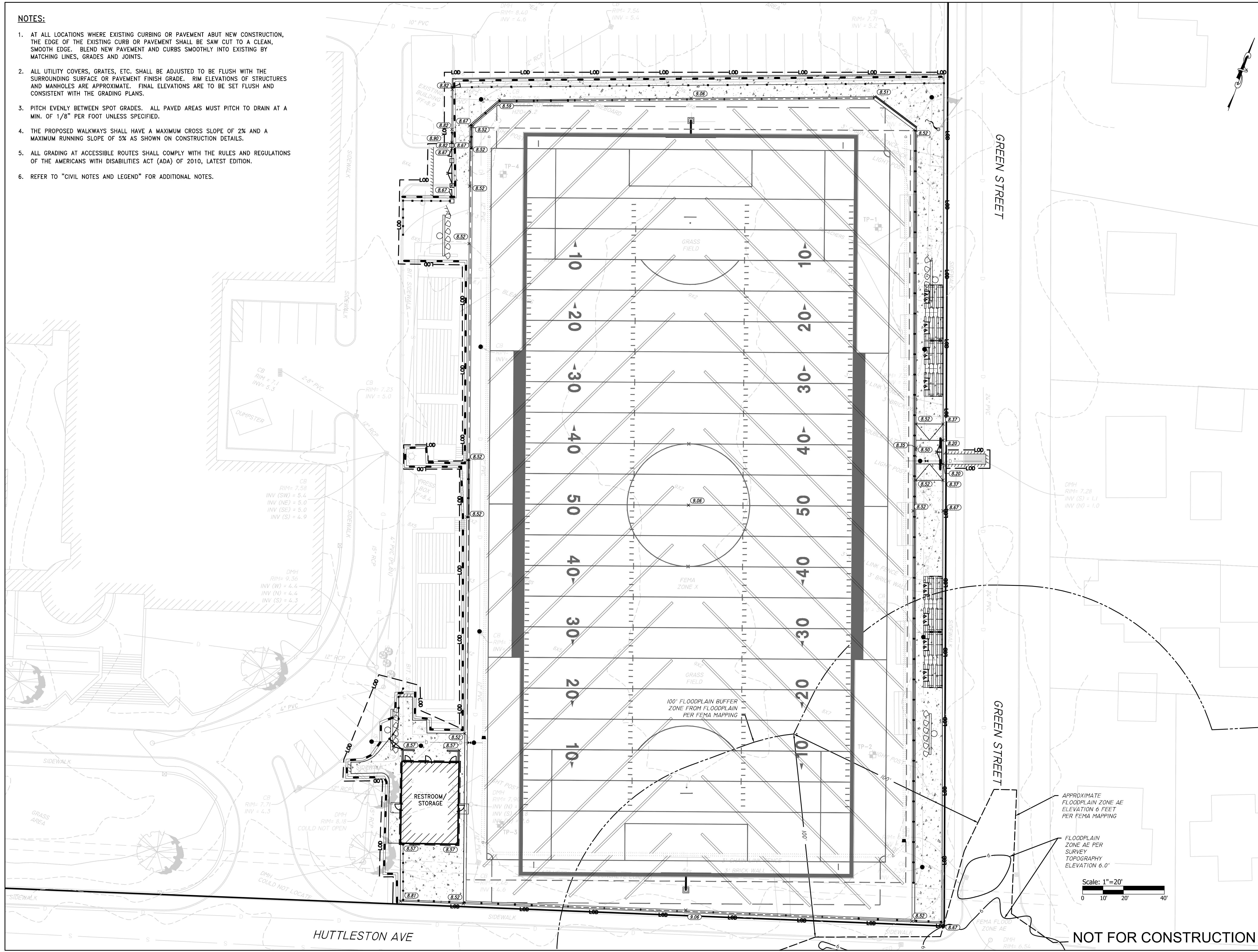
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FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF

DESIGN DEVELOPMENT - 03/05/2021

NOTES:

1. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
2. ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
3. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED.
4. THE PROPOSED WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% AS SHOWN ON CONSTRUCTION DETAILS.
5. ALL GRADING AT ACCESSIBLE ROUTES SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 2010, LATEST EDITION.
6. REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.



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SHEET TITLE
GRADING PLAN

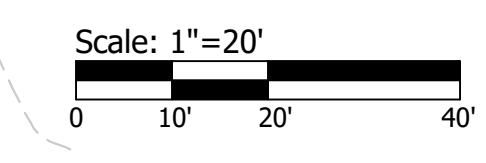
PROJECT NAME
**FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS
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FAIRHAVEN, MA 02719

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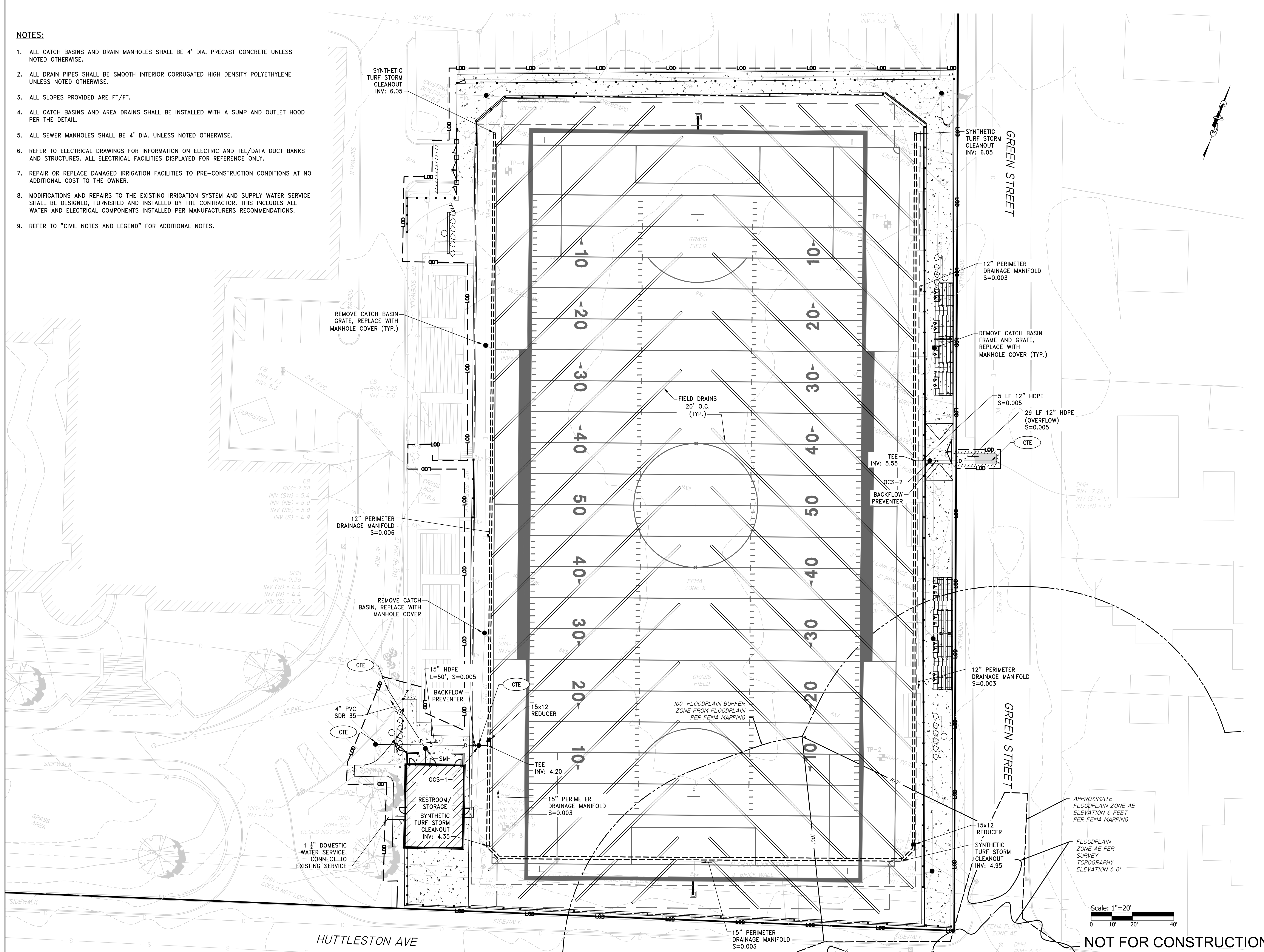


NOT FOR CONSTRUCTION

FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF
DESIGN DEVELOPMENT - 03/05/2021

NOTES:

1. ALL CATCH BASINS AND DRAIN MANHOLES SHALL BE 4' DIA. PRECAST CONCRETE UNLESS NOTED OTHERWISE.
2. ALL DRAIN PIPES SHALL BE SMOOTH INTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE UNLESS NOTED OTHERWISE.
3. ALL SLOPES PROVIDED ARE FT/FT.
4. ALL CATCH BASINS AND AREA DRAINS SHALL BE INSTALLED WITH A SUMP AND OUTLET HOOD PER THE DETAIL.
5. ALL SEWER MANHOLES SHALL BE 4' DIA. UNLESS NOTED OTHERWISE.
6. REFER TO ELECTRICAL DRAWINGS FOR INFORMATION ON ELECTRIC AND TEL/DATA DUCT BANKS AND STRUCTURES. ALL ELECTRICAL FACILITIES DISPLAYED FOR REFERENCE ONLY.
7. REPAIR OR REPLACE DAMAGED IRRIGATION FACILITIES TO PRE-CONSTRUCTION CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
8. MODIFICATIONS AND REPAIRS TO THE EXISTING IRRIGATION SYSTEM AND SUPPLY WATER SERVICE SHALL BE DESIGNED, FURNISHED AND INSTALLED BY THE CONTRACTOR. THIS INCLUDES ALL WATER AND ELECTRICAL COMPONENTS INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
9. REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.



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SHEET TITLE

DRAINAGE & UTILITY PLAN

PROJECT NAME

**FAIRHAVEN HIGH SCHOOL
ATHLETIC
FIELD-SYNTHETIC TURF**

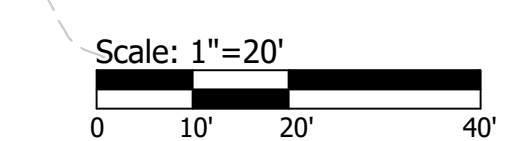
PROJECT ADDRESS

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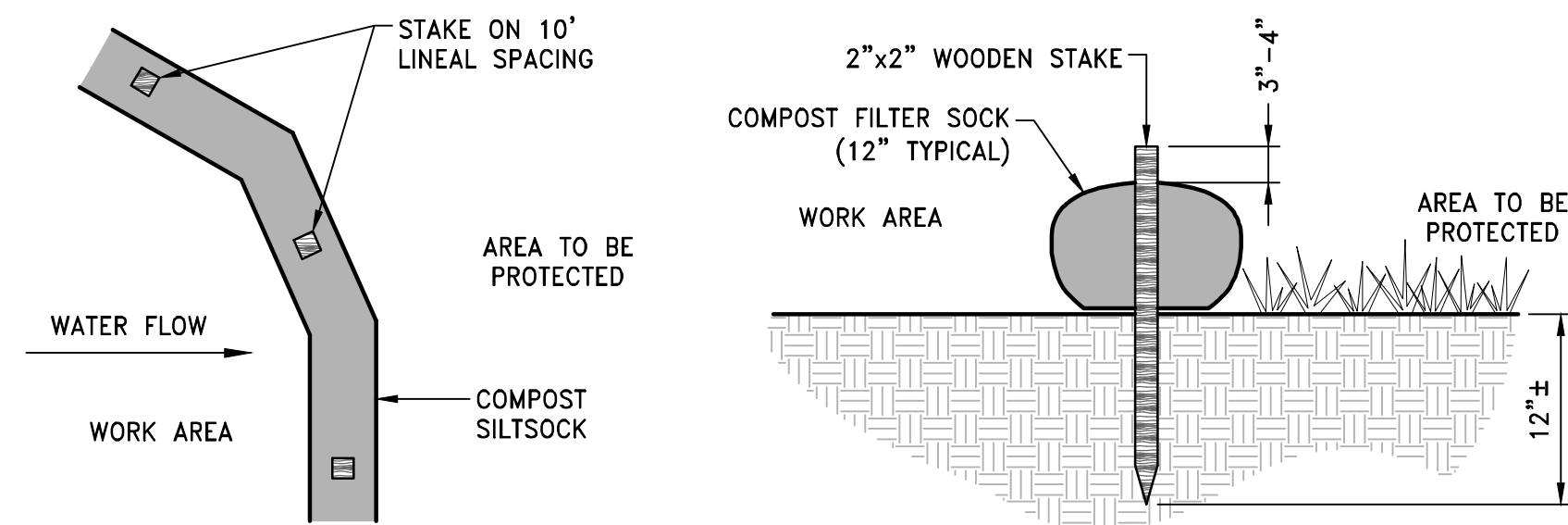
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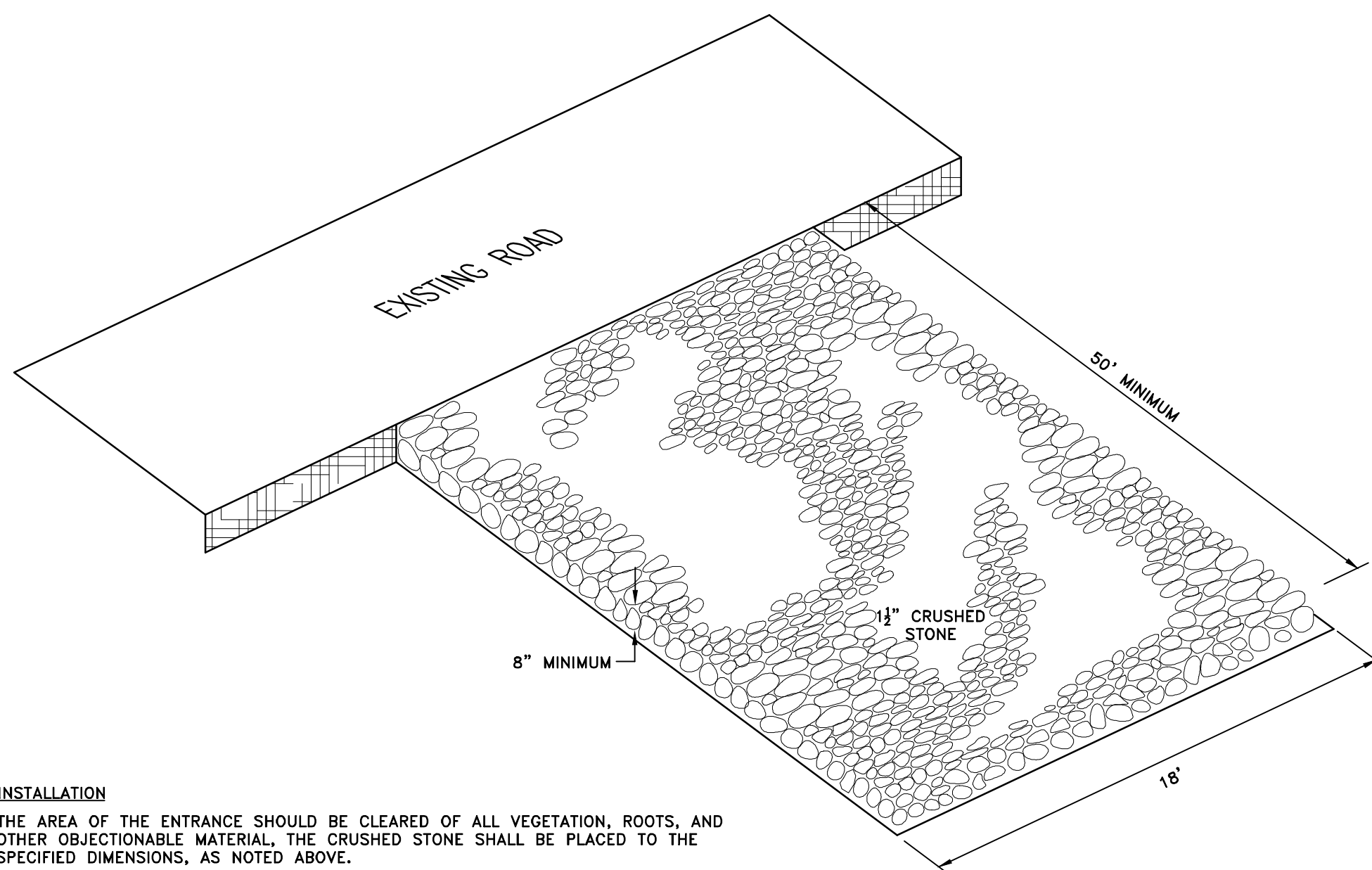
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FAIRHAVEN HS ATHLETIC FIELD-SYNTHETIC TURF
DESIGN DEVELOPMENT - 03/05/2021



- NOTES:**
1. COMPOST/ SOIL/ ROCK/ SEED FILL TO MEET APPLICATION REQUIREMENTS.
 2. COMPOST MATERIAL TO BE REMOVED OR DISPERSED ON SITE AS DETERMINED BY ENGINEER.
 3. IF SOCK NETTING MUST BE JOINED, FIT BEGINNING OF NEW SOCK OVER END OF OLD SOCK, OVERLAPPING BY 2 FEET AND STACK OVERLAP. IF SOCK NETTING IS NOT JOINED, OVERLAP OLD SOCK WITH NEW ONE BY MINIMUM OF 2 FEET.

CFS COMPOST FILTER SOCK DETAIL
NOT TO SCALE

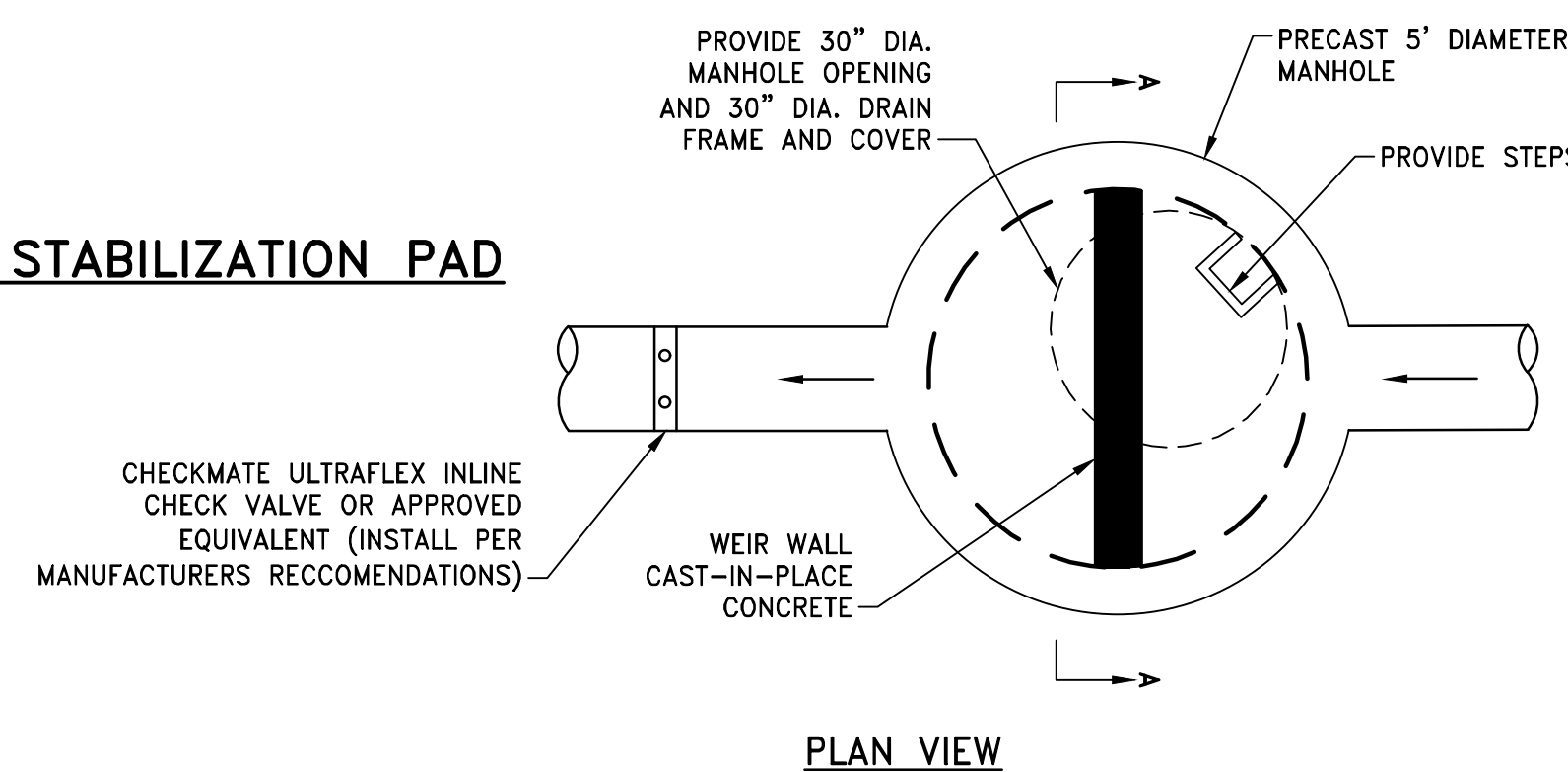


INSTALLATION
THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE CRUSHED STONE SHALL BE PLACED TO THE SPECIFIED DIMENSIONS, AS NOTED ABOVE.

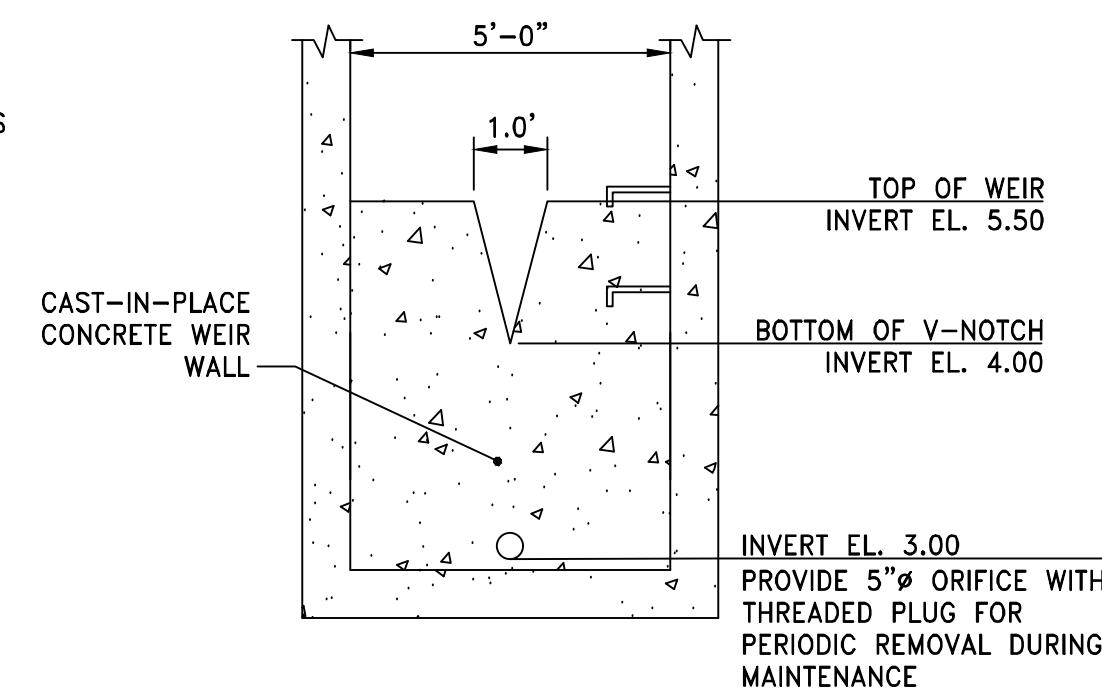
MAINTENANCE
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHT-OF-WAYS. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND / OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

LOCATION
SEE PROJECT PLANS FOR LOCATION OF CONSTRUCTION ENTRANCE.

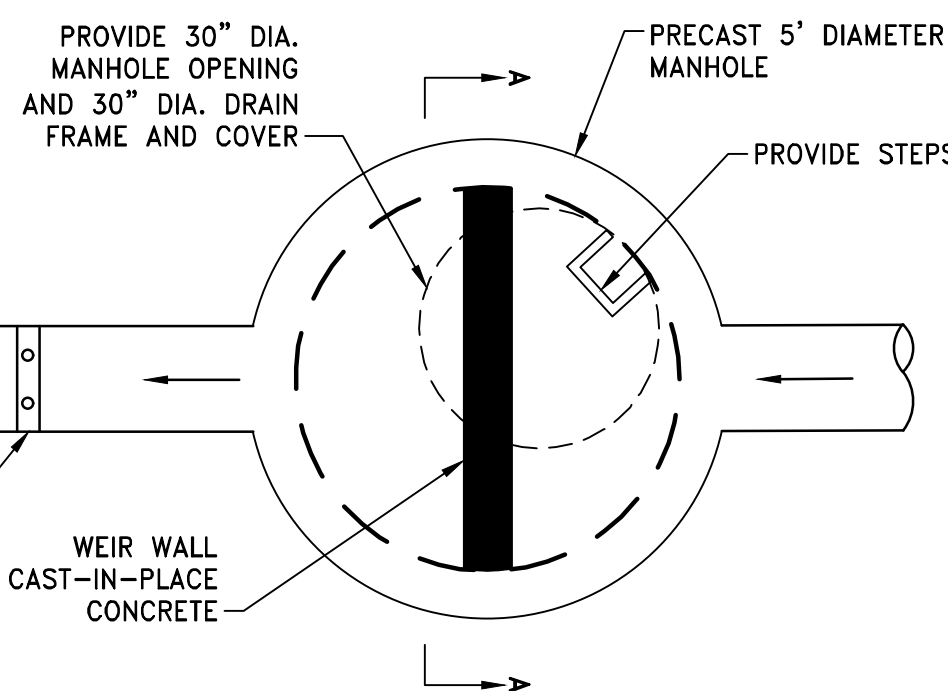
CONSTRUCTION ENTRANCE PROTECTION STONE STABILIZATION PAD
NOT TO SCALE



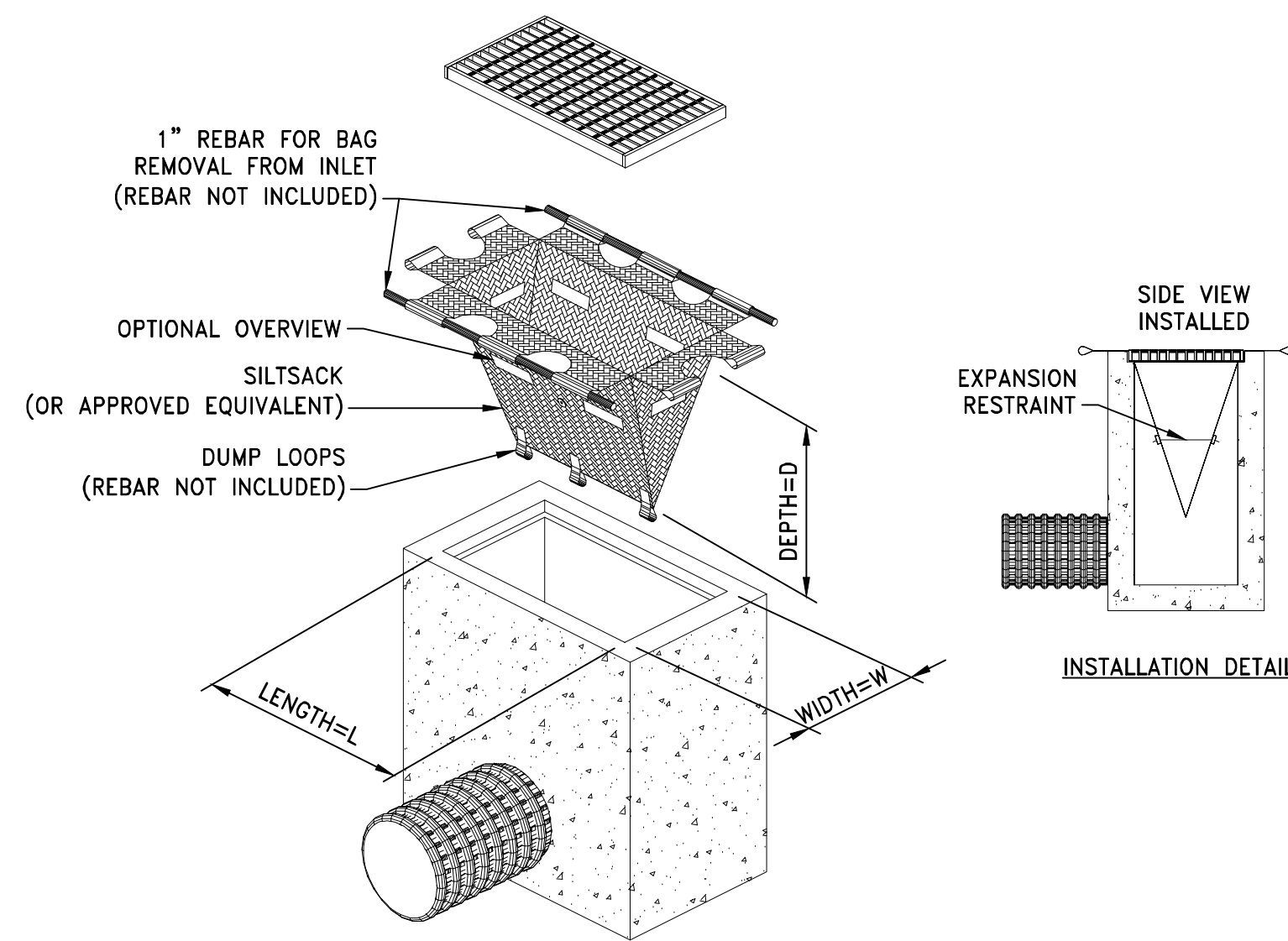
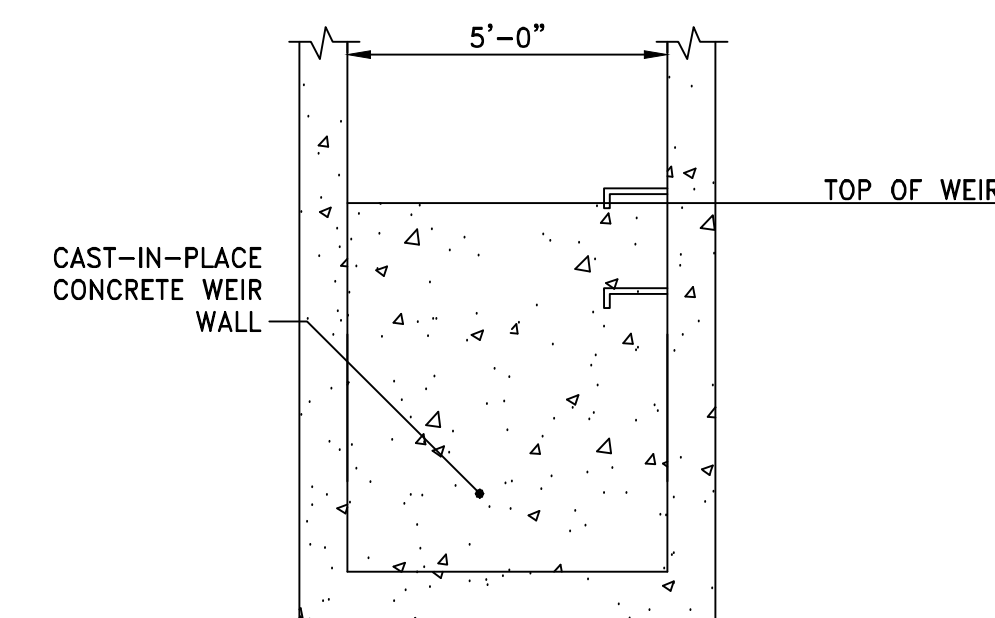
OUTLET CONTROL STRUCTURE (OCS-1) DETAIL
NOT TO SCALE



PLAN VIEW

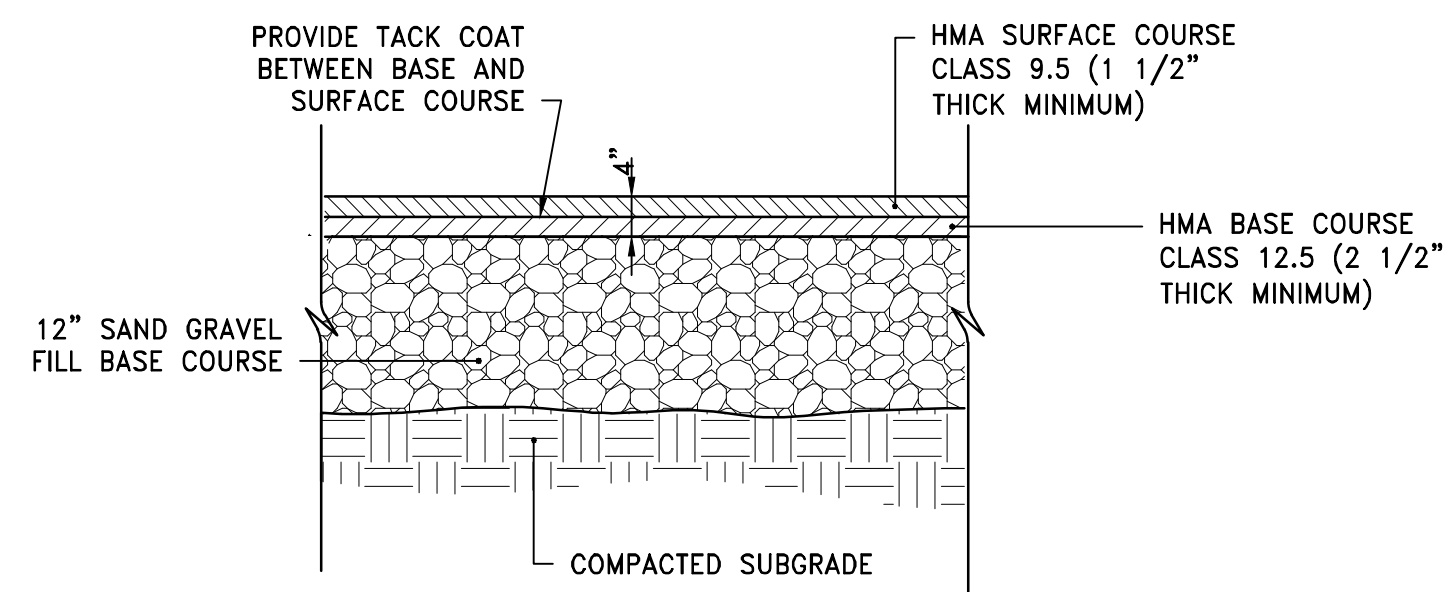


OUTLET CONTROL STRUCTURE (OCS-2) DETAIL
NOT TO SCALE



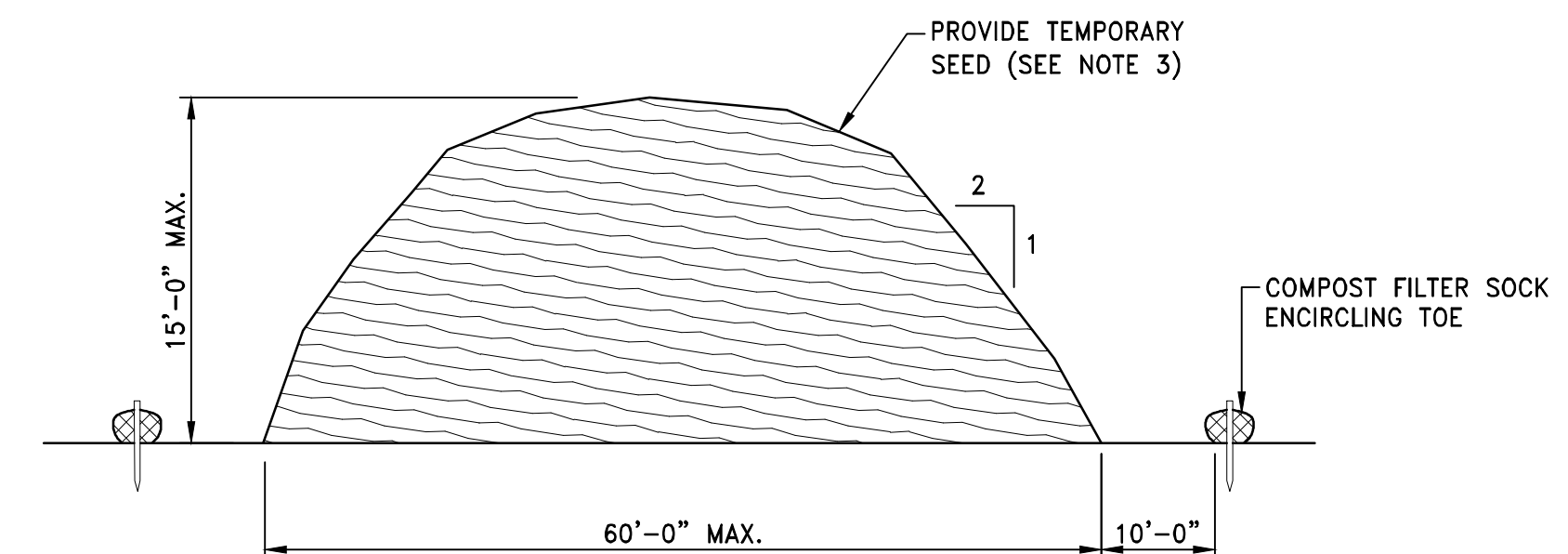
- NOTES:**
1. INLET PROTECTION SHALL BE CLEANED OF SILT AND DEBRIS ON A REGULAR BASIS AS REQUIRED BY PROJECT SPECIFIC SESC.
 2. INSPECTIONS SHALL BE DONE AFTER EACH RAIN EVENT AND AT A MINIMUM EVERY TWO WEEKS AND AS REQUIRED BY PROJECT SPECIFIC SESC.

TIP TEMPORARY INLET PROTECTION
NOT TO SCALE



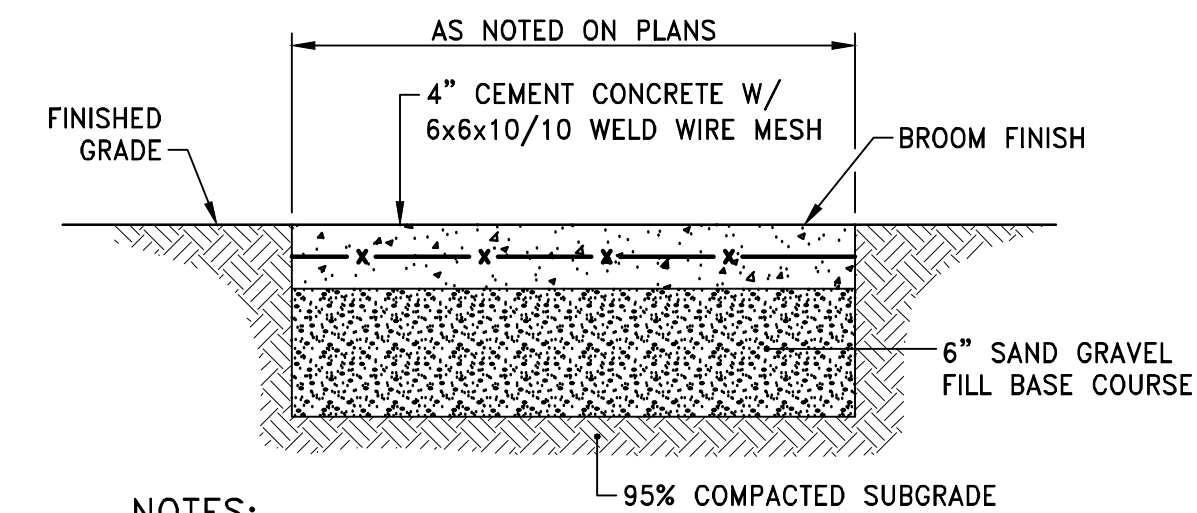
- NOTE:**
1. SUBMIT JOB MIX FORMULAS TO ENGINEER FOR APPROVAL PRIOR TO PLACEMENT.

HMA HOT MIX ASPHALT PAVEMENT
NOT TO SCALE



- NOTES:**
1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PREPARE A PLAN SHOWING THE PROPOSED LOCATION OF ALL STOCKPILE AREAS.
 2. STOCKPILE AREA SHALL NOT EXCEED SPECIFIED DIMENSIONS WITHOUT APPROVAL FROM ENGINEER.
 3. STOCKPILED ERODIBLE MATERIAL THAT WILL NOT BE USED FOR GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEED IMMEDIATELY FOLLOWING PLACEMENT.

ERODIBLE MATERIAL STOCKPILE
NOT TO SCALE



- NOTES:**
1. CONCRETE SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASSDOT STANDARD SPECIFICATIONS.
 2. WIRE MESH SHALL BE IN ACCORDANCE WITH MASSDOT STANDARD SPECIFICATIONS.

TYPICAL CEMENT CONCRETE SIDEWALK
NOT TO SCALE

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SHEET TITLE

CIVIL DETAILS 1

PROJECT NAME

FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF

PROJECT ADDRESS

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SUBMITTAL DATE

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DESIGN DEVELOPMENT 2021/03/05

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FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF

DESIGN DEVELOPMENT - 03/05/2021

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CONSULTANT



SHEET TITLE

CIVIL DETAILS 2

PROJECT NAME

FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF

PROJECT ADDRESS

12 HUTTLESTONE AVE
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SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
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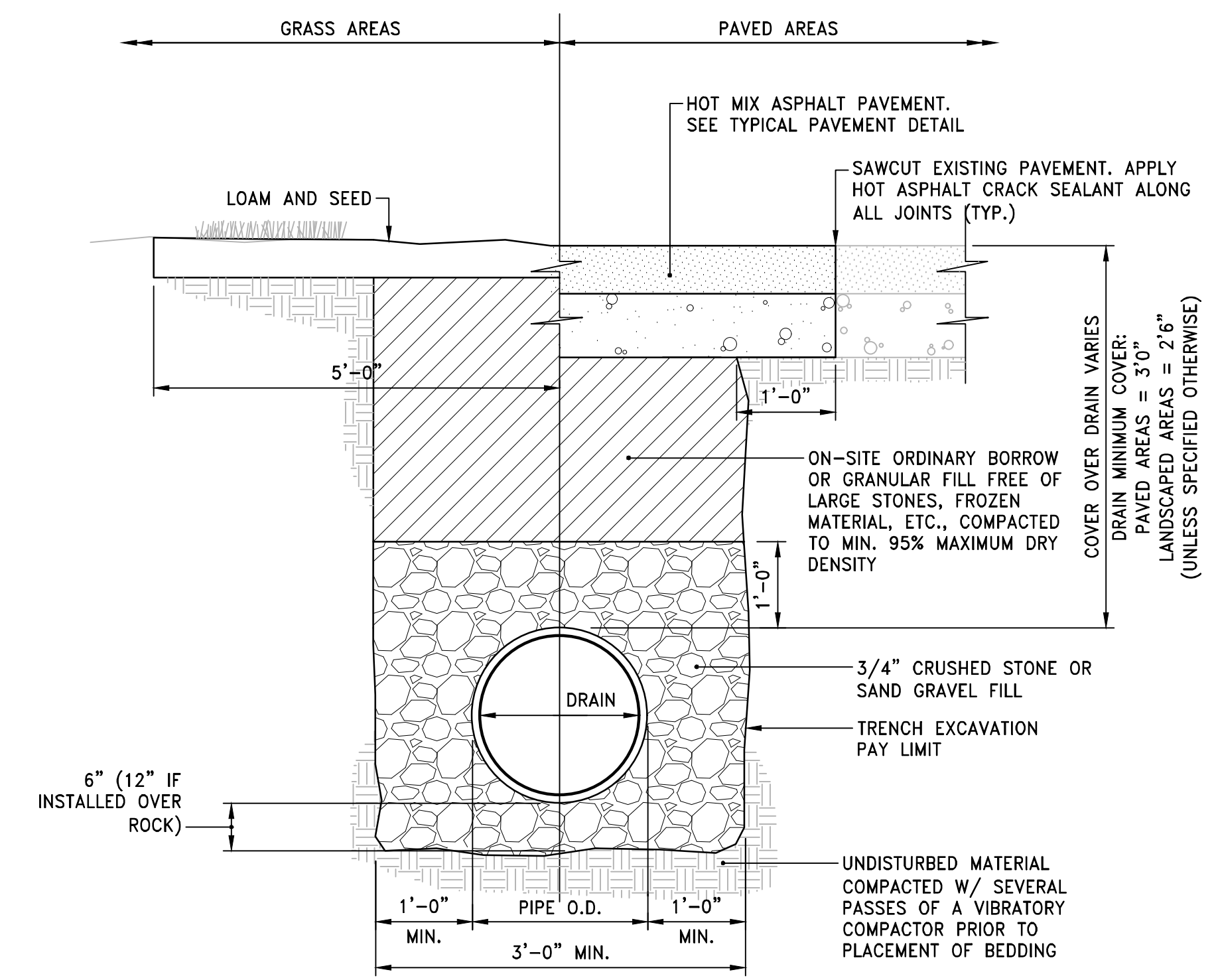
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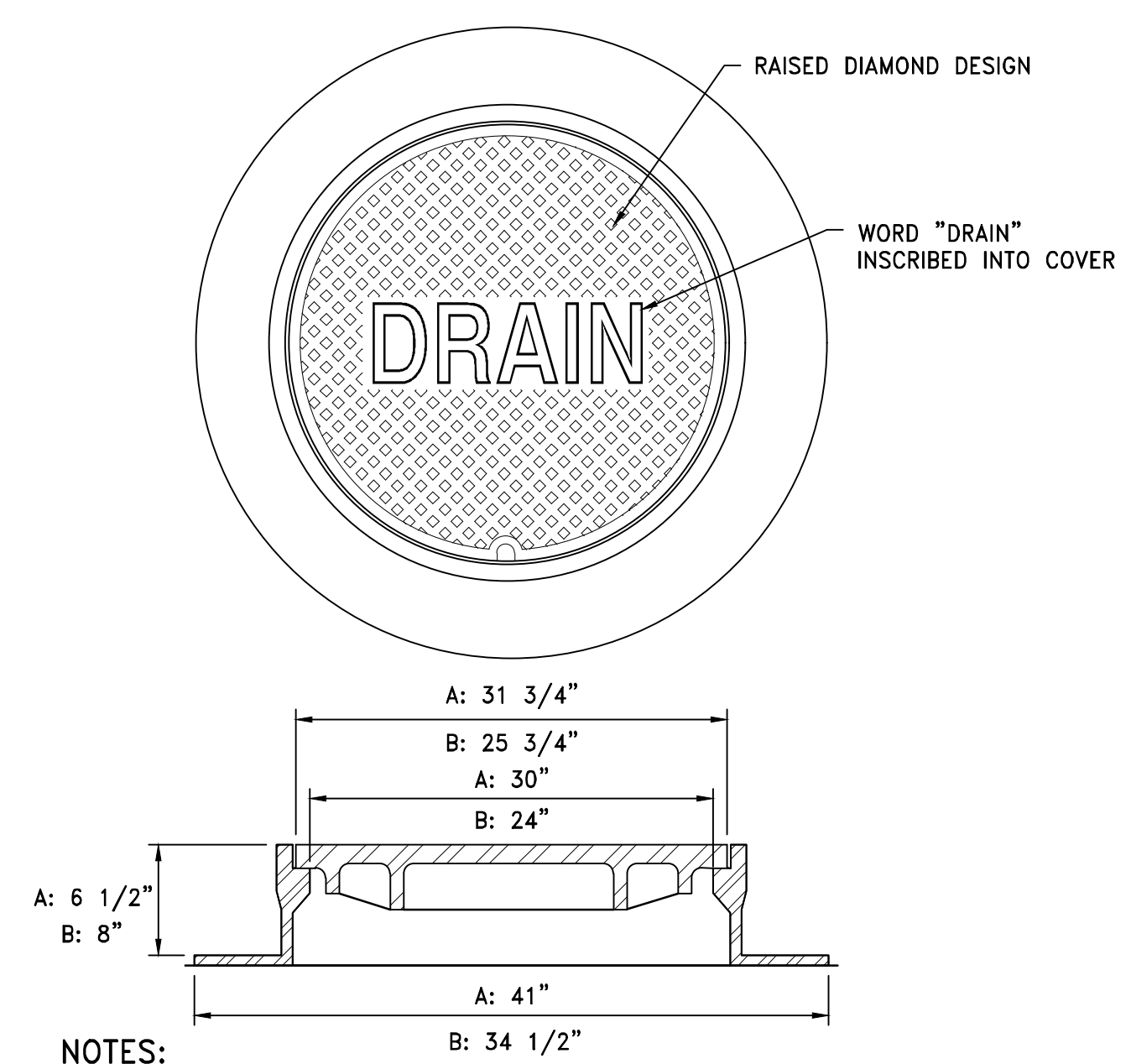
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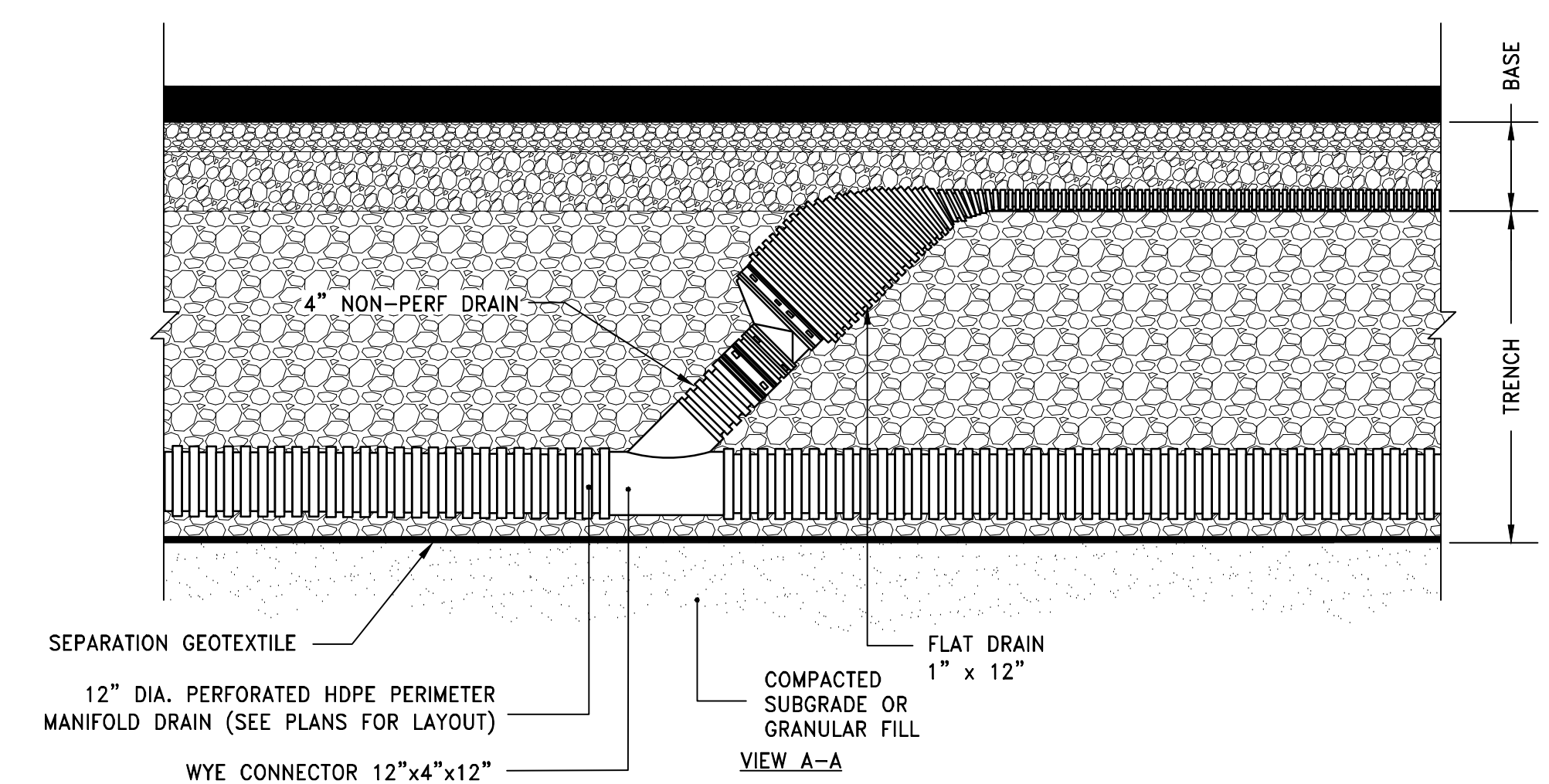
- NOTES:**
- WHERE THE DISTANCE BETWEEN THE SAWCUT AND EDGE OF PAVEMENT IS 3' OR LESS, THE CONTRACTOR SHALL REPLACE THE PAVEMENT FROM THE TRENCH EDGE TO THE EXISTING EDGE OF PAVEMENT.
 - 3/4" DIA. CRUSHED STONE SHALL BE USED AS BEDDING WHERE TRENCH IS BELOW THE GROUND WATER TABLE.

DRAIN TRENCH DETAIL
NOT TO SCALE

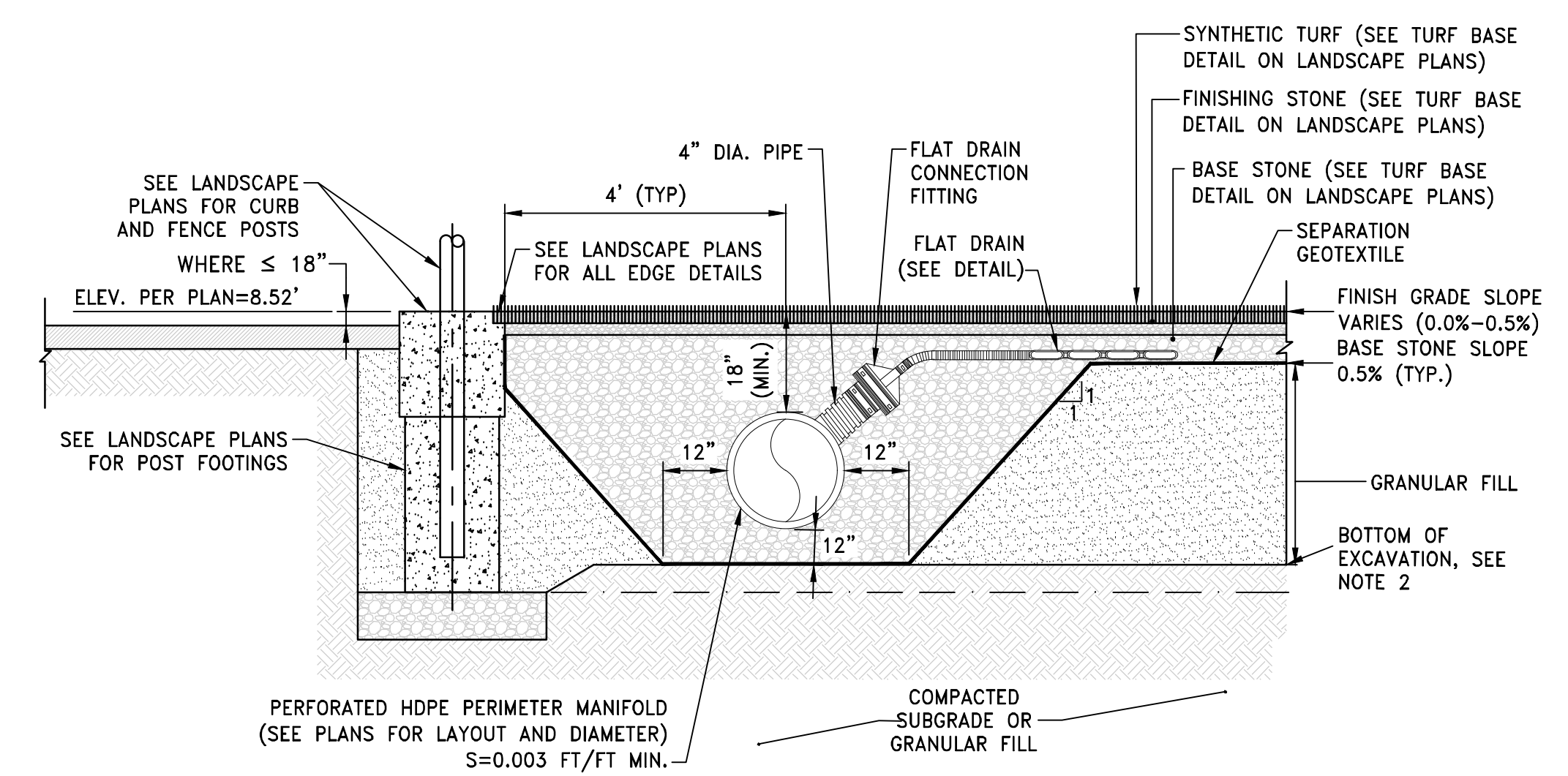


- NOTES:**
- ALL FRAMES AND COVERS SHALL MEET H-20 LOADING CRITERIA.
 - PROVIDE:
 - A: 30" DIA. DRAIN MANHOLE FRAME AND COVER SHALL BE NEENAH FOUNDRY, INC. MODEL #R-1557 OR APPROVED EQUIVALENT.
 - B: 24" DIA. DRAIN MANHOLE FRAME AND COVER SHALL BE NEENAH FOUNDRY, INC. MODEL #R-1556 OR APPROVED EQUIVALENT.
 - ALL DRAIN MANHOLES SHALL HAVE 24" DIA. DRAIN MANHOLE COVER UNLESS NOTED OTHERWISE.

DRAIN MANHOLE FRAME & COVER
NOT TO SCALE

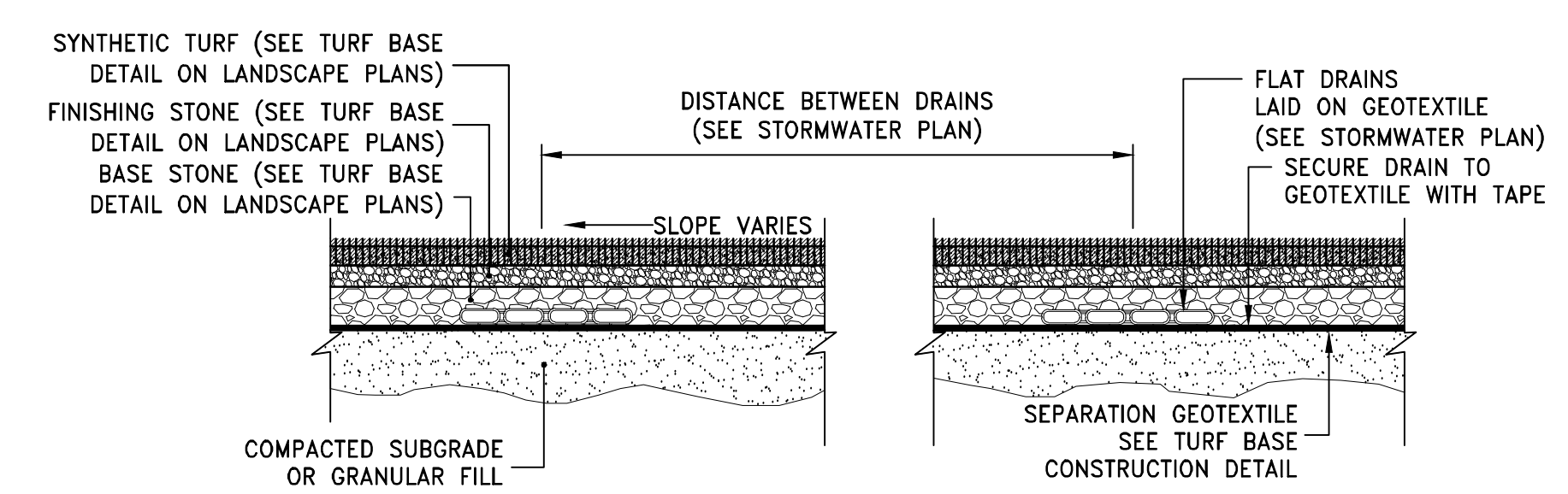


CONNECTION BETWEEN FLAT DRAIN & PERIMETER OR COLLECTOR DRAIN
NOT TO SCALE

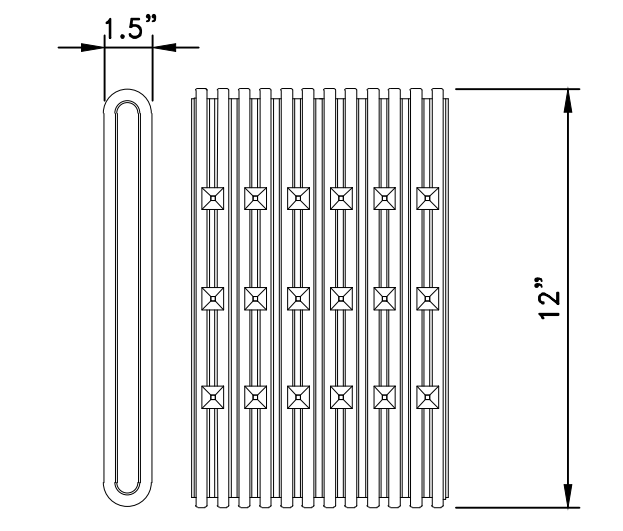


- NOTES:**
- SUBGRADE SHALL BE EVALUATED BY A PROFESSIONAL ENGINEER TO DETERMINE SUITABILITY OF THE SUBGRADE. IF THE SOIL IS DETERMINED TO BE UNSUITABLE IT SHALL BE OVEREXCAVATED TO THE BOTTOM OF SILT LAYER.
 - WITHIN ALL SYNTHETIC TURF AREAS THE CONTRACTOR SHALL EXCAVATE TO REMOVE ALL 'A'-LAYER SOILS AND EXISTING FILL MATERIALS AS REPRESENTED IN THE TEST PIT AND BORING LOGS.

TYPICAL PERIMETER MANIFOLD SECTION
NOT TO SCALE



FLAT DRAINS UNDER SYNTHETIC TURF FIELD
NOT TO SCALE



SLOT LENGTH (AVG), IN.= 1.125
SLOT WIDTH (AVG), IN.= 0.125
WATER INLET AREA (APPROX), IN.²/FT = 20

- NOTES:**
- DRAIN SHALL HAVE ANNULAR INTERIOR AND EXTERIOR CORRUGATIONS AND SHALL MEET ASTM D7001.
 - OUTSIDE DIMENSIONS SHALL BE 1.5" THICK BY 12" WIDE. SHALL HAVE INTERNAL BRACING ADJOINING EACH LONG WALL TO PREVENT CRUSHING UNDER TYPICAL LOADING. SHALL BE MADE WITH GEOTEXTILE WRAP.
 - ALL PIPE AND FITTINGS SHALL BE MADE OF POLYETHYLENE WITH A MINIMUM CELL CLASSIFICATION OF 424420C AS DEFINED AND DESCRIBED IN ASTM D3350.

FLAT DRAIN DETAIL
NOT TO SCALE

NOT FOR CONSTRUCTION

FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF

GENERAL INFORMATION

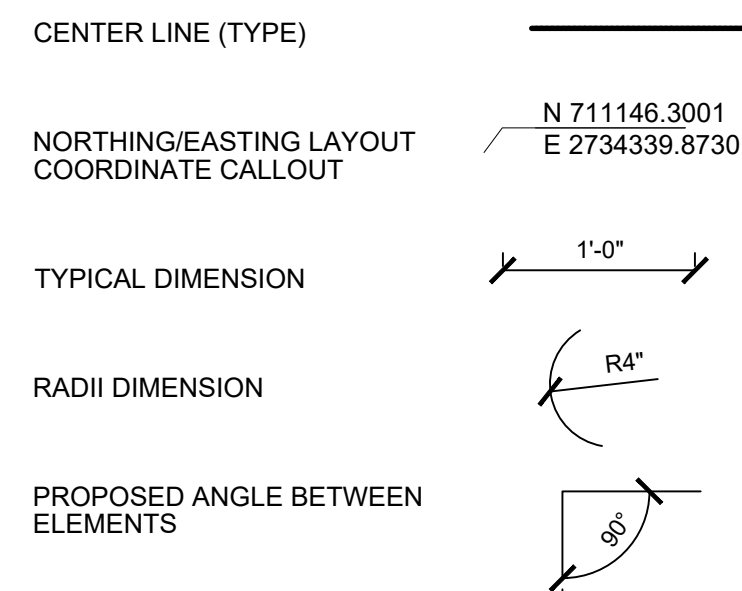
- SITE SAFETY AND PEDESTRIAN SAFETY IS OF EXTREME IMPORTANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXECUTING THE WORK IN A SAFE MANNER AND WILL BE EXPECTED TO WORK OFF HOURS AS REQUIRED TO ACCOMMODATE CAMPUS ACTIVITIES WHILE MAINTAINING THE PROJECT SCHEDULE.
- CONTRACTOR TO COORDINATE WITH PUBLIC SAFETY AND PARKING THROUGH THE CONSTRUCTION MANAGER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLIANCE WITH ALL OSHA REGULATIONS, COMPLIANCE IS MANDATORY.
- SITE FENCING SHALL BE ERECTED BY THE CONTRACTOR AND APPROVED BY THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- VEHICULAR TRAFFIC OR PARKING OF CONSTRUCTION VEHICLES UNDER THE DRIP LINES (IN OR OUT OF THE CONSTRUCTION LIMITS) OF TREES IS STRICTLY PROHIBITED AND VEHICLES MAY BE TOWED.
- UNFORESEEN CONDITIONS ARE INHERENT TO UNDERGROUND WORK AND ARE TO BE EXPECTED WITH THIS PROJECT. THE CONTRACTOR WILL RESPOND TO UNFORESEEN CONDITIONS AND PROVIDE THE NEEDED MANPOWER AND EQUIPMENT NECESSARY TO COMPLETE THE PROJECT BY THE CONTRACT COMPLETION DATE.
- STAKING SHALL BE PROVIDED AND PAID FOR BY THE CONTRACTOR. STAKING TO BE PERFORMED BY LICENSED LAND SURVEYOR.
- SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
- ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SET FORTH AS A SPECIFIC BID ITEM, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
- REPAIR OR REPLACE EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) TO REMAIN, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- IT IS INTENDED THAT ALL COSTS OF MATERIALS, EQUIPMENT, TOOLS, LABOR AND INCIDENTALS BE PAID FOR UNDER THE ITEMS LISTED ON THE BIDDER'S PROPOSAL. BEFORE SUBMITTING A BID ON THIS PROJECT, THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS, SPECIFICATIONS, SPECIAL PROVISIONS AND

- THE JOB SITE. IF ANY DISCREPANCIES OR DELETIONS OCCUR IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPORT SAME TO THE OWNERS REPRESENTATIVE IN WRITING AND OBTAIN WRITTEN CLARIFICATION AND/OR INSTRUCTIONS ON HOW TO PROCEED.
- WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSE, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY THE OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE INSTRUCTIONS ,WORK DONE BEYOND THE LINES SHOWN ON THE PLANS OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.
 - CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE TOTAL SCOPE OF WORK AND ALL REQUIRED COORDINATION PRIOR TO SUBMITTING THEIR BID PROPOSAL, AND PRIOR TO COMMENCING WORK.
 - THE LOCATIONS OF ALL KNOWN UNDERGROUND UTILITIES ARE NOTED ON THE DRAWINGS. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR, PRIOR TO THE START OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES IN THE FIELD.THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE EXACT FIELD LOCATION OF UTILITIES. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED, IN WRITING, OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTIONS TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.

LAYOUT NOTES:

- ALL LINES ARE PERPENDICULAR OR PARALLEL TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- DIMENSIONS OF PARKING SPACES AND DRIVEWAYS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ACCESSIBLE RAMPS SHALL BE PER THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY AND MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) GUIDELINES AND INCLUDE DETECTABLE WARNING PLATES. SEE CIVIL ENGINEERING PLANS FOR ALL TIP DOWN GRADING AND LOCATIONS
- AUTOCAD PLANS OR ADDITIONAL COORDINATES WILL BE PROVIDED AFTER THE AWARD OF THE BID.

LAYOUT LEGEND:



EXISTING CONDITIONS NOTES

- UTILITY INFORMATION SHOWN IS BASED ON UTILITY LOCATES BY THE OPERATING AUTHORITY OF EACH UTILITY, SURFACE FEATURES, AND RECORD DRAWINGS. NO SUBSURFACE INVESTIGATION HAS BEEN MADE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES. CALL DIG SAFE 811 FOR UTILITY LOCATES PRIOR TO CONSTRUCTION.
- ALL NEW CONSTRUCTION THAT IS IN CLOSE PROXIMITY TO EXISTING OR NEW UTILITIES SHALL BE PLANNED AND EXECUTED CAREFULLY SO THAT UTILITIES ARE NOT DAMAGED. CONTRACTOR SHALL PHYSICALLY VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCING WORK.

STAKING CONTROL POINTS

CP	NORTHING	EASTING	ELEVATION
----	----------	---------	-----------

STAKING/LAYOUT NOTES

- ALL STAKING CONTROL POINTS SHALL BE PROTECTED THROUGHOUT THE PROJECT.
- STAKING AND LAYOUT FOR THIS PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- COORDINATES WILL BE PROVIDED FOR THE WORK SHOWN ON THE LANDSCAPE LAYOUT SHEETS. ELECTRONIC AUTOCAD FILES WILL BE PROVIDED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE STAKING AND LAYOUT BASED ON ELECTRONIC DRAWING DATA.
- UNLESS OTHERWISE APPROVED, IT IS EXPECTED THAT UTILITY ELEVATIONS ARE CAREFULLY OBTAINED FROM THE PLANS, AND THAT UTILITIES WILL BE INSTALLED AS CLOSE TO PRECISE PROFILE ELEVATIONS AS CONSTRUCTION METHODS WILL REASONABLY ALLOW.

ABBREVIATIONS

ACC	ASPHALT	MJ	MECHANICAL JOINT
ABAN	ABANDONED	OE	OVERHEAD ELECTRIC
		PCC	PORTLAND CEMENT CONCRETE
		PL	PROPERTY LINE
		PVC	POLYVINYL CHLORIDE PIPE
		RCP	REINFORCED CONCRETE PIPE
		REQD/REQ'D	REQUIRED
DIA	DIAMETER	RGS	RIGID STEEL
DIP	DUCTILE IRON PIPE	RJ	RESTRAINED JOINT
DW	DOMESTIC WATER	DIP	DUCTILE IRON PIPE
FO	FIBER OPTIC	ROW	RIGHT-OF-WAY
FW	FIRE WATER	SAN	SANITARY SEWER
HPS	HIGH PRESSURE STEAM	SMH	SANITARY MANHOLE
IE	INVERT ELEVATION	STM	STEAM
		STRM	STORM SEWER
		TELU	TELECOMMUNICATIONS
LF	LINEAR FEET	TEMP	TEMPORARY
		UE	UNDERGROUND ELECTRIC
MH	MANHOLE	WAT/W	WATER MAIN

SPOT GRADES ABBREVIATIONS

FFE	FINISHED FLOOR ELEVATION
TC	TOP OF CURB
TOW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL
TS	TOP OF STEP
BS	BOTTOM OF STEP
EOR	END OF RADIUS
HP	HIGH POINT
LP	LOW POINT
PT	POINT OF TANGENCY

FINISHED FLOOR ELEVATION

FFE 568.00

NUMBER OF RISERS + HEIGHT

17R@6"

LEGEND	
SITE	
SYMBOL	DESCRIPTION
●	BOLLARD POLE
♿	HANDICAPPED PARKING
↘ 2%	SLOPE ARROW
→	FLOW ARROW
⊥	SINGLE POLE SIGN
⊥⊥	DOUBLE POLE SIGN

LEGEND UTILITIES

EXISTING	DESCRIPTION	PROPOSED
—————	CABLE LINE - OVERHEAD	
—————	CABLE LINE - UNDERGROUND	
—————	ELECTRIC LINE - OVERHEAD	— E — E —
—————	ELECTRICAL LINE - UNDERGROUND	— EU — EU —
—————	GAS MAIN	— G —
—————	SANITARY SEWER	— SS — SS —
—————	STEAM	
—————	STORM SEWER	— D — D —
—————	OVERHEAD TELEPHONE	
—————	FIBER OPTICS	
—————	UNDERGROUND TELEPHONE	
—————	WATER MAIN	— W —

LEGEND FENCE AND CURB

DESCRIPTION	PROPOSED
CHAIN LINK FENCE 4'	● ——— ●
ORNAMENTAL FENCE	■ ——— ■
BALL SAFETY NETTING 12'	X - - - - - X
BALL SAFETY NETTING 20'	○ - - - - - ○
ORNAMENTAL FENCE AND NET COMBINATION	■ ——— ■
TREE PROTECTION	
14" CURB EXPOSED WITH PT NAILER	▬ ——— ▬
14" FIELD CURB	▬ ——— ▬



STAMP

CONSULTANT

SHEET TITLE

LEGEND SCHEDULE AND GENERAL NOTES

PROJECT NAME

FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF

PROJECT ADDRESS

12 HUTTLESTONE AVE
FAIRHAVEN , MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
PERMITTING	2021/03/22

NO.	REVISIONS	DATE
△		
△		
△		
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DRAWN BY: JR	CHECKED BY: AE
DATE ISSUED: 03/05/2021	SCALE:
PROJ. NO. A1037	
SHEET NO. L0.01	

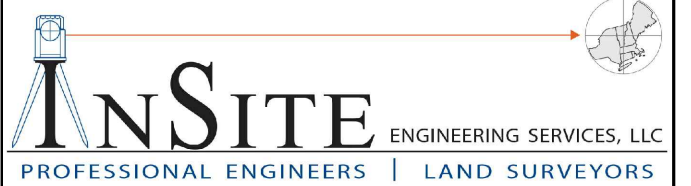
LEGEND SCHEDULES AND GENERAL NOTES

FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF

DESIGN DEVELOPMENT - 03/05/2021



STAMP



CONSULTANT

SHEET TITLE
EXISTING CONDITIONS

PROJECT NAME
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ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS
12 HUTTLESTONE AVE
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
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NO.	REVISIONS	DATE

DRAWN BY: **JR** CHECKED BY: **AE**

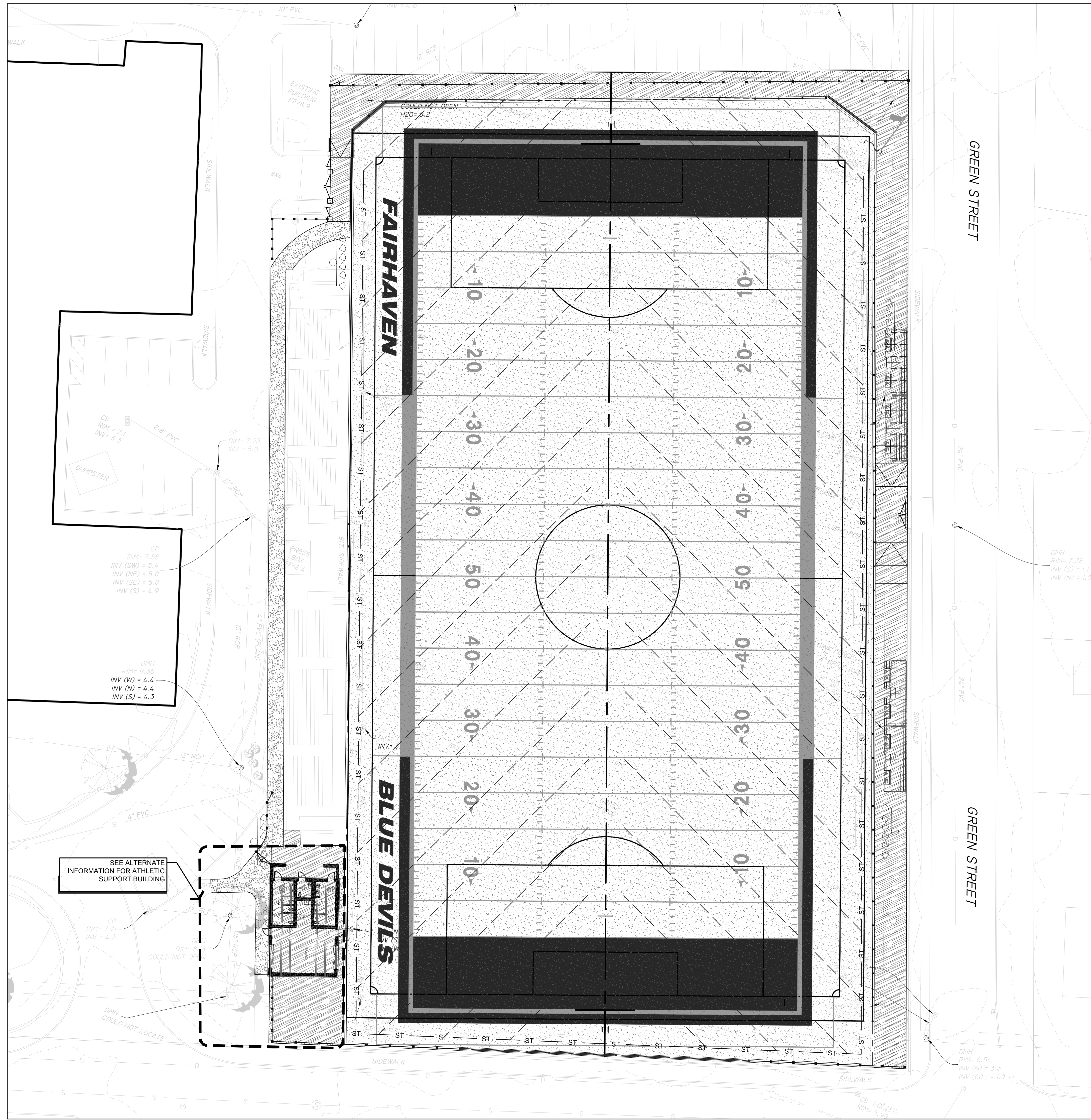
DATE ISSUED: **03/22/2021** SCALE: **1"=20'**

PROJ. NO. **A1037**

SHEET NO. **L1.01**

EXISTING CONDITIONS

FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF



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CONSULTANT

SHEET TITLE
OVERALL SITE PLAN

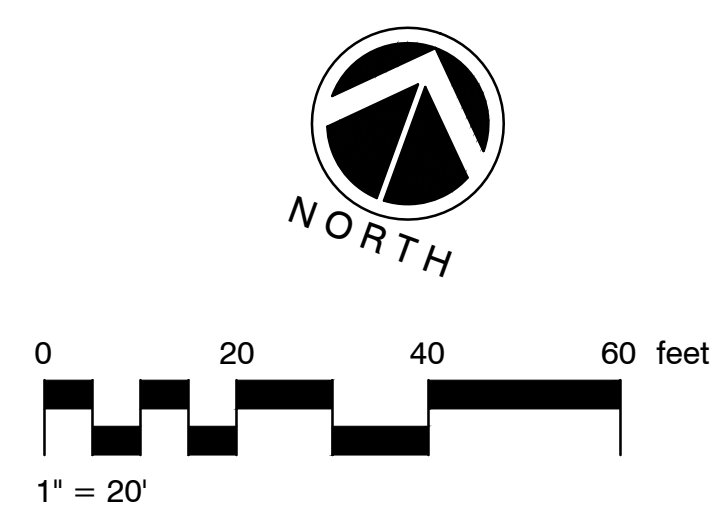
PROJECT NAME
**FAIRHAVEN HIGH SCHOOL
 ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS
 12 HUTTLESTONE AVE
 FAIRHAVEN, MA 02719

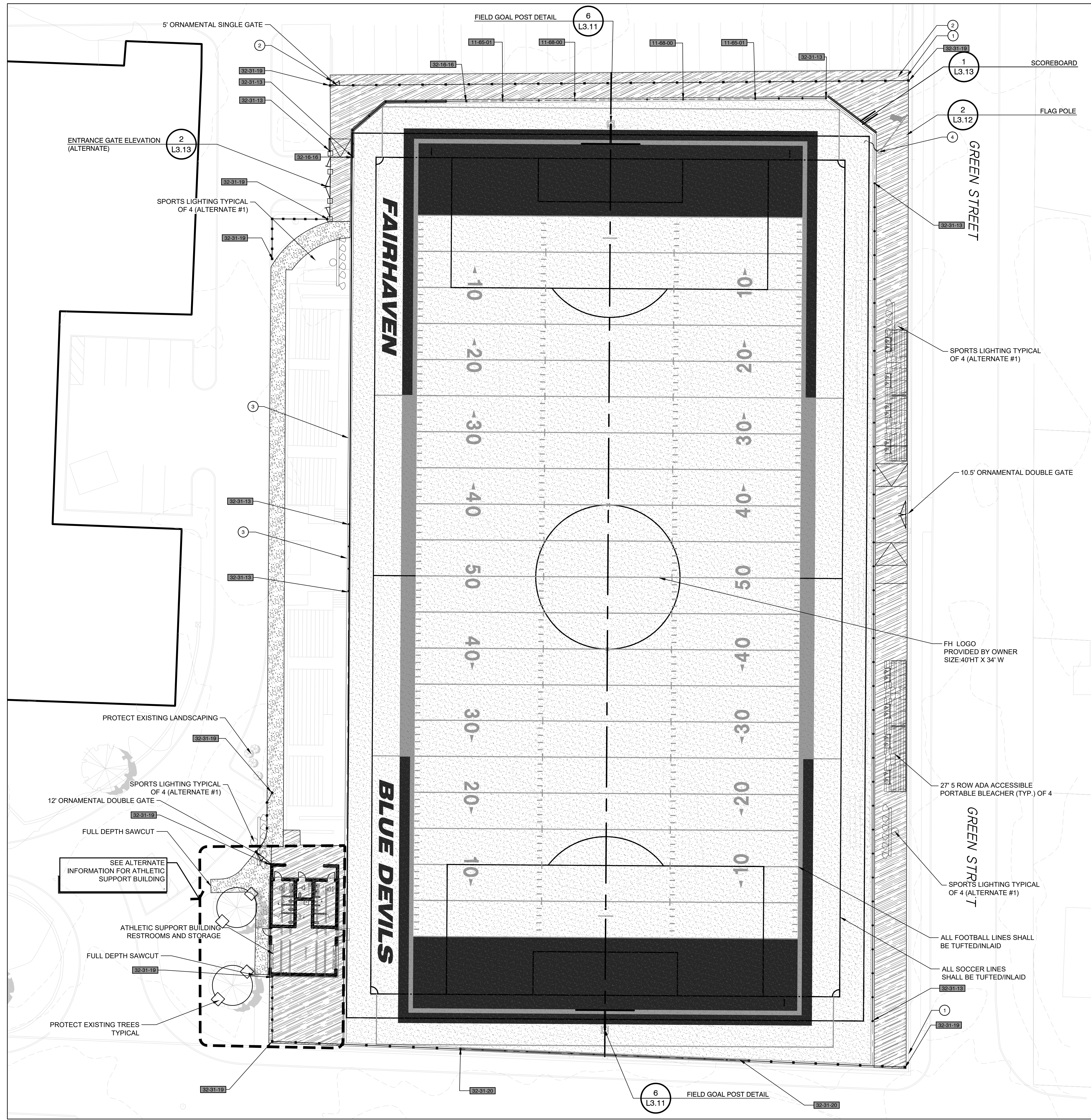
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SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021.03.22

NO.	REVISIONS	DATE

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PROJ. NO. A1037	
SHEET NO. L1.11	



FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF
 PERMITTING - 03/22/2021



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL	Alternate #
①	REMOVE FENCE FABRIC (PRIOR TO PAVING) PRESERVE FENCE POSTS AND REPLACE FABRIC (AFTER PAVING)			
②	REMOVE AND DISPOSE OF EXISTING FENCING INCLUDING POSTS.			
③	PLACE 1/2" EXPANSION JNT WITH FOAM BACKER AND SEALAT AT EXISTING CLEAN PAVEMENT EDGE (SAW CUT IF NECESSARY)			
④	REMOVE EXISTING FLAG POLE. PRESERVE AND RELOCATE POLE WITH NEW FOUNDATION PER DETAIL OR MANUFACTURERS DIRECTION			
Play Field Equipment and Structures				
SYMBOL	DESCRIPTION	QTY	DETAIL	Alternate #
--- ---	11-65-01 12' Ball Safety Netting in Field Curb	60 lf	3/L3.11	
--- ---	11-68-00 20' Ball Safety Netting in Field Curb	60 lf	3/L3.11	
ASPHALT PAVING				
SYMBOL	DESCRIPTION	QTY	DETAIL	Alternate #
[Pattern]	32-12-17 HMA sidewalks	2,354 sf	1/L3.12	#1
CONCRETE PAVING				
SYMBOL	DESCRIPTION	QTY	DETAIL	Alternate #
[Pattern]	32-13-13 Broom Finished Sidewalk	11,214 sf	/	
CURBS AND GUTTERS				
SYMBOL	DESCRIPTION	QTY	DETAIL	Alternate #
--- ---	32-16-15 Field Curb with shelf	1,151 lf	3/L3.11	
--- ---	32-16-16 Field Curb with PT Nailer Board	63 lf	9/L3.11	
ATHLETIC AND RECREATIONAL SURFACING				
SYMBOL	DESCRIPTION	QTY	DETAIL	Alternate #
[Pattern]	32-18-13 Synthetic Turf	85,681 sf	1/L3.11	
FENCES AND GATES				
SYMBOL	DESCRIPTION	QTY	DETAIL	Alternate #
--- ---	32-31-13 4' Black Vinyl Chainlink	474 lf	6/L3.12	
--- ---	32-31-19 Ornamental Fence	485 lf	3/L3.12	
--- ---	32-31-20 Combination 20' Ball Safety Netting and Ornamental Fence	120 lf		
STORM DRAINAGE UTILITIES				
SYMBOL	DESCRIPTION	QTY	DETAIL	Alternate #
---	33-41-00 Storm Collector Drain	937 lf	SEE CIVIL PLANS	
---	33-41-17 Flat Panel Drain	3,780 lf	SEE CIVIL PLANS	



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CONSULTANT

SHEET TITLE

LANDSCAPE ATHLETICS MATERIALS PLAN

PROJECT NAME

**FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS

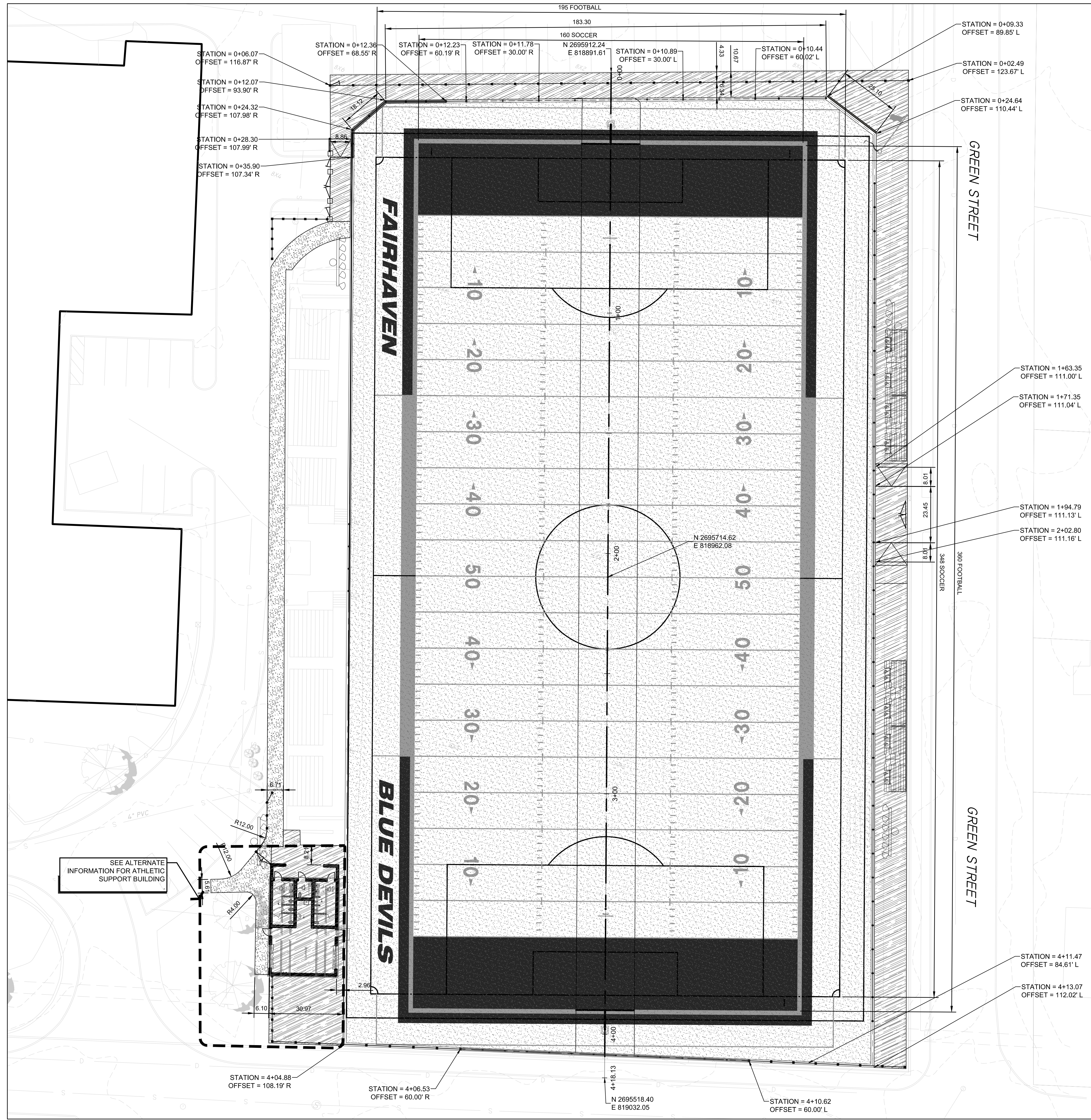
12 HUTTLESTONE AVE
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

NO.	REVISIONS	DATE

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DATE ISSUED: 03/22/2021	SCALE: 1"=20'
PROJ. NO. A1037	
SHEET NO. L1.21	

FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF



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CONSULTANT

SHEET TITLE
LANDSCAPE ATHLETICS LAYOUT PLAN

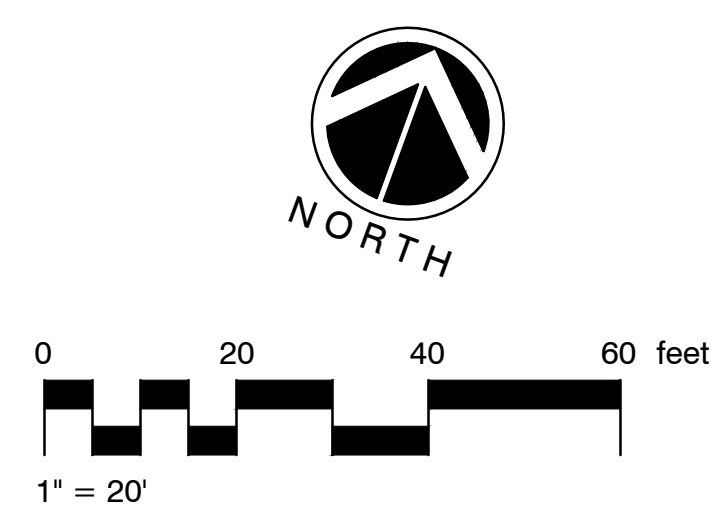
PROJECT NAME
**FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS
12 HUTTLESTONE AVE
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

NO.	REVISIONS	DATE
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CHECKED BY: AE
DATE ISSUED: 03/22/2021
SCALE: 1"=20'
PROJ. NO. A1037
SHEET NO. L1.31
LANDSCAPE ATHLETICS LAYOUT PLAN



FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF
PERMITTING - 03/22/2021

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CONSULTANT

SHEET TITLE
LANDSCAPE ATHLETIC DETAILS

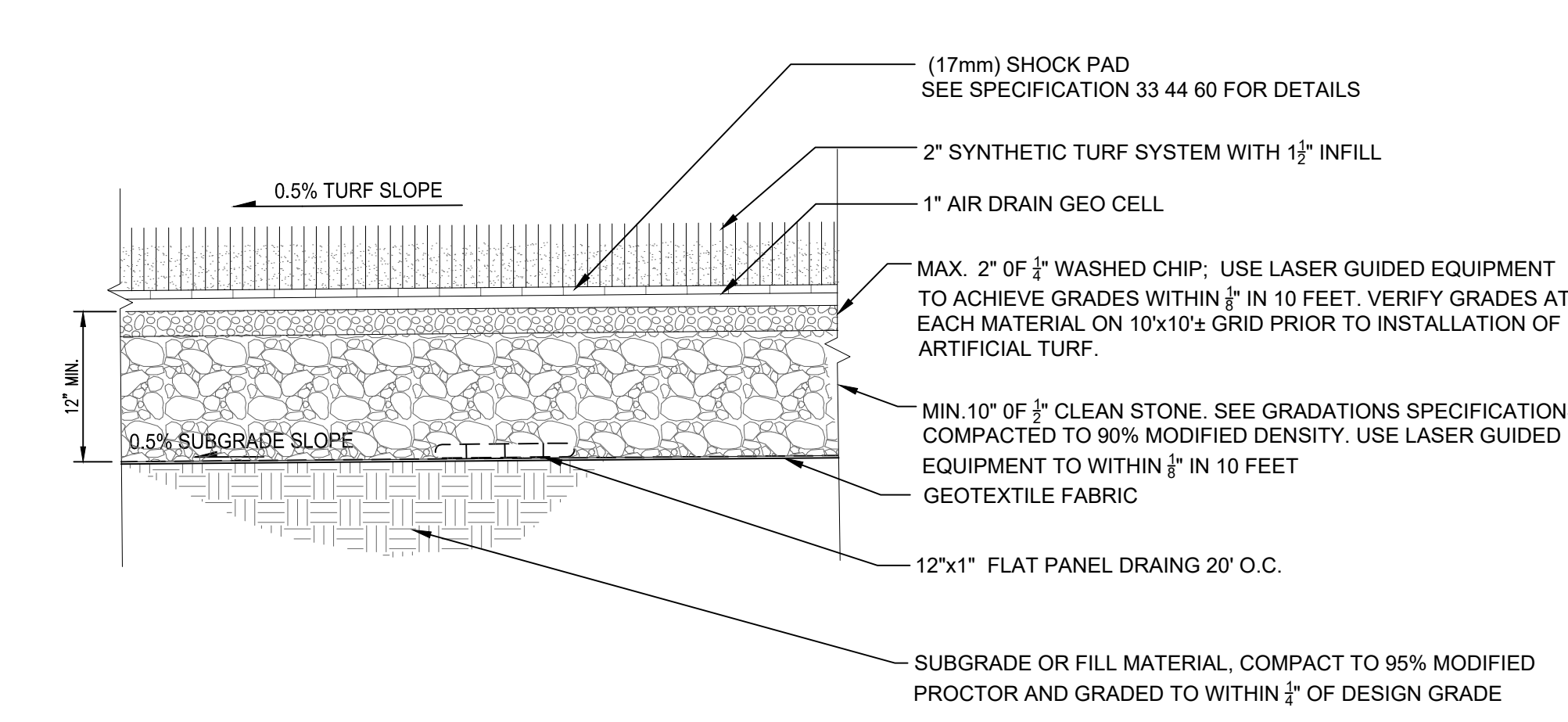
PROJECT NAME
**FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS
12 HUTTLESTONE AVE
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
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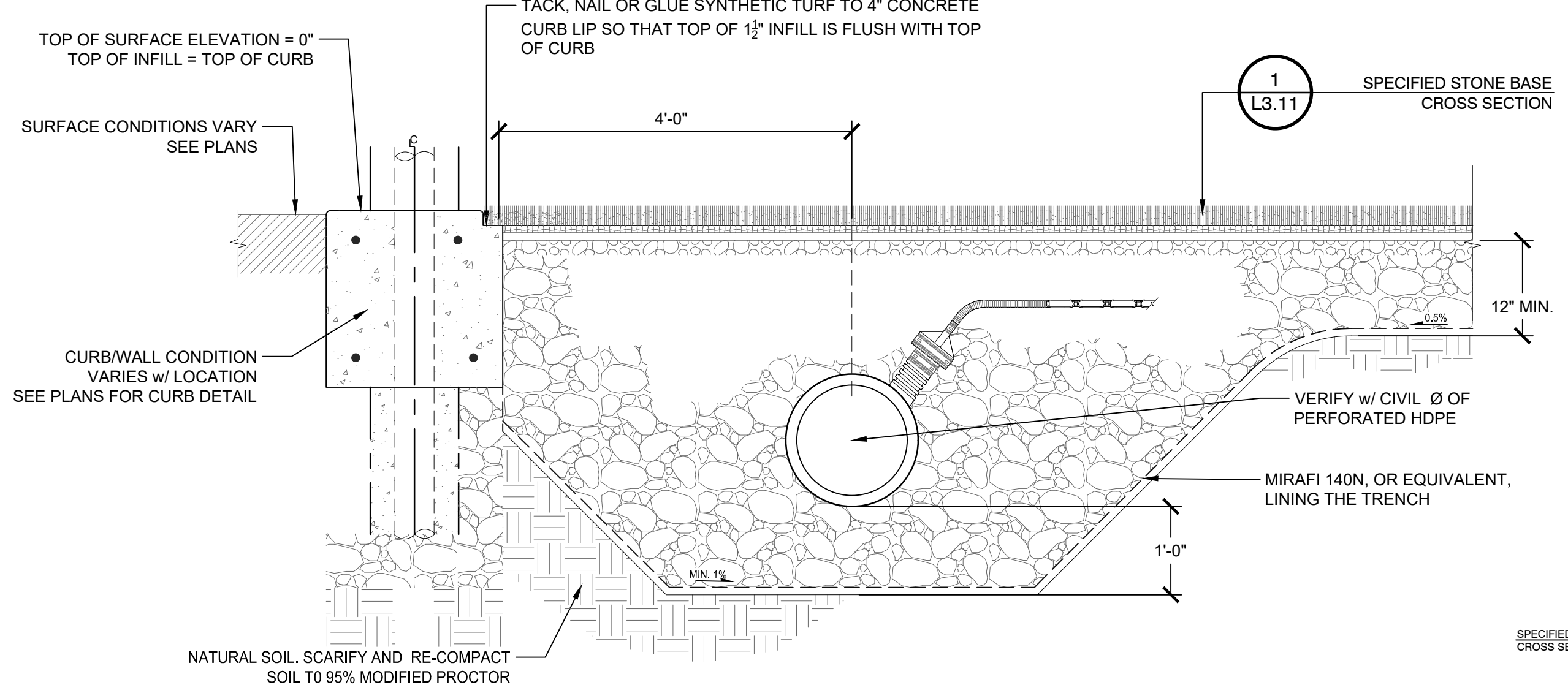
NO.	REVISIONS	DATE

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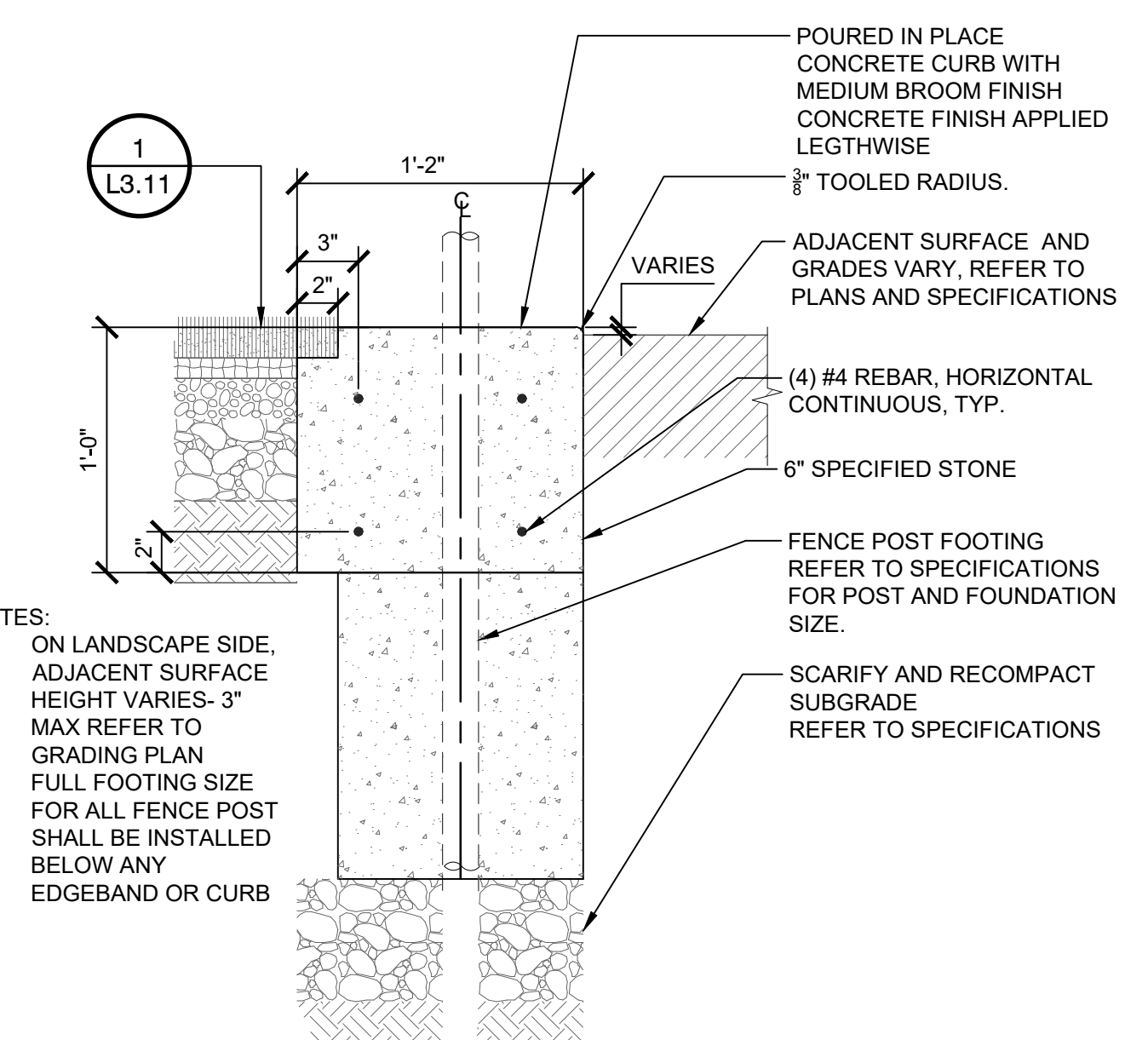


NOTE:
1. ALL STONES UNDER SYNTHETIC SHALL BE WASHED CLEAN AND FREE OF SEDIMENTS.
2. CONTRACTOR SHALL PROVIDE STONE SAMPLES FOR LANDSCAPE ARCHITECTS REVIEW AND APPROVAL PRIOR TO STONE BASE INSTALLATION.

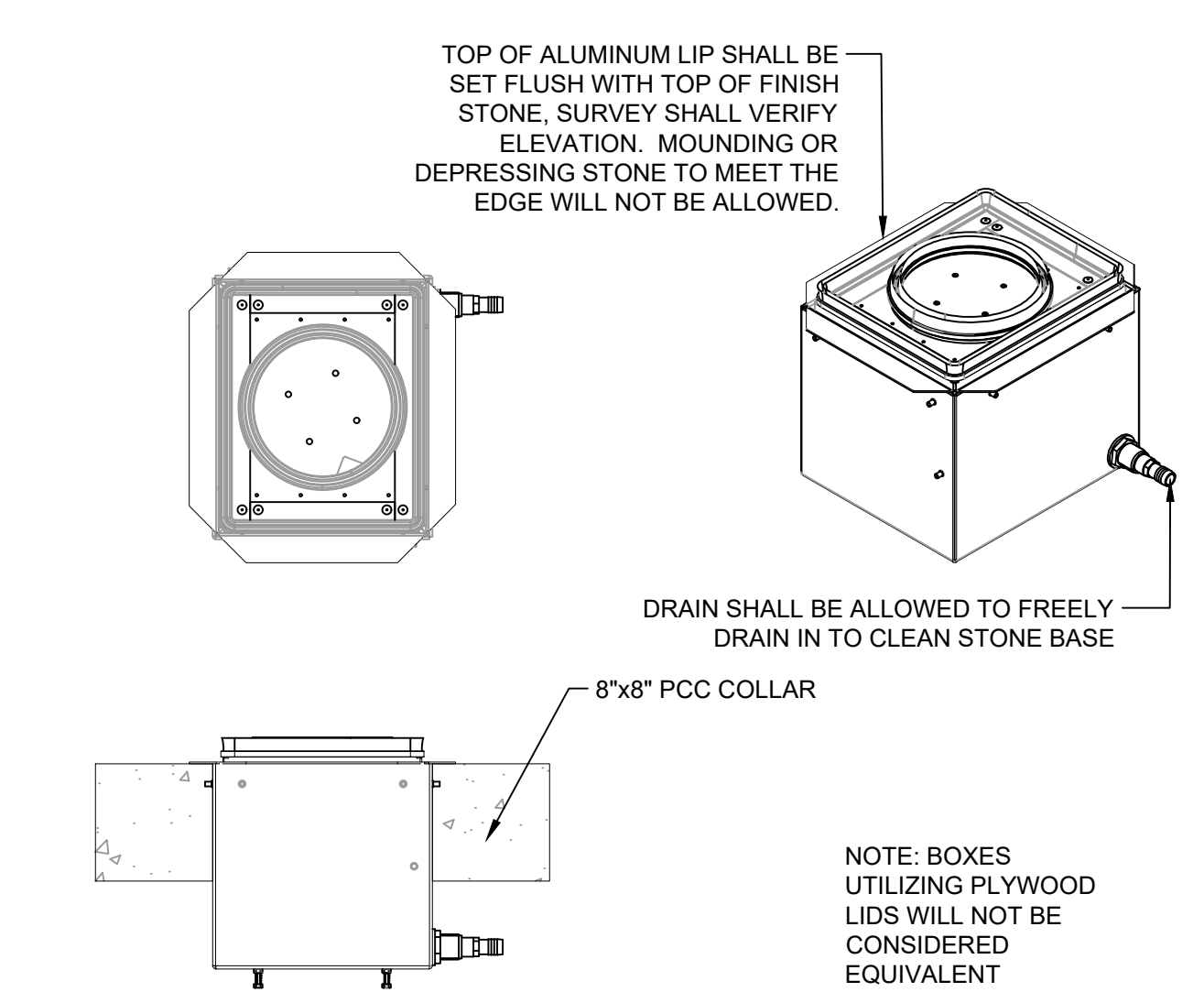
1 SPECIFIED STONE BASE CROSS SECTION
1" = 1'-0"
P-AT1-AFA-20



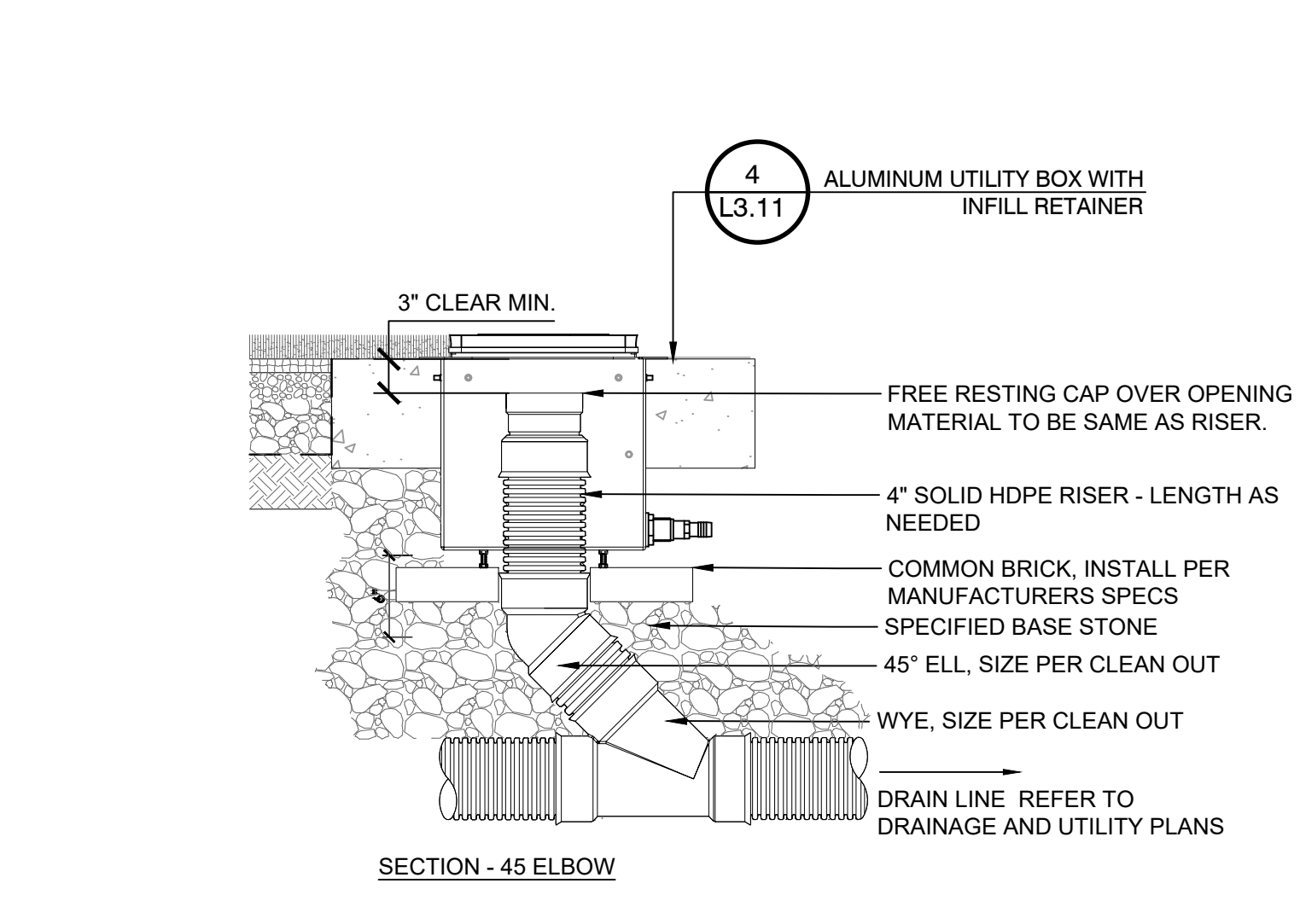
2 CONCRETE CURB AND PERIMETER DRAINAGE DETAIL
3/4" = 1'-0"
P-AT1-AFA-14



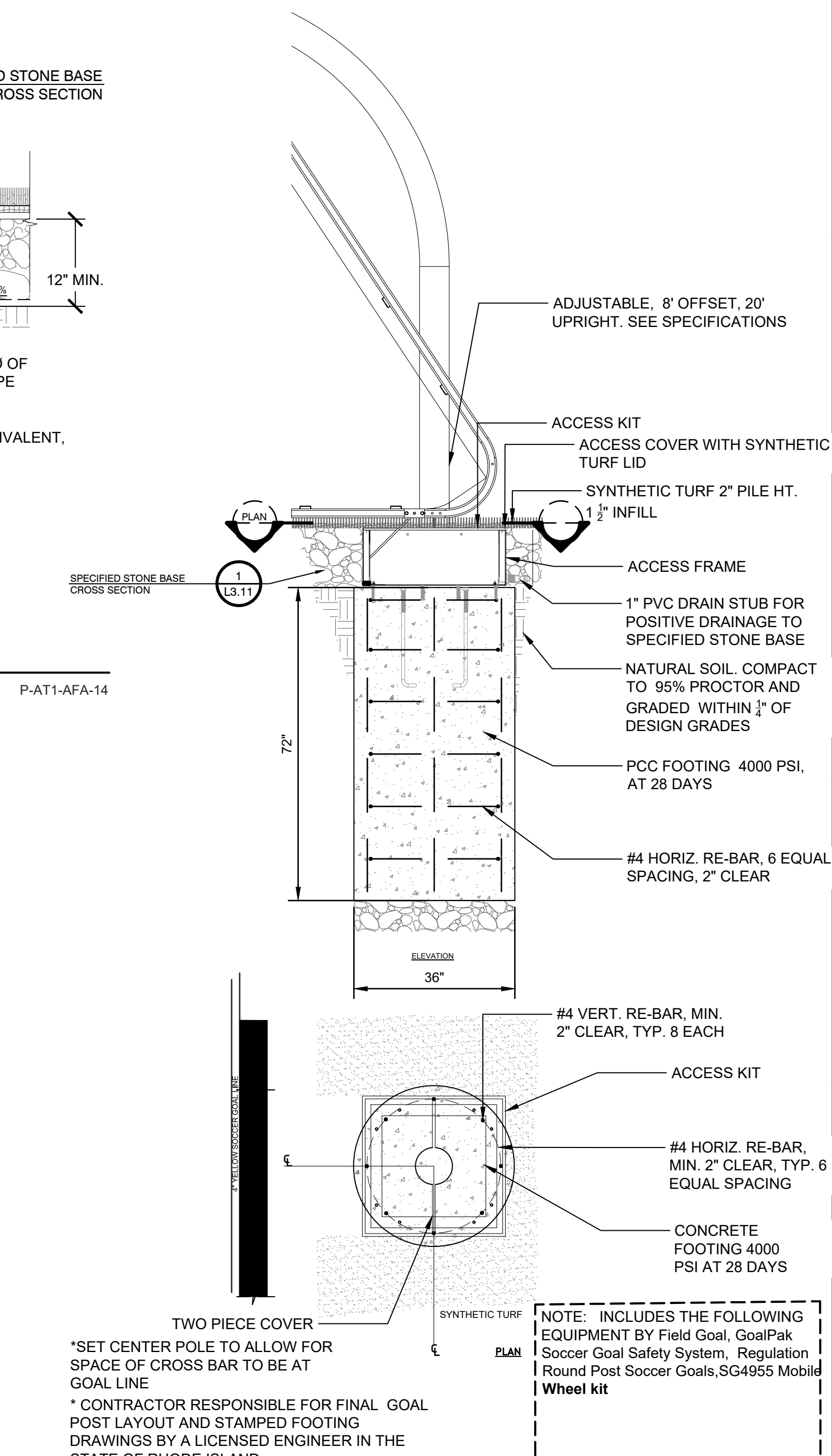
3 14" TURF CURB WITH FENCE OR NET
1 1/2" = 1'-0"



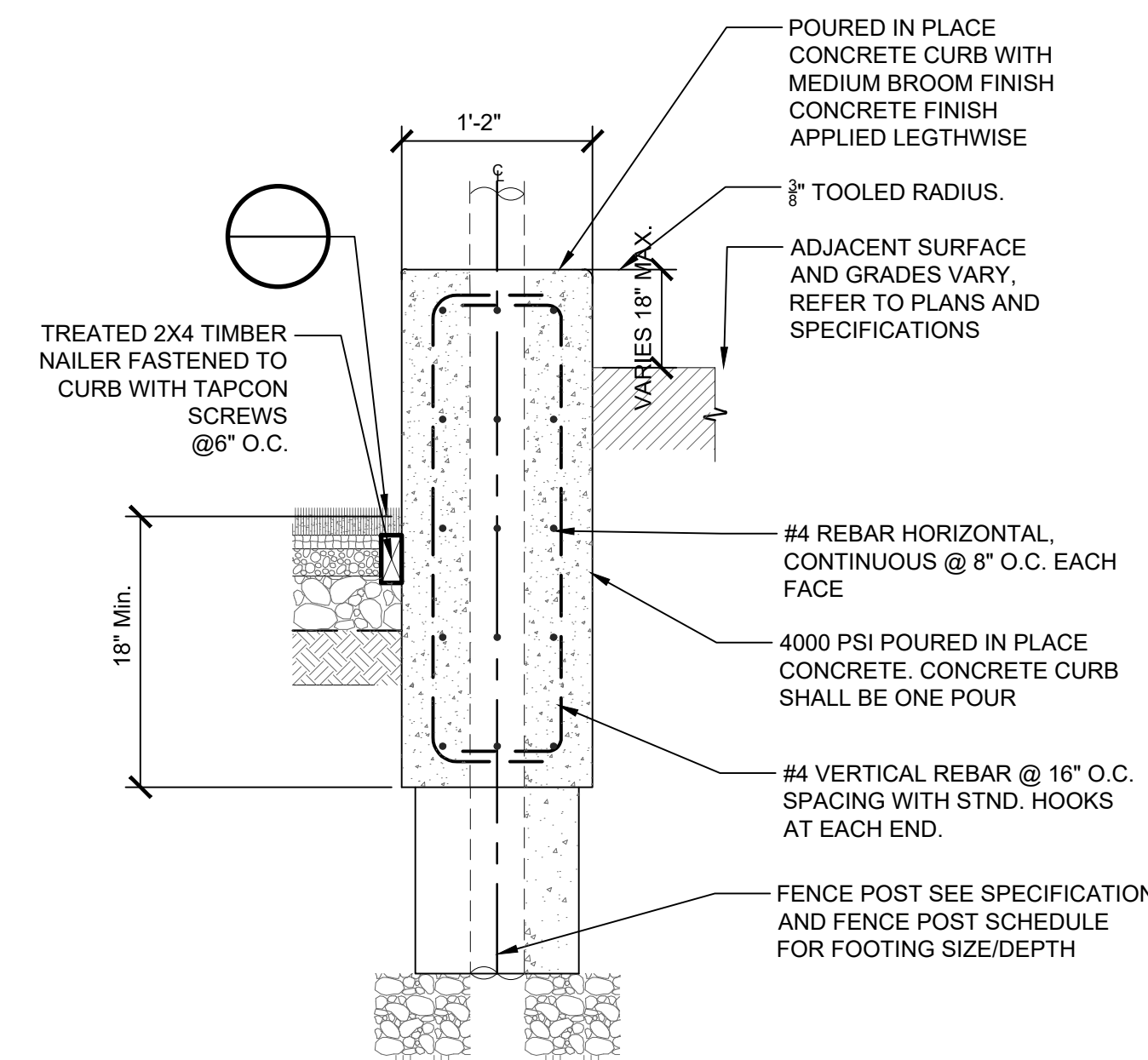
4 ALUMINUM UTILITY BOX WITH INFILL RETAINER
1" = 1'-0"



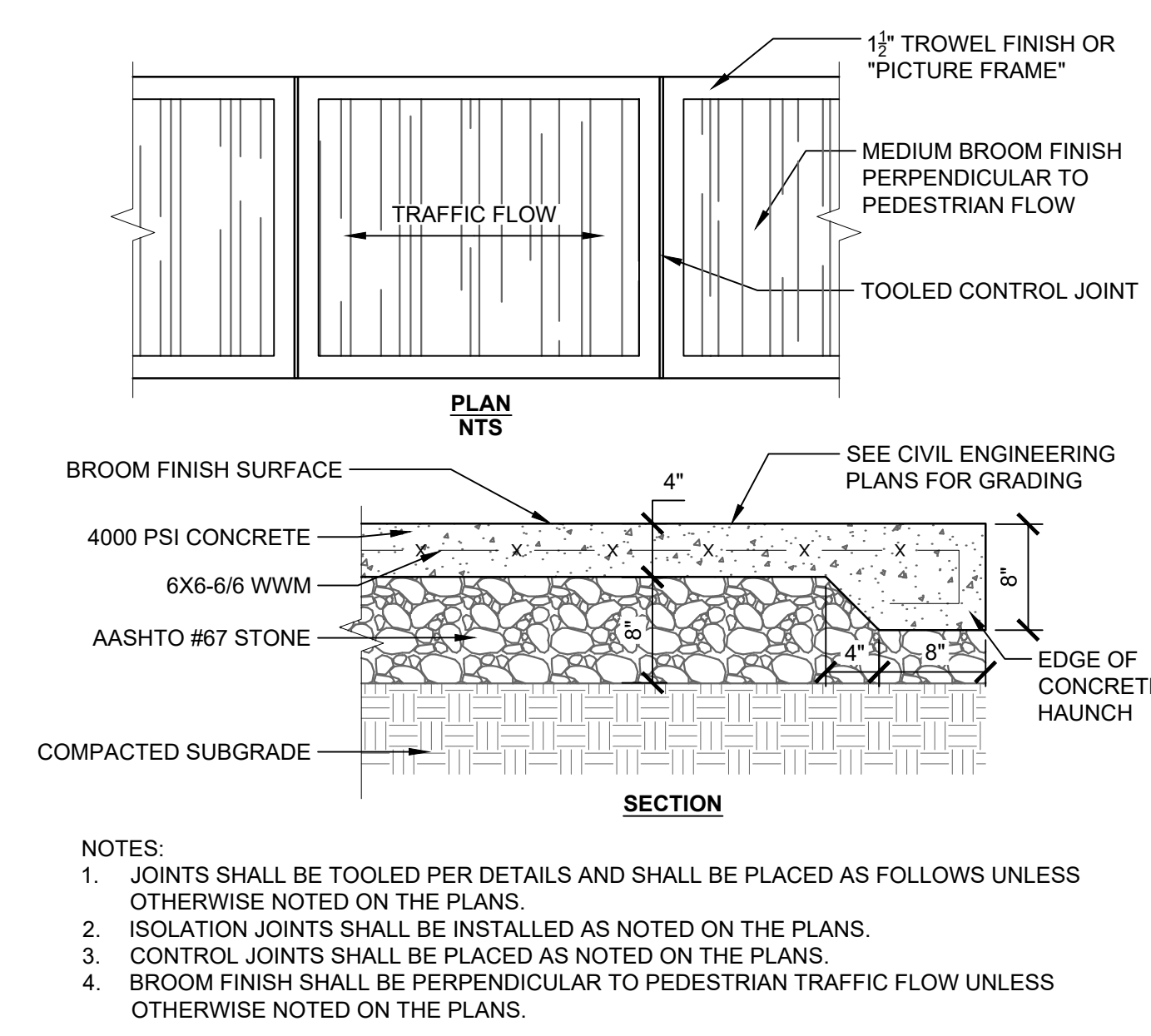
5 SYNTHETIC TURF STORM CLEANOUT
1" = 1'-0"



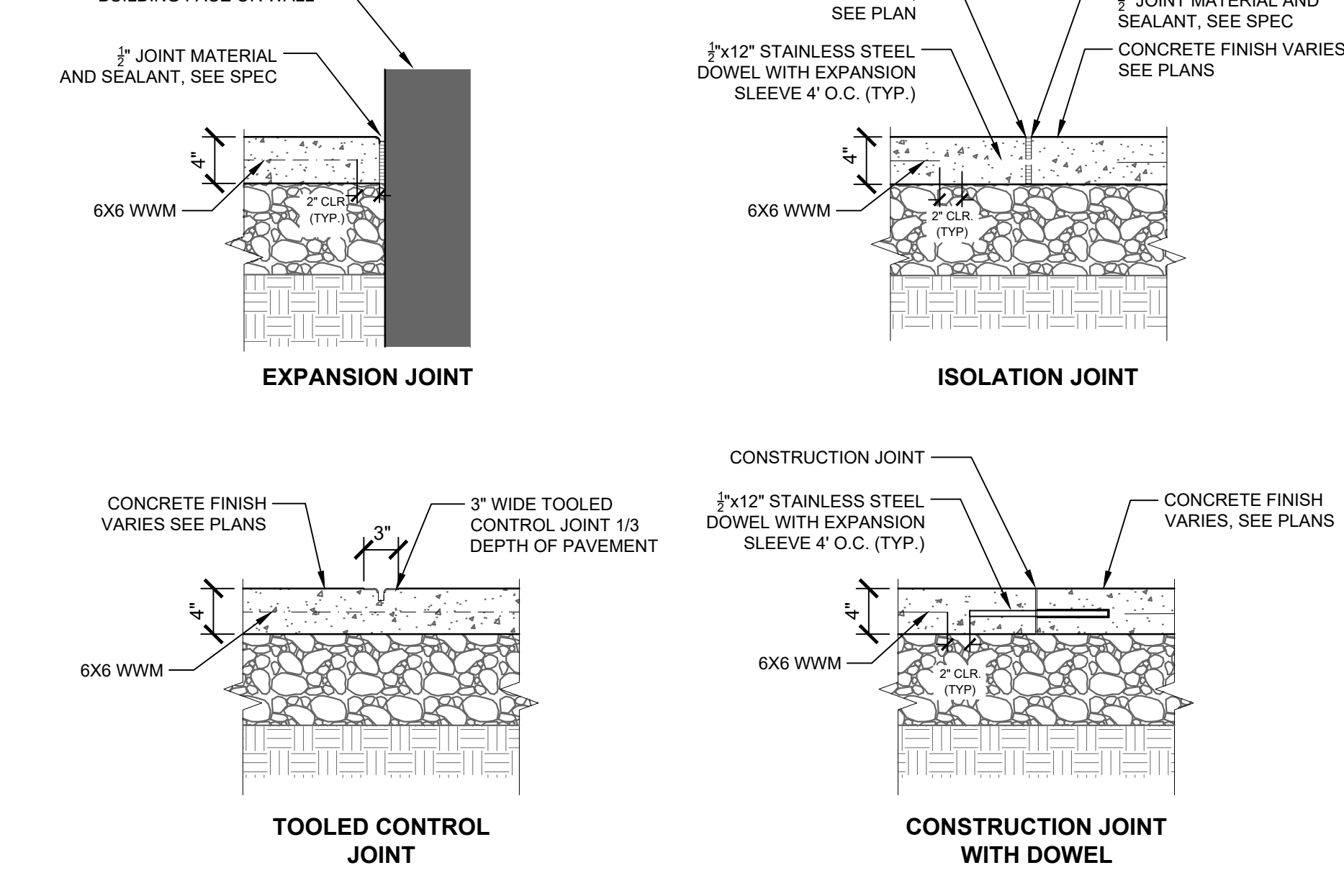
6 FIELD GOAL POST DETAIL
1/2" = 1'-0"
P-AT1-AFA-34



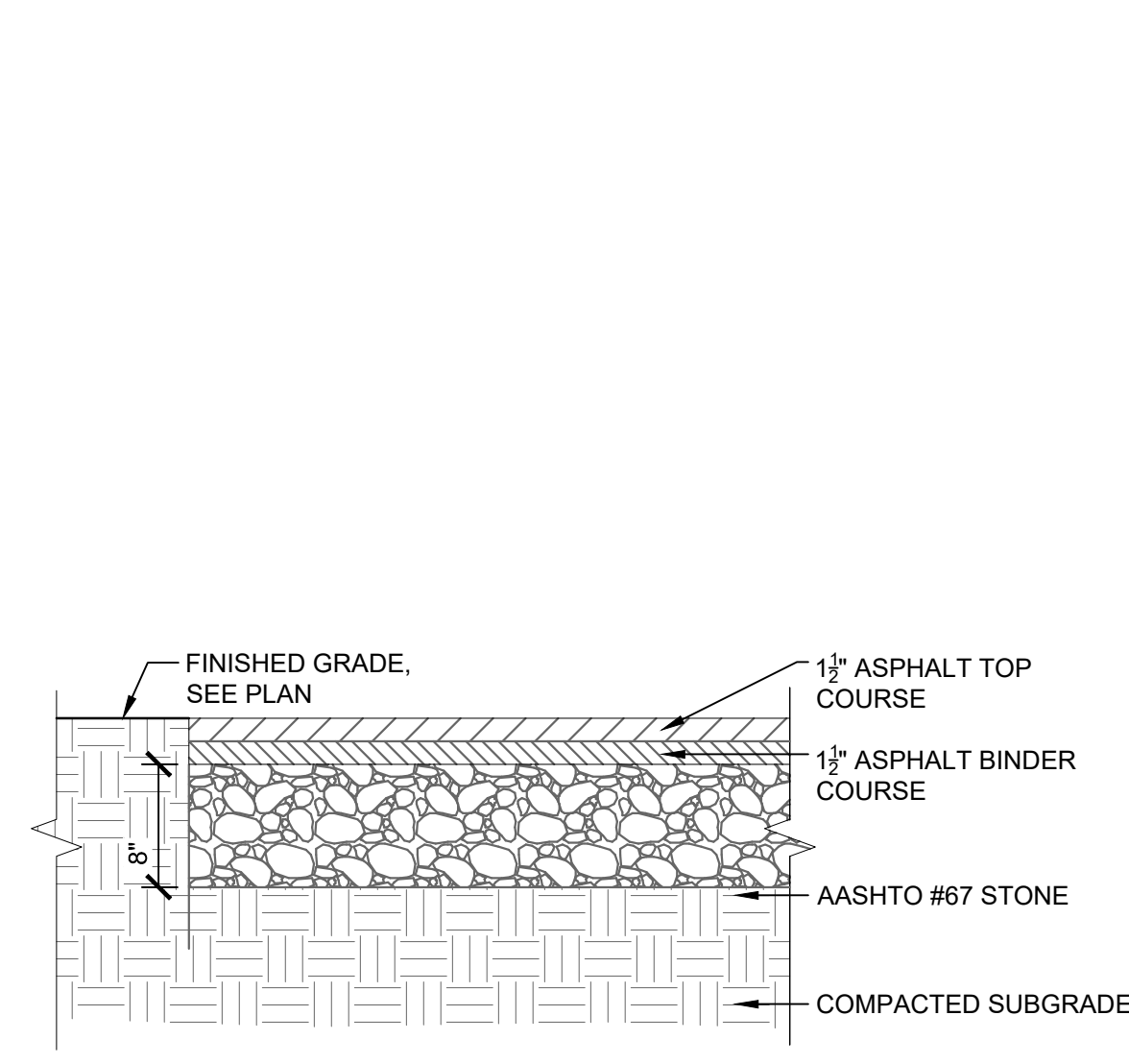
9 14" TURF CURB EXPOSED WITH NAILER BOARD
1" = 1'-0"
P-AT1-AFA-12



7 CONCRETE PAVING
1" = 1'-0"

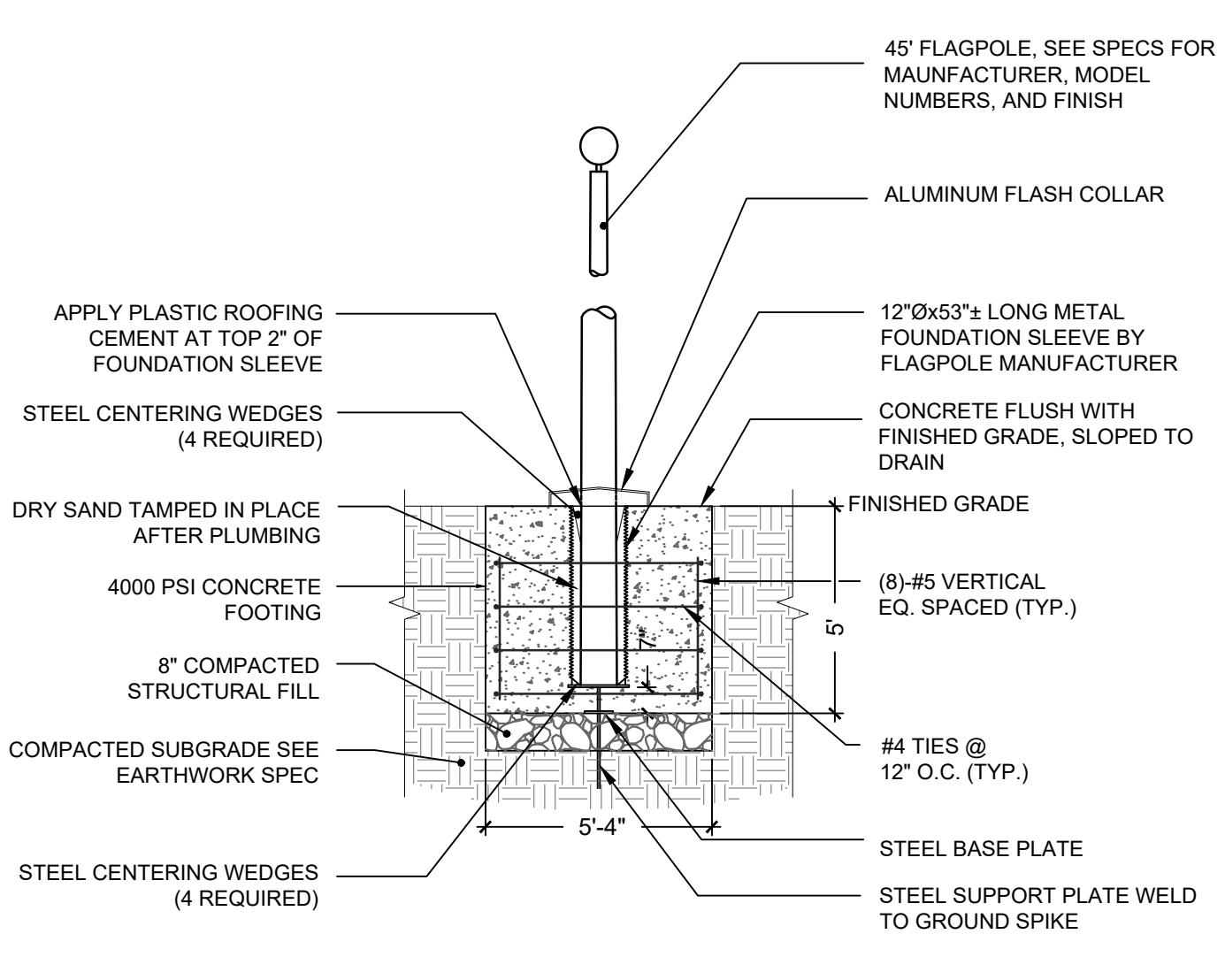


8 CONCRETE PAVEMENT JOINTS-TOOLED
1" = 1'-0"
P-AT1-AFA-000901-06



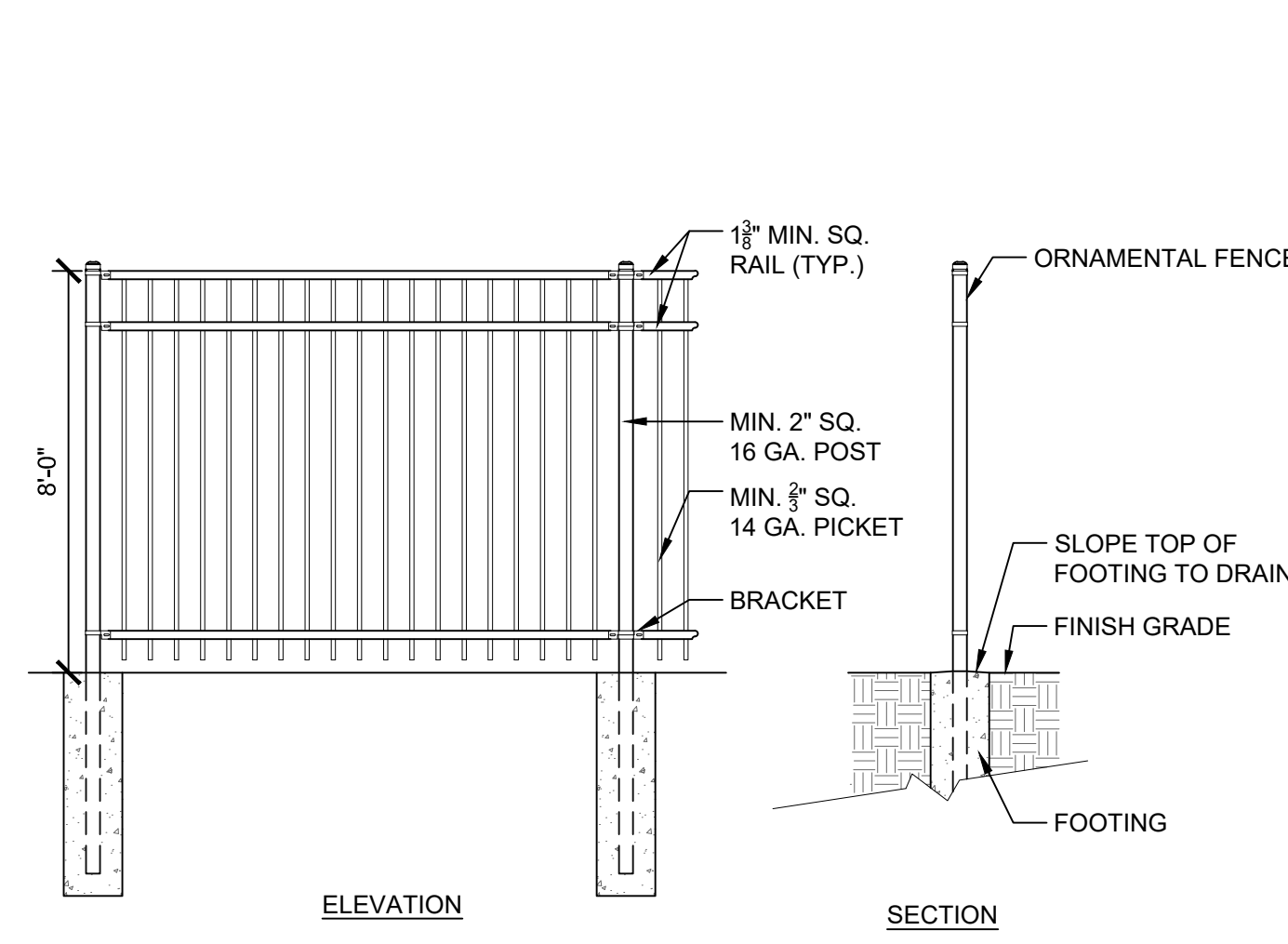
NOTE: SEE SPECIFICATIONS FOR TOLERANCES AND TECHNICAL INFORMATION.

1 ASPHALT PAVING
1" = 1'-0"



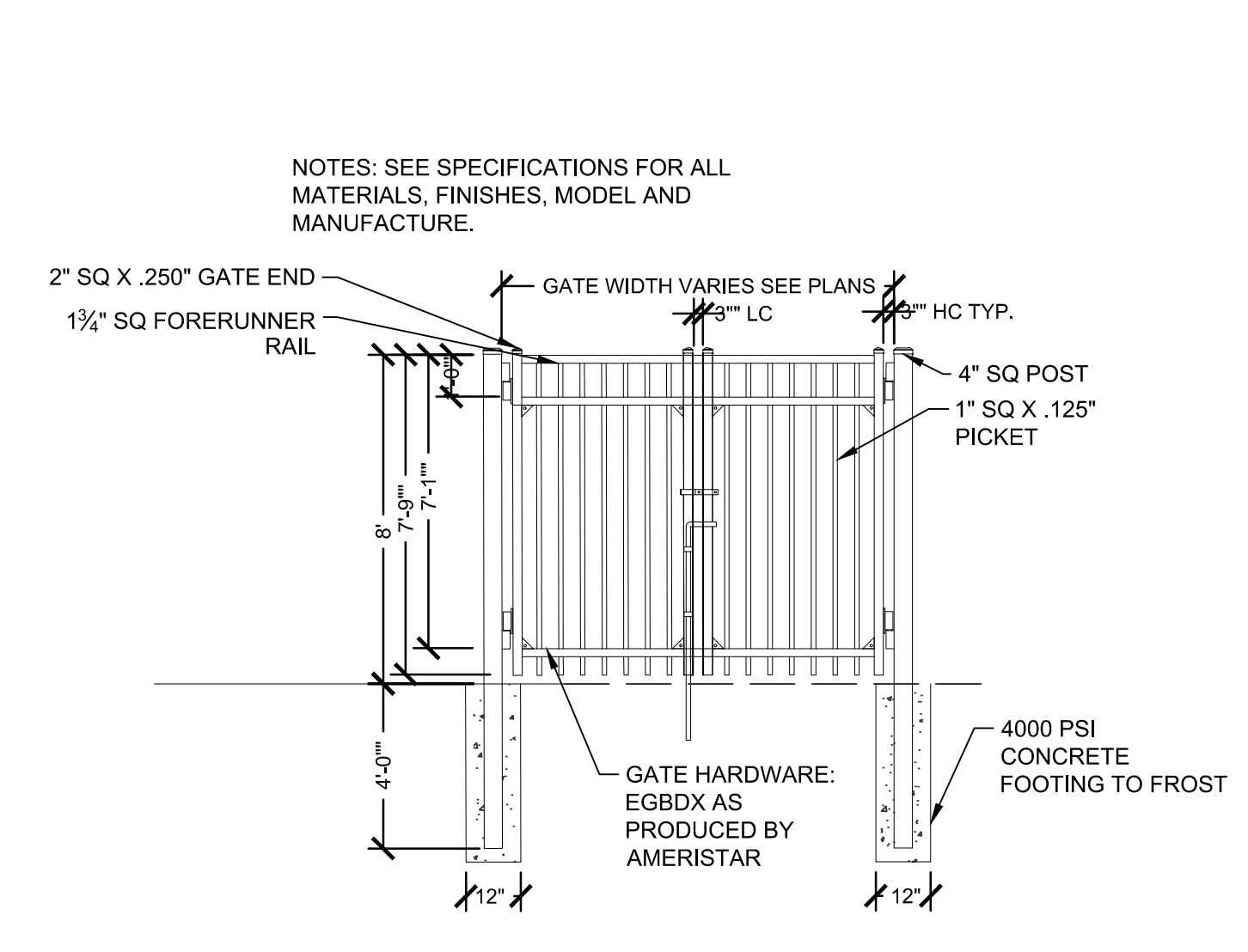
NOTE: A 8x12 OFFICIAL UNITED STATES FLAG SHALL BE FLOWN ON A 45° FLAGPOLE.

2 FLAG POLE
1/4" = 1'-0" P-AT1-AFA-324013-05



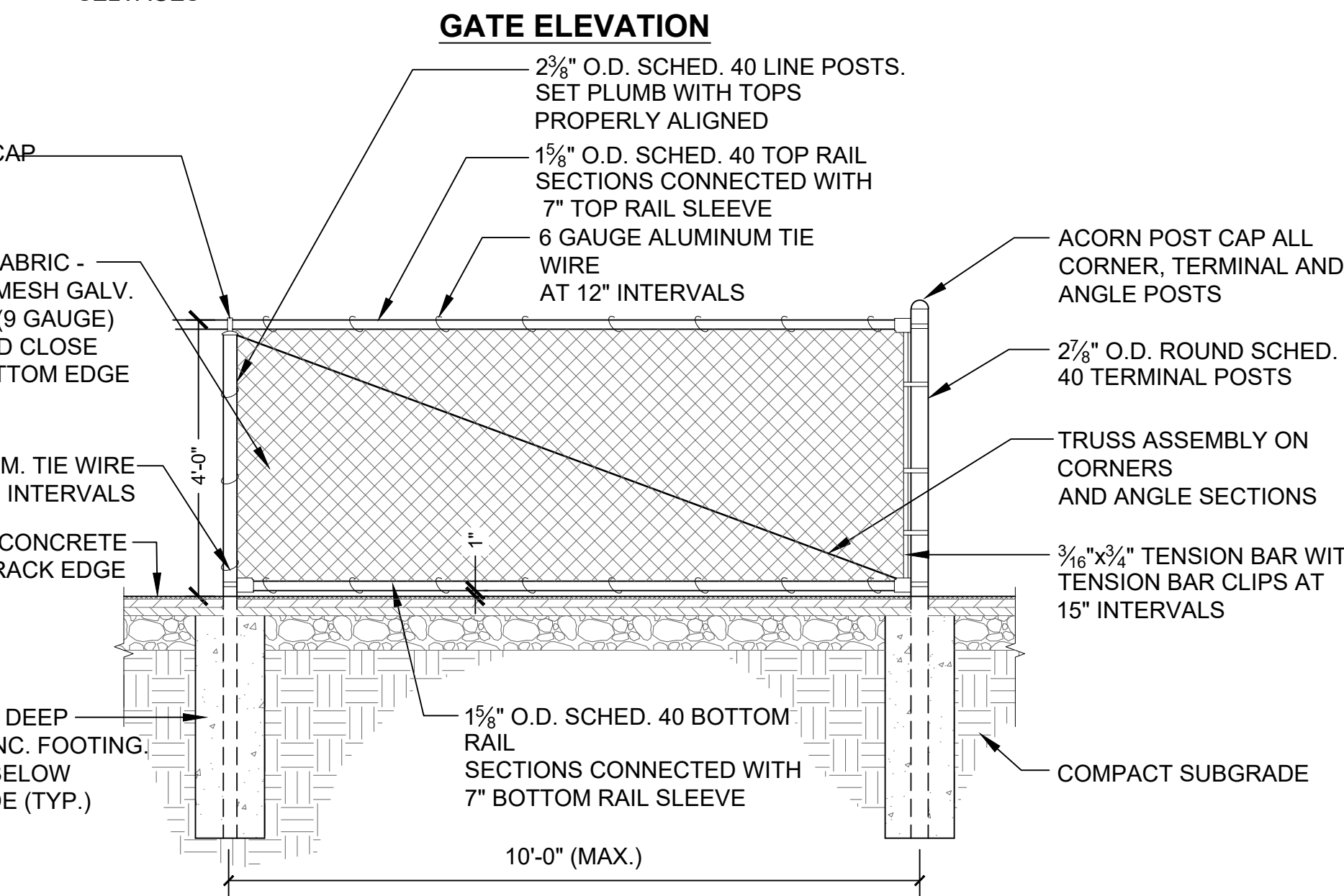
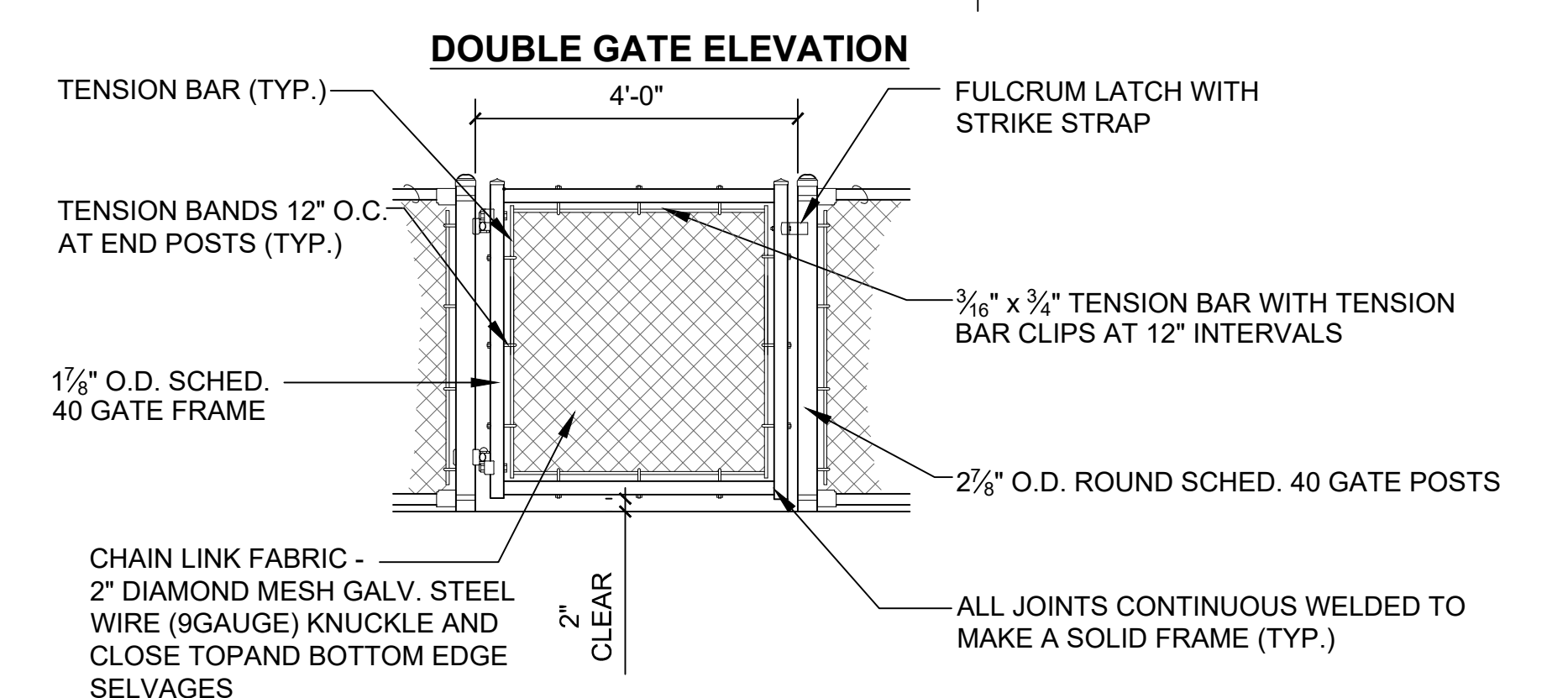
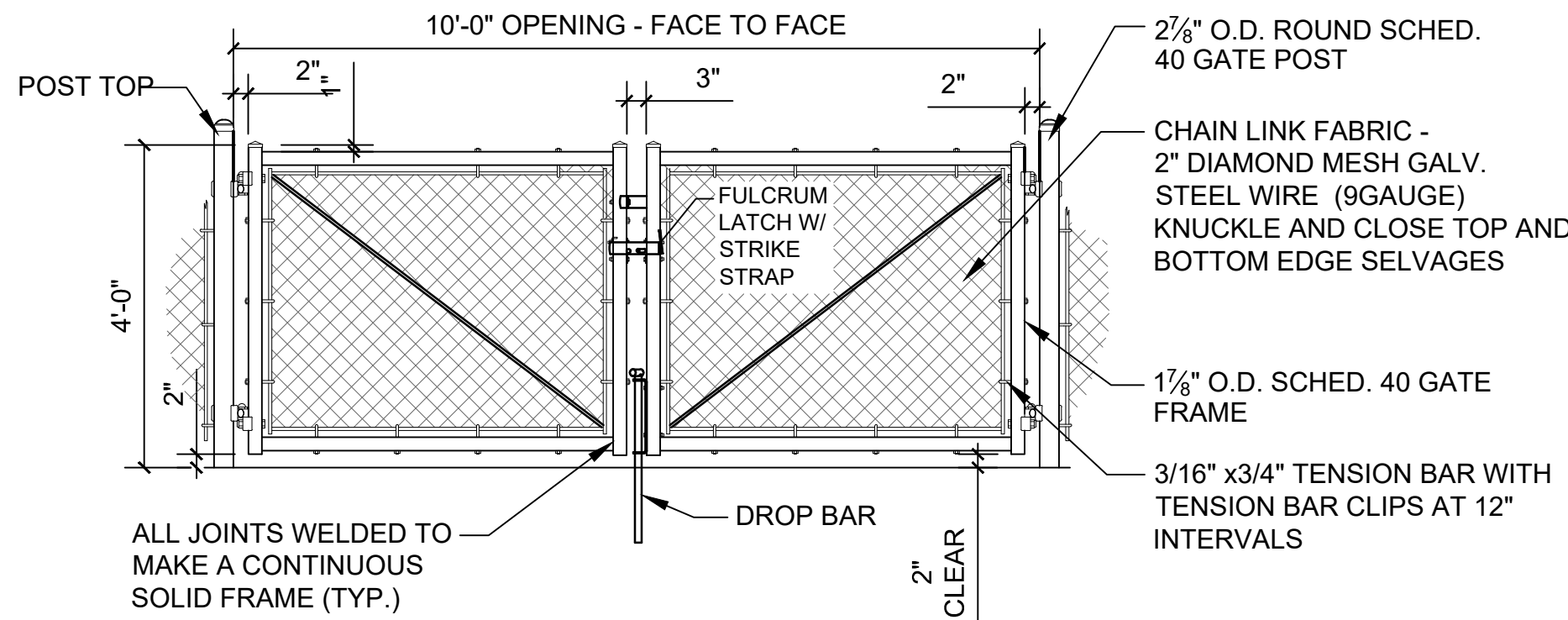
NOTES:
1. ORNAMENTAL FENCE SHALL BE INSTALLED AT LOCATIONS SHOWN ON THE PLANS.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. SEE SPECIFICATIONS FOR MANUFACTURER, MODEL, & FINISH

3 8' ORNAMENTAL FENCE
3/8" = 1'-0" P-AT1-AFA-06

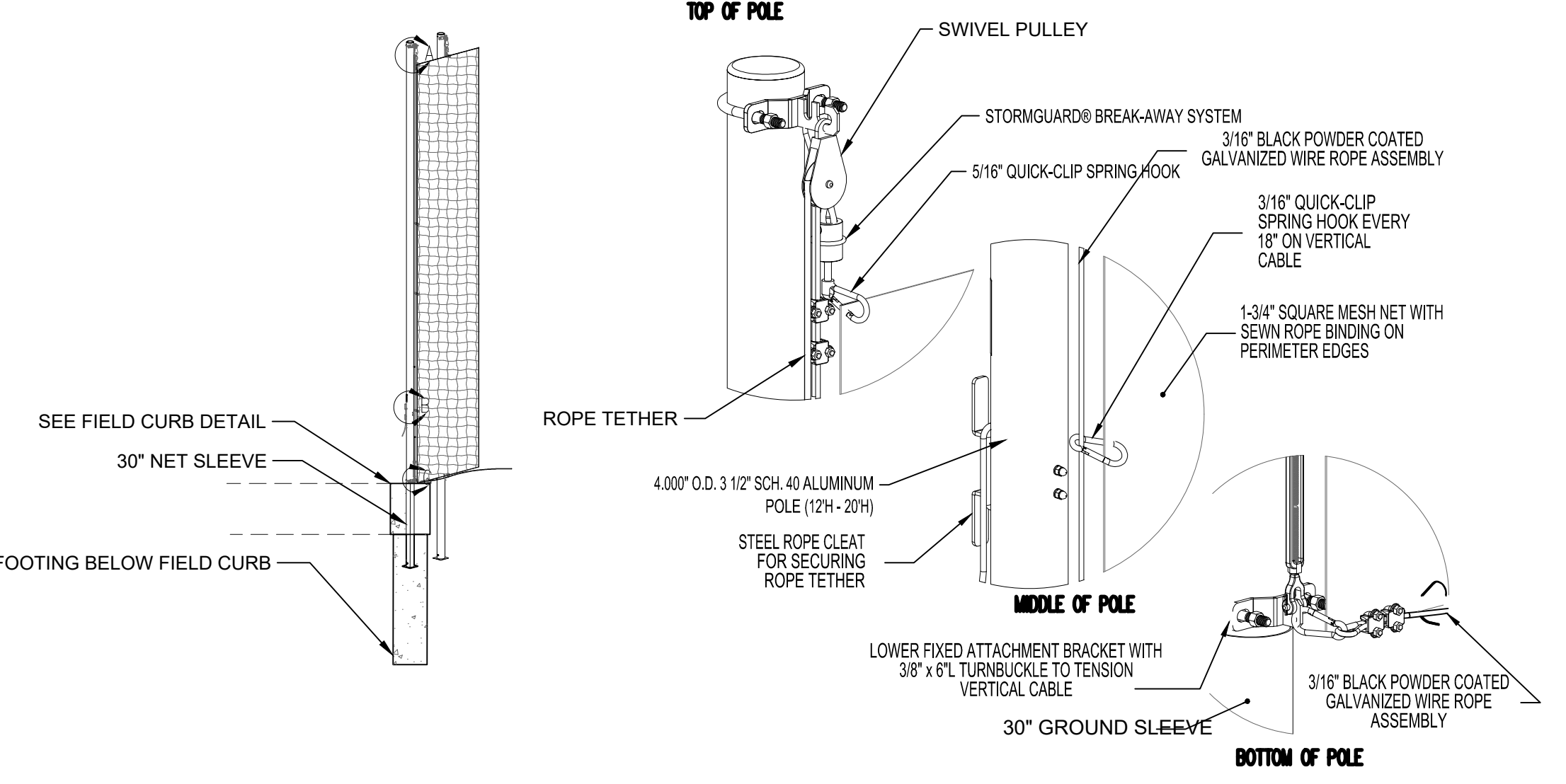


NOTES: SEE SPECIFICATIONS FOR ALL MATERIALS, FINISHES, MODEL AND MANUFACTURE.

4 ORNAMENTAL DOUBLE SWING GATE (10' OR 12')
1/4" = 1'-0" P-AT1-AFA-09



6 4" BLACK VINYL CHAIN LINK FENCE
1/2" = 1'-0" P-AT1-AFA-02

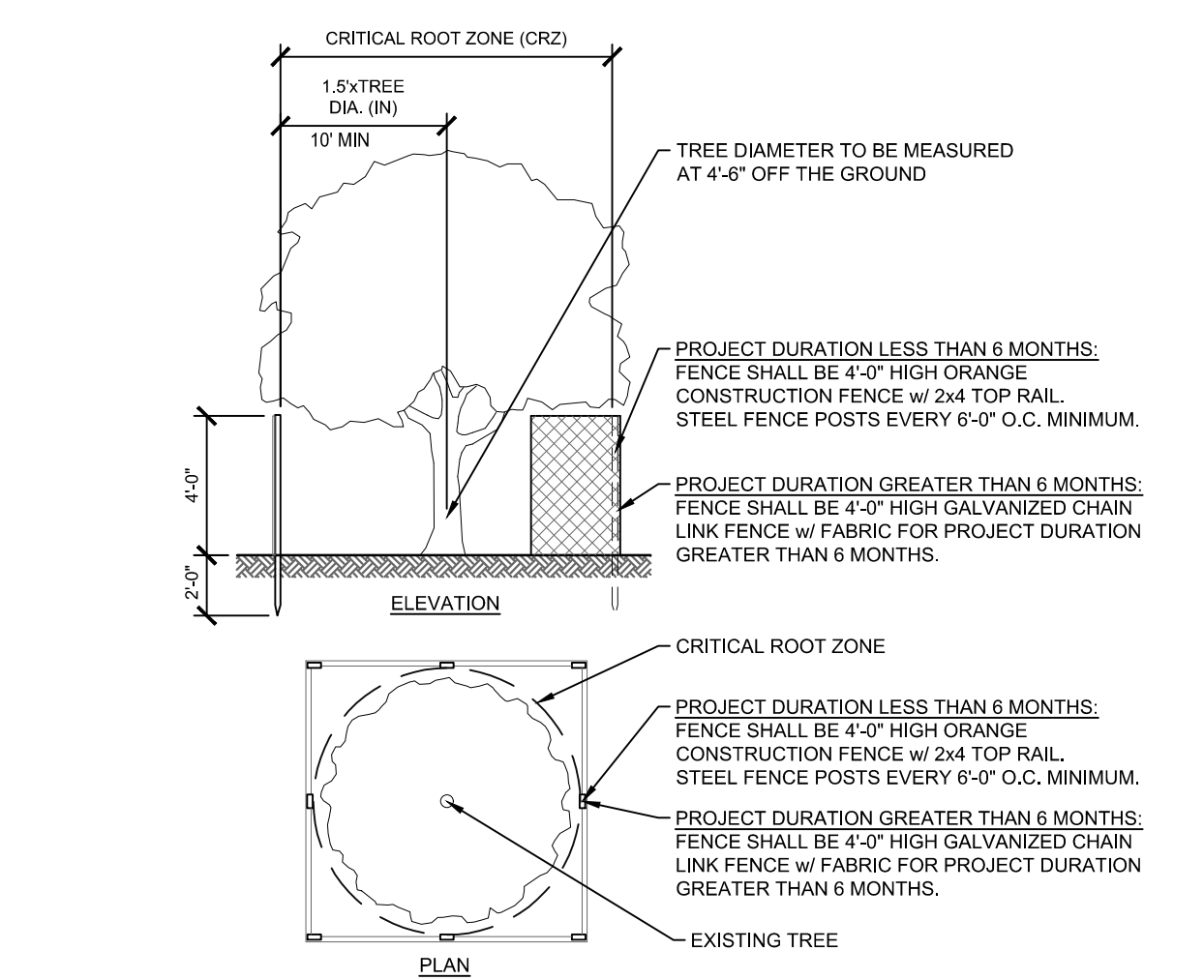


5 BREAKAWAY BALL SAFETY NETTING SYSTEM
1/4" = 1'-0"

FENCE POST AND FOOTING SCHEDULE				
DESCRIPTION	HEIGHT	LINE POST	CORNER/END POST	FOOTING DIMENSION
BLACK VINYL CHAIN LINK FENCE	6' AND UNDER	2" OD	2 1/2" OD	12" X 48"
BLACK VINYL CHAIN LINK FENCE	7'-8'	2 1/2" OD	3" OD	12" X 48"
BALLSTOP BARRIER AND SAFETY NETTING	UNDER 20'	4" OD		PROVIDE STAMPED SHOP DRAWINGS
BALLSTOP BARRIER AND SAFETY NETTING	25'-40'	6" OD		PROVIDE STAMPED SHOP DRAWINGS

GATE POST SCHEDULE			
DESCRIPTION	HEIGHT	GATE WIDTH	PIPE SIZE
BLACK VINYL CHAIN LINK FENCE	6' AND UNDER	4' AND UNDER	2 1/2" OD
BLACK VINYL CHAIN LINK FENCE	6' AND UNDER	4'-10'	3" OD
BLACK VINYL CHAIN LINK FENCE	6' AND UNDER	4'-18'	4" OD
BLACK VINYL CHAIN LINK FENCE	6'-12'	6' AND UNDER	3" OD
BLACK VINYL CHAIN LINK FENCE	6'-12'	6'-12'	4" OD
BLACK VINYL CHAIN LINK FENCE	6'-12'	12'-18'	6 5/8" OD

7 FENCING SCHEDULES
3" = 1'-0"



NOTE:
1. TYPICAL ALL TREES INSIDE WORK AREA
2. FENCE LOCATION TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION ACTIVITIES.
3. THE SOIL WITHIN THE CRZ SHALL NOT BE DISTURBED IN ANY MANNER DURING CONSTRUCTION. NO EQUIPMENT, MATERIALS, SUPPLIES, AND/OR SALVAGE SHALL BE STORED OR PLACED WITHIN THE CRZ. NO VEHICULAR OR EQUIPMENT TRAFFIC SHALL BE PERMITTED WITHIN THE CRZ. NO FILLING OR CURING OF EXISTING SOILS SHALL BE PERMITTED WITHIN THE CRZ. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE SERVICES MUST APPROVE ANY DEVIATION FROM THE STANDARD.

8 TREE PROTECTION
3/16" = 1'-0"

STAMP

CONSULTANT

SHEET TITLE
LANDSCAPE ATHLETIC DETAILS

PROJECT NAME
**FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF**

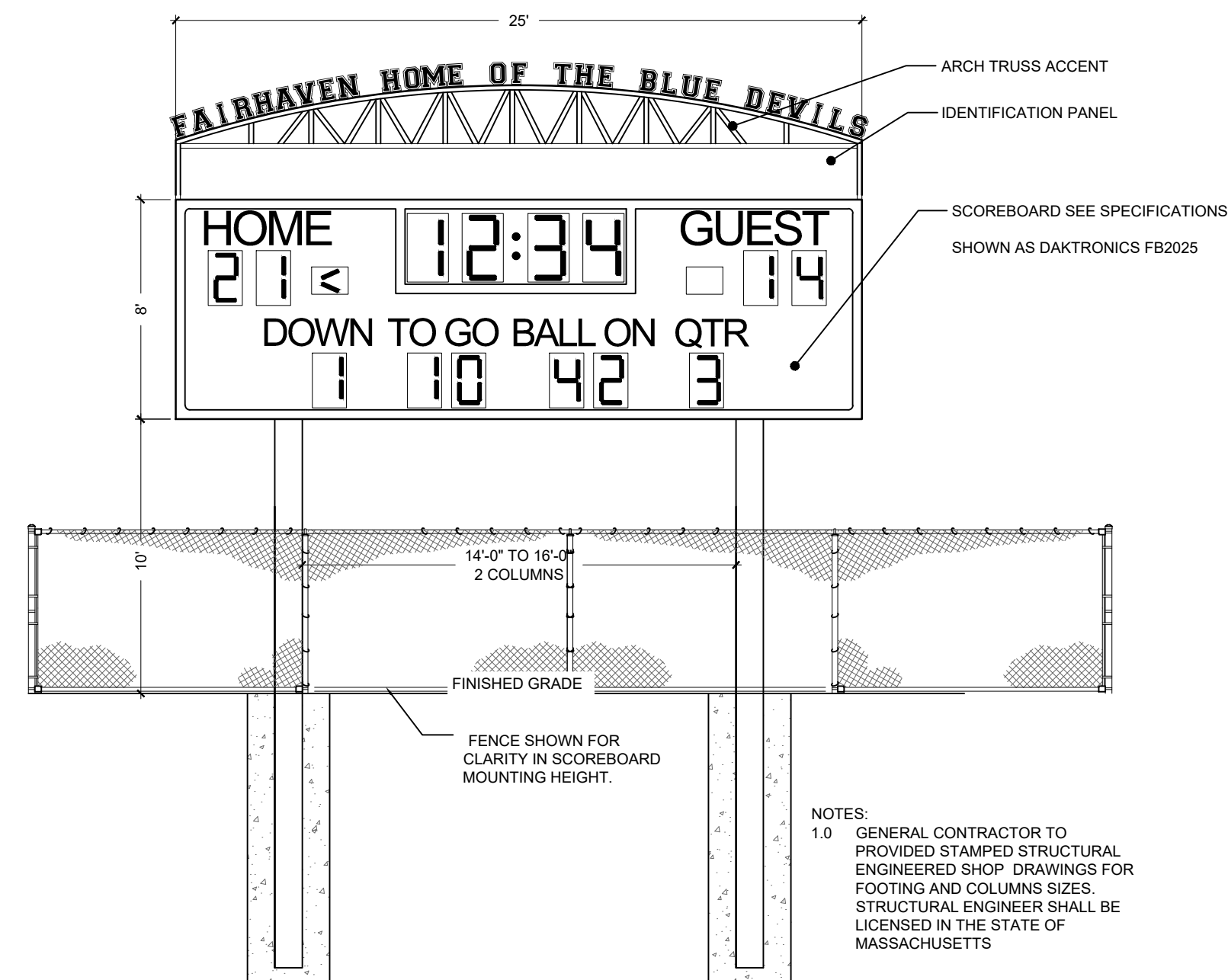
PROJECT ADDRESS
12 HUTTLESTONE AVE
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

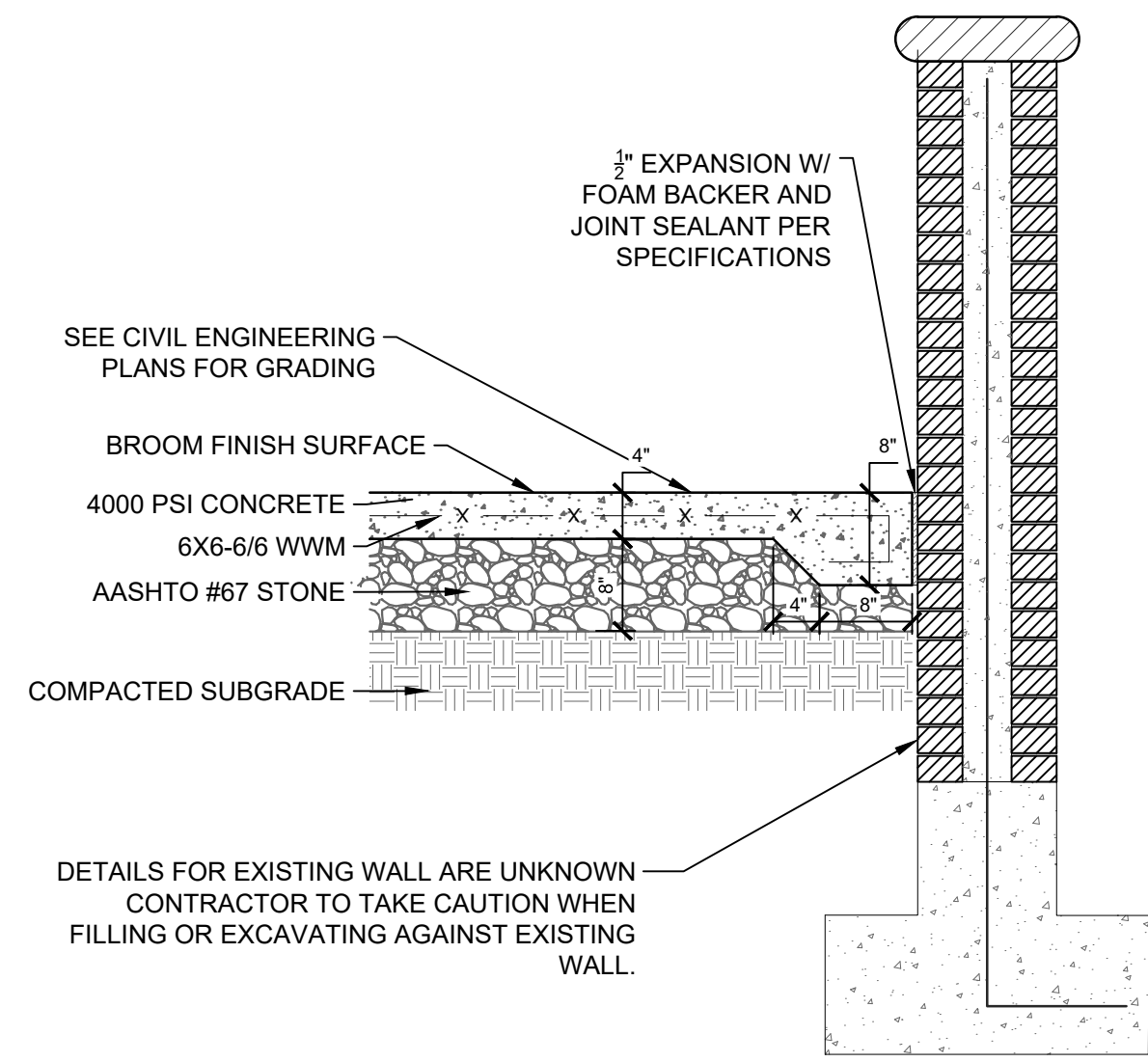
NO.	REVISIONS	DATE

DRAWN BY: **JR** CHECKED BY: **AE**
DATE ISSUED: **03/22/2021** SCALE:
PROJ. NO. **A1037**
SHEET NO. **L3.12**
LANDSCAPE ATHLETIC DETAILS

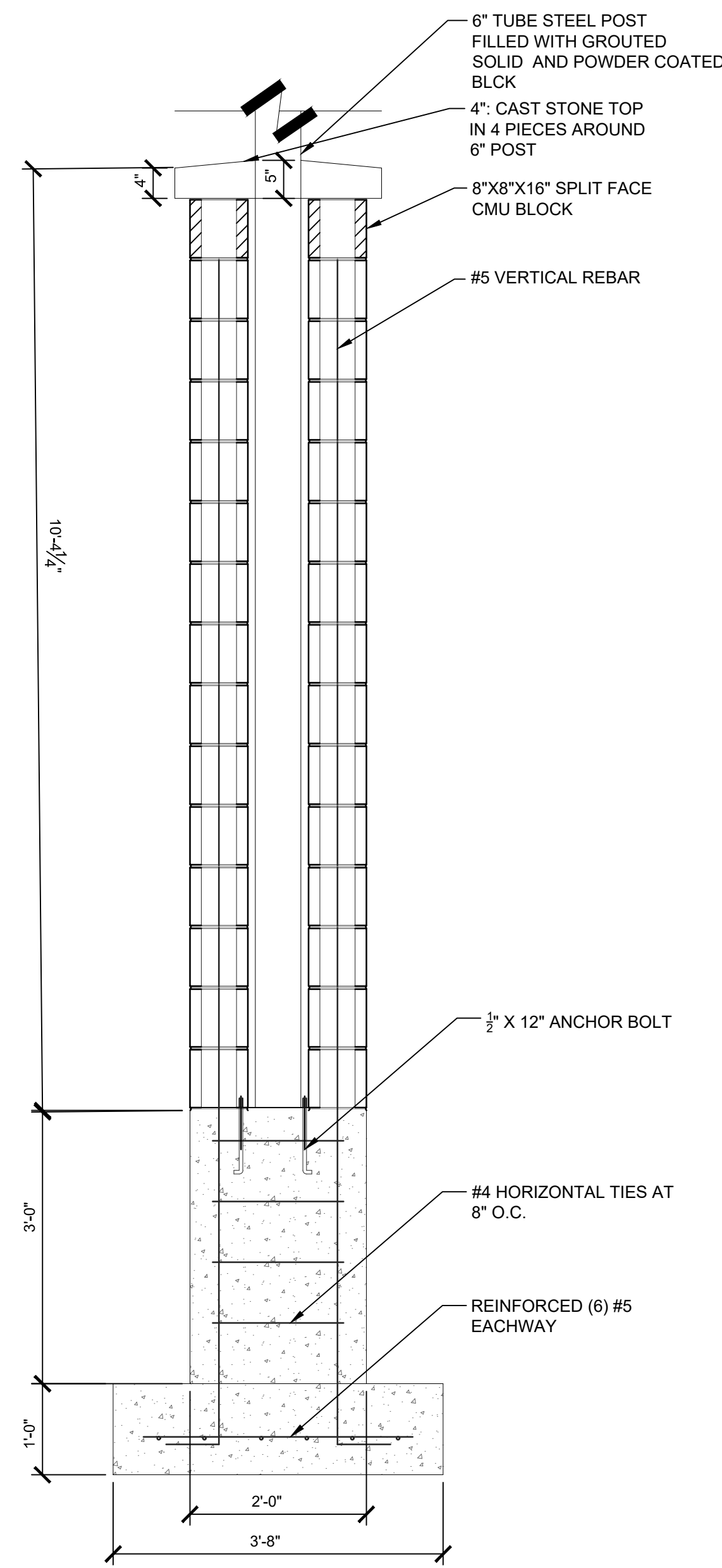
FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF PERMITTING - 03/22/2021



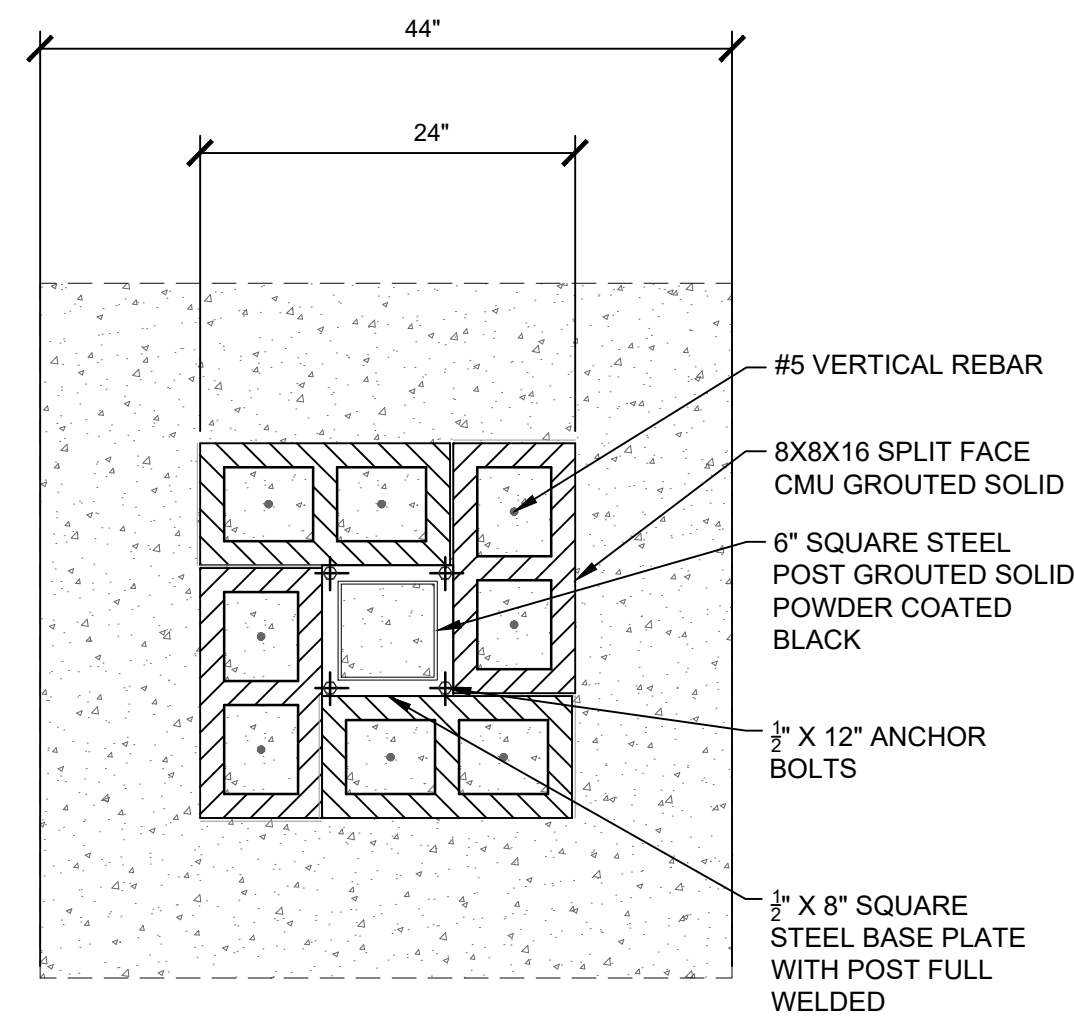
1 SCOREBOARD
3/16" = 1'-0"



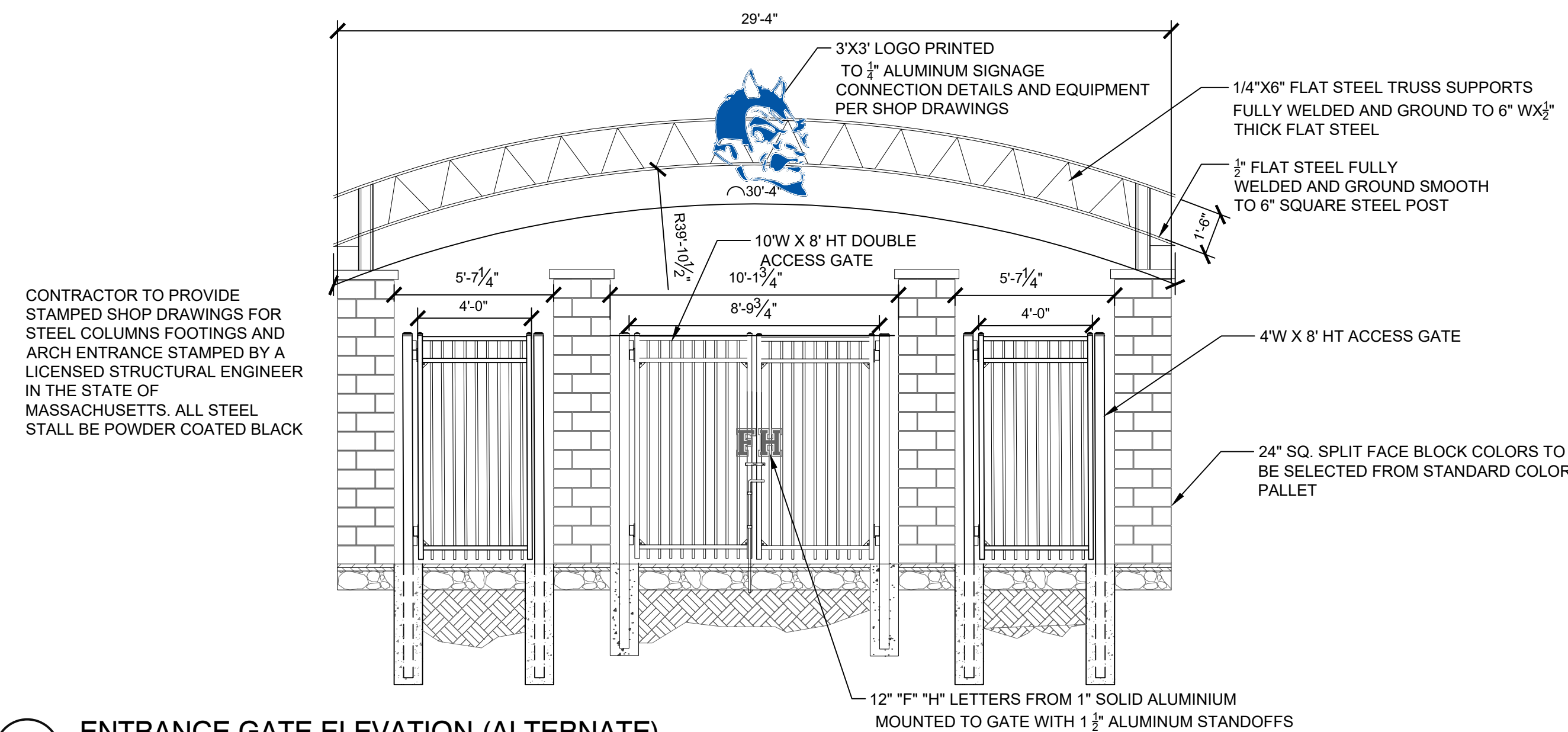
2 CONCRETE WALK AT EXISTING BRICK WALL
3/4" = 1'-0"



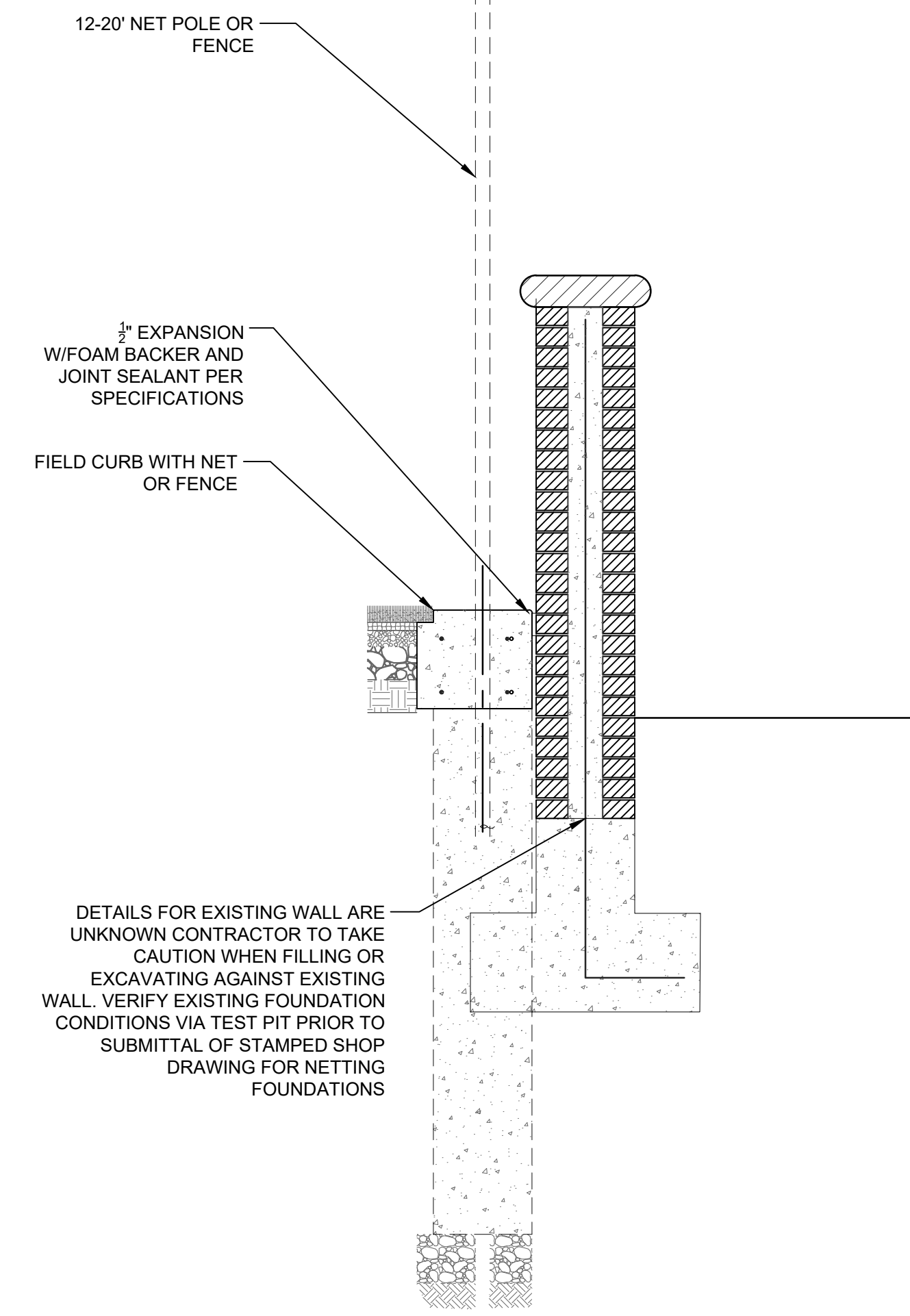
4 ENTRANCE PILASTER DETAIL
3/4" = 1'-0"



5 BLOCK PILASTER PLAN DETAIL
1" = 1'-0"



6 ENTRANCE GATE ELEVATION (ALTERNATE)
1/4" = 1'-0"



3 FIELD CURB WITH NETTING AT EXISTING WALL
3/4" = 1'-0"

STAMP

CONSULTANT

SHEET TITLE
LANDSCAPE ATHLETIC DETAILS

PROJECT NAME
FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF

PROJECT ADDRESS
12 HUTTLESTONE AVE
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

NO.	REVISIONS	DATE
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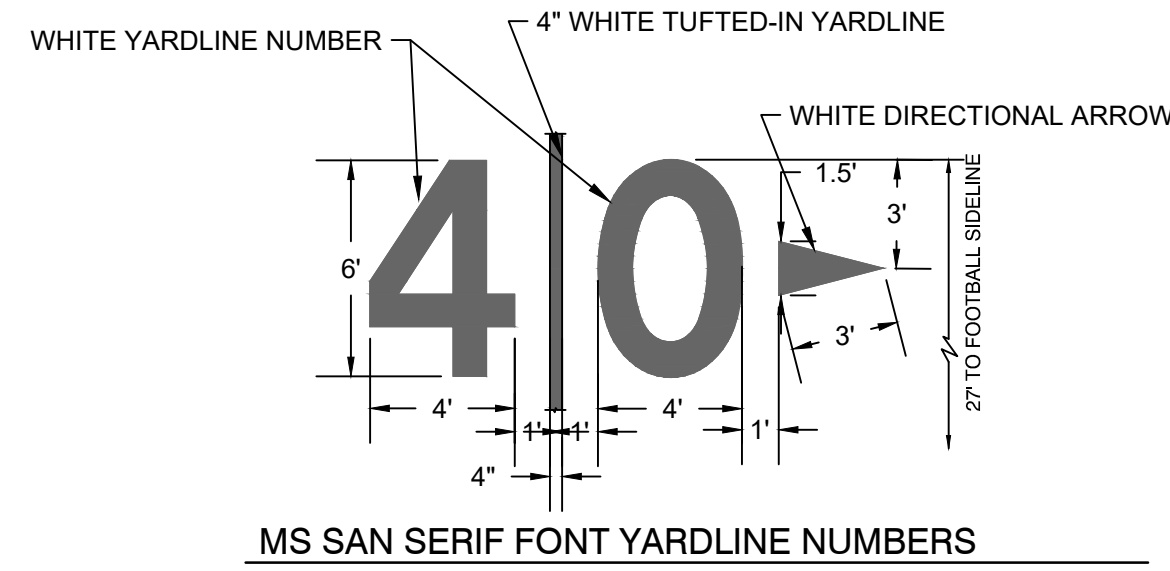
DRAWN BY: JR
CHECKED BY: AE

DATE ISSUED: 03/22/2021
SCALE:

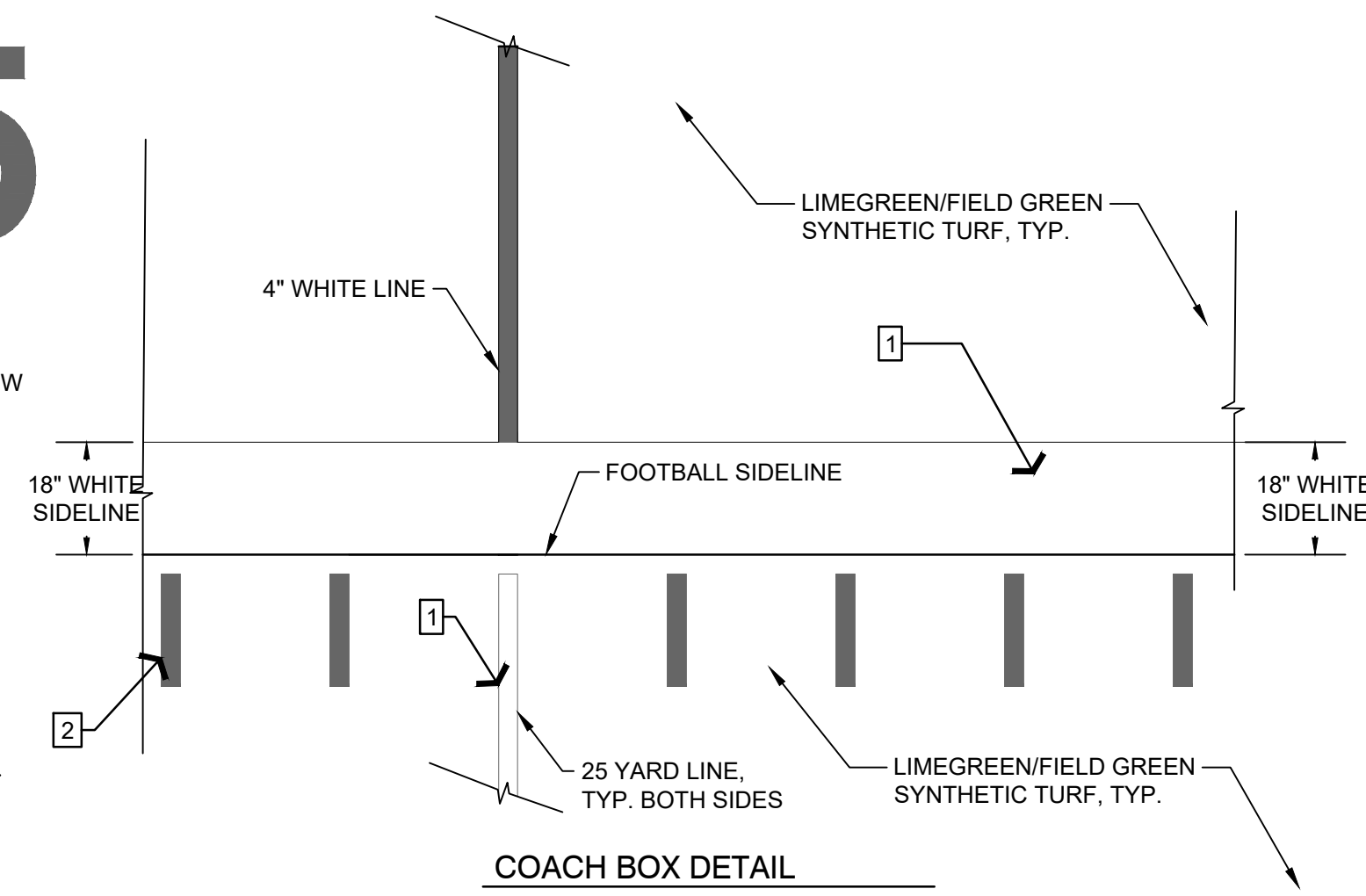
PROJ. NO. A1037

SHEET NO. L3.13
LANDSCAPE ATHLETIC DETAILS

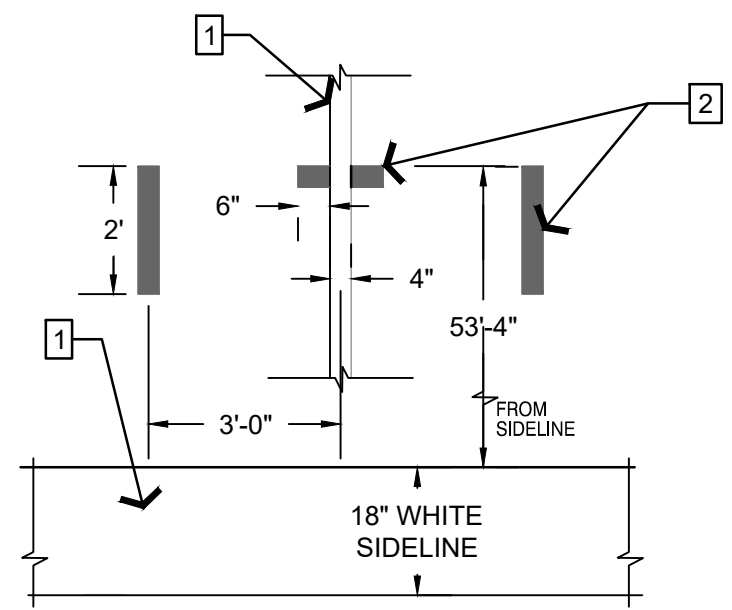
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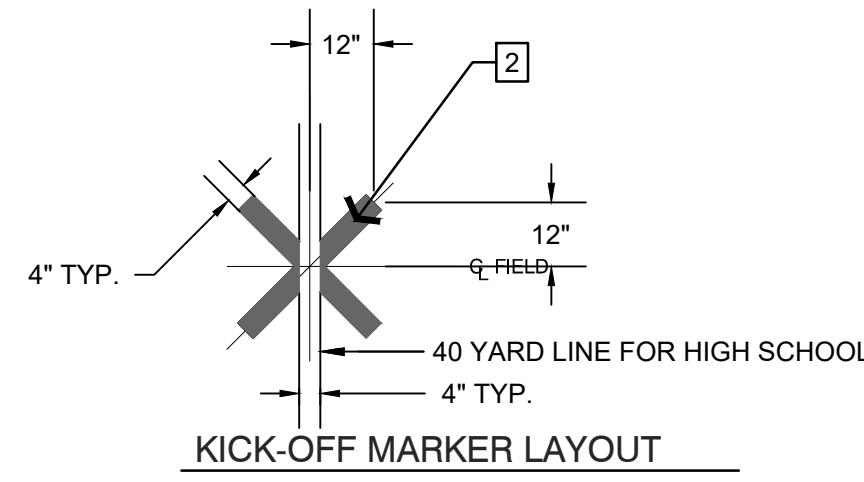
MS SAN SERIF FONT YARDLINE NUMBERS



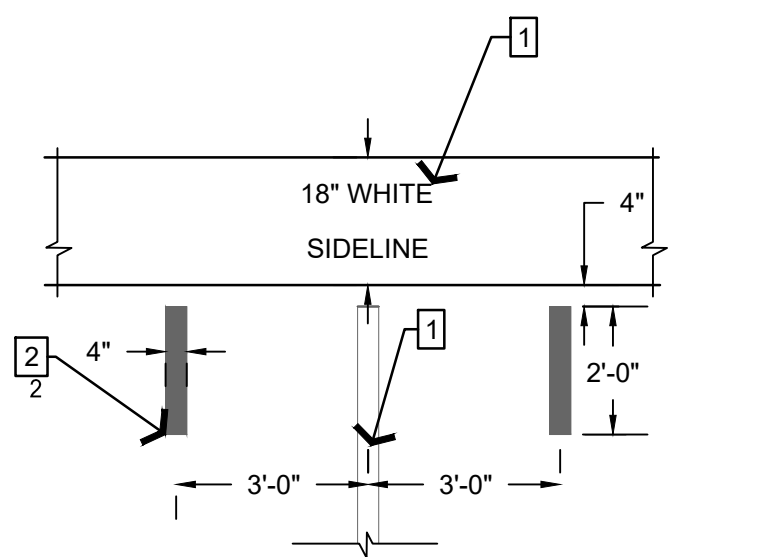
COACH BOX DETAIL



INBOUNDS LINES LAYOUT



KICK-OFF MARKER LAYOUT



SIDE LINE / CHAIN MARKER LAYOUT

FOOTBALL AND SOCCER LAYOUT NOTES:

- SIDELINES, YARDLINES, PERIMETER BORDER ARE TUFTED-IN WHITE LINES (FOOTBALL), TUFTED-IN GREEN END ZONE AREA, YELLOW LINES (SOCCER) SIDE LINES, MIDFIELD LINE AND GOAL BOX SHALL BE TUFTED AS PER DETAILS. 9" DIAMETER YELLOW INLAID SPOT AT SOCCER MIDFIELD, TWO PENALTY KICK SPOTS AND FOUR CORNER KICK RADII SHALL BE INLAID. SEE LAYOUT CONTRACTOR TO SUBMIT COLOR SAMPLES.
- YARDLINE NUMBERS, DIRECTIONAL ARROWS INBOUNDS LINES, SHORT YARD MARKERS, KICK-OFF AND EXTRA POINT MARKERS, OUTLINE AT PLAYER TEAM BOXES, ARE WHITE INLAID TURF. (FOOTBALL)
- FOLLOW SYNTHETIC TURF MANUFACTURER'S RECOMMENDATION FOR PAINTING OF MENS AND WOMENS LACROSSE AND FIELD HOCKEY.

1 TYPICAL SYNTHETIC TURF MARKING DETAILS

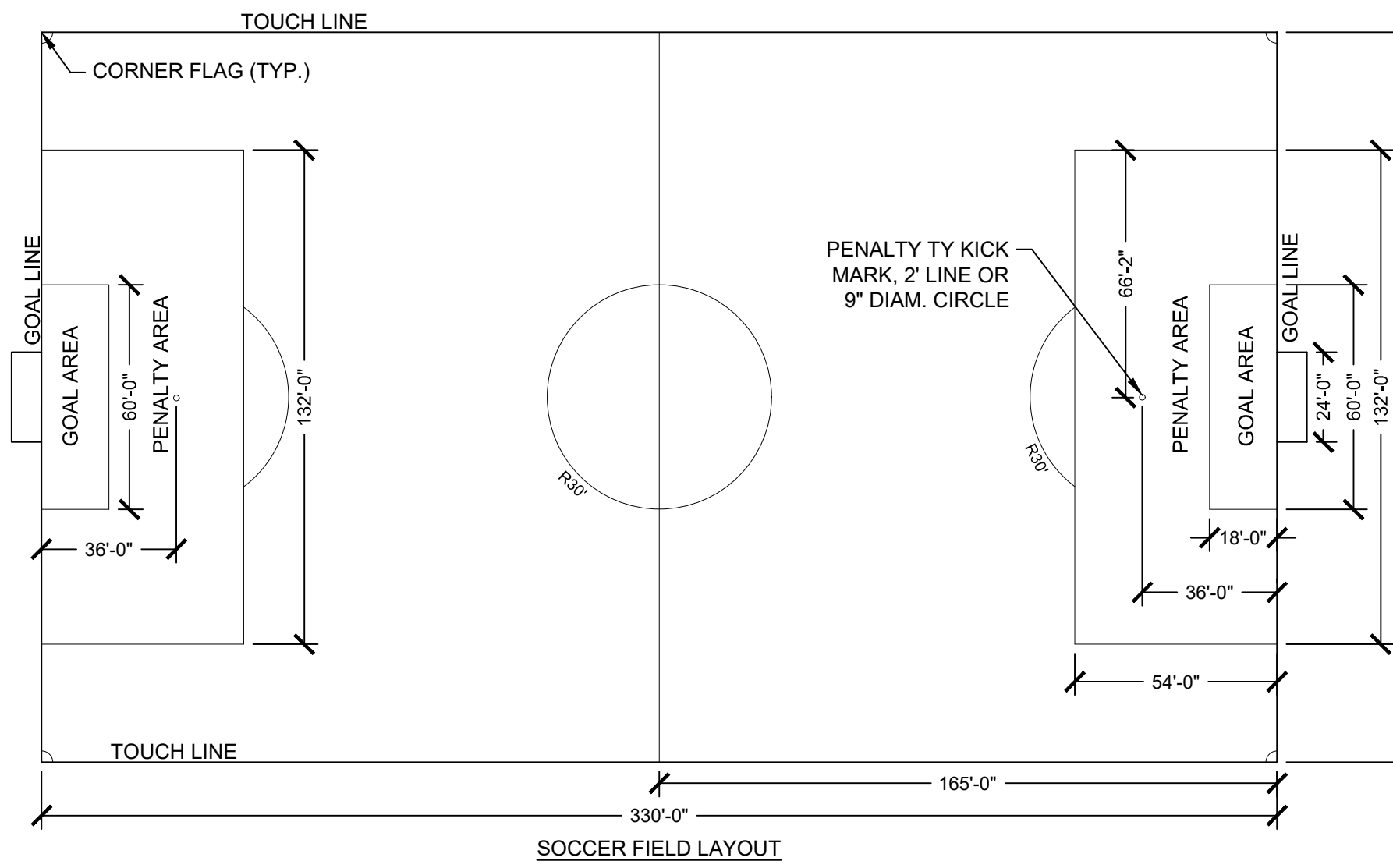
3/4" = 1'-0"

P-AT1-AFA-66

2 HIGH SCHOOL FOOTBALL FIELD LAYOUT

1" = 40'

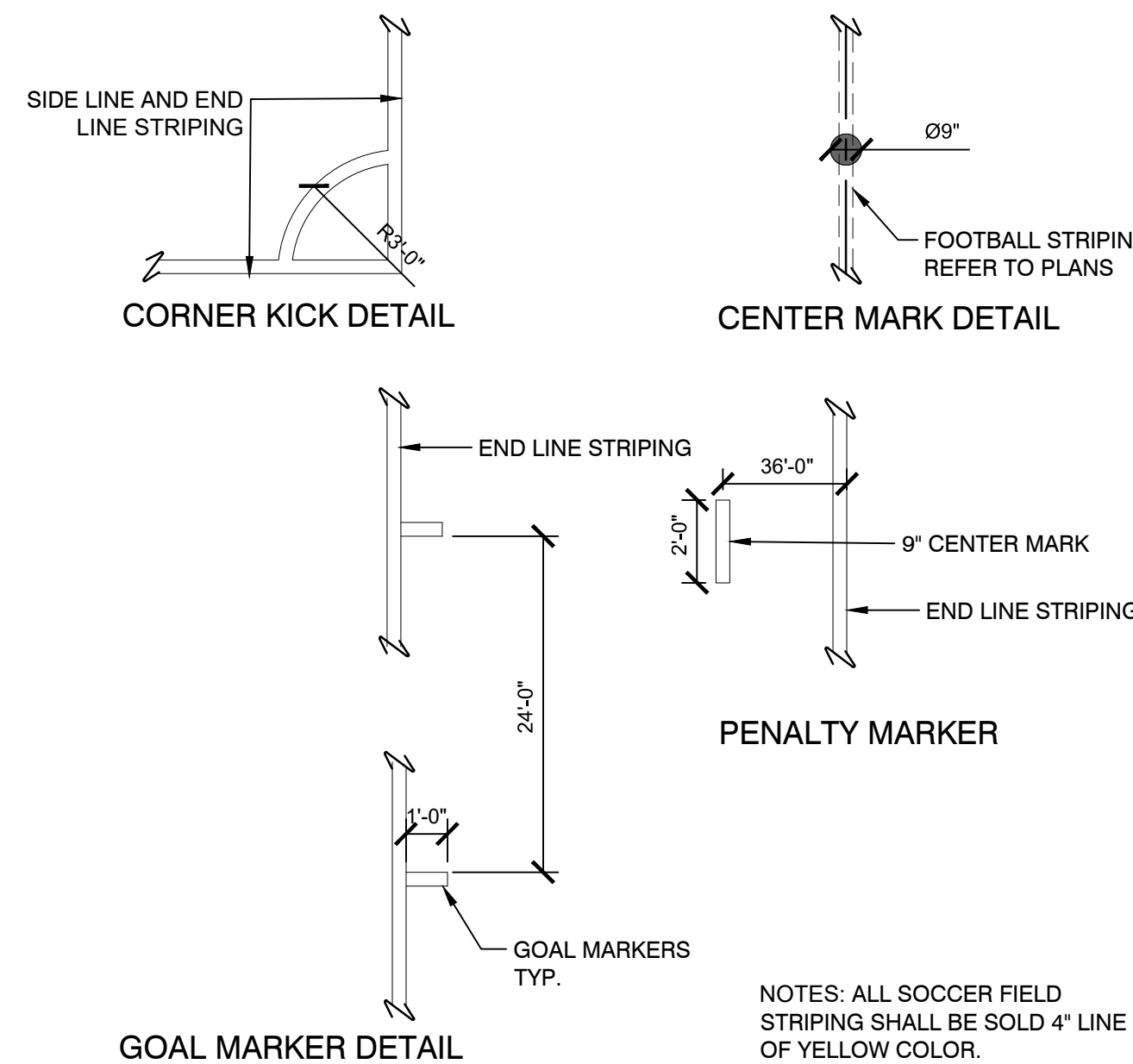
P-AT1-AFA-94



- NOTES:
1. REFER TO SYNTHETIC TURF SPECIFICATION FOR FIELD LINE INFORMATION

3 SOCCER FIELD LAYOUT

1" = 40'



4 GOAL MARKER DETAIL

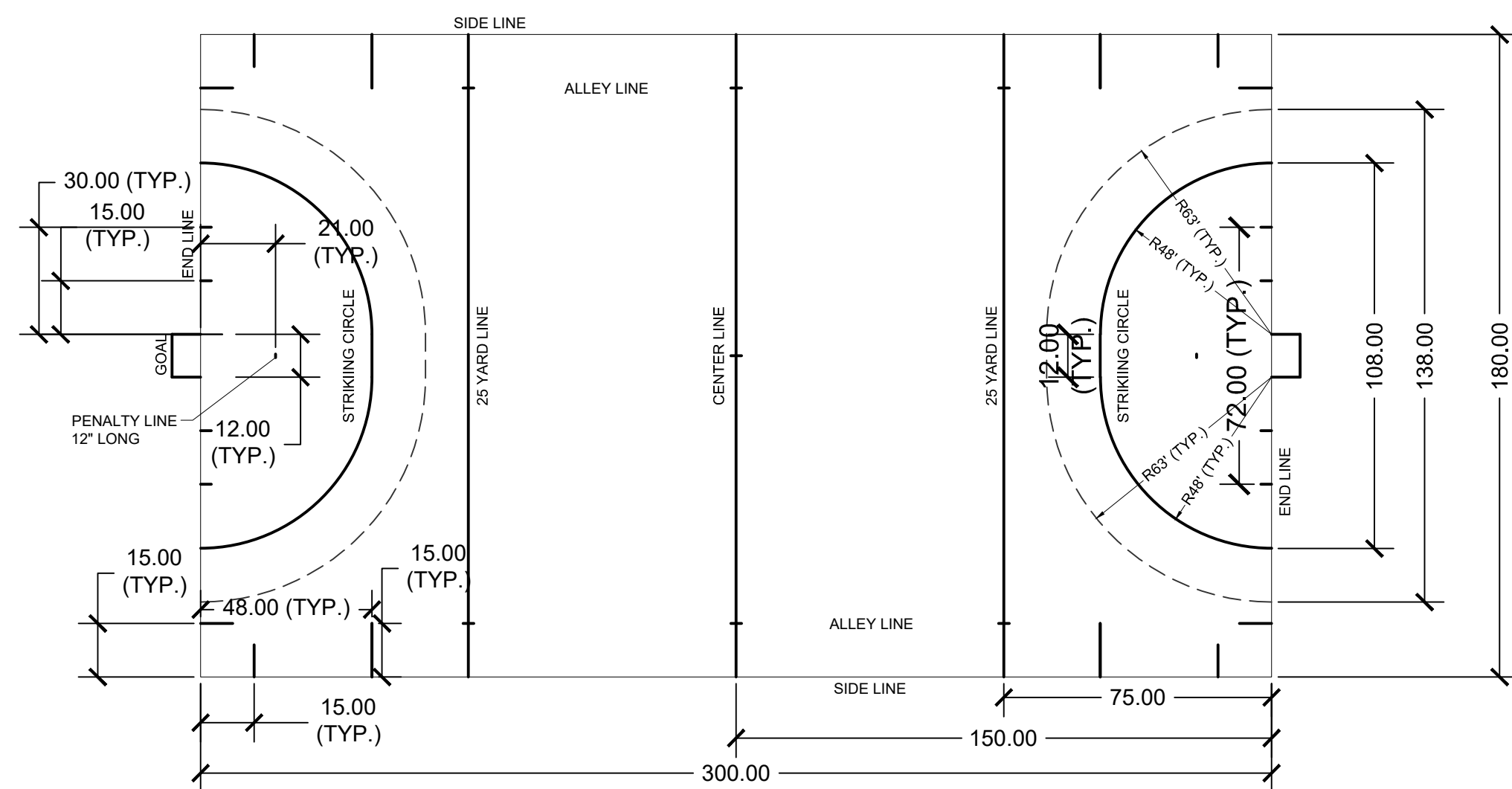
1/4" = 1'-0"

- NOTES: ALL SOCCER FIELD STRIPING SHALL BE SOLD 4" LINE OF YELLOW COLOR.

5 FIELD HOCKEY LAYOUT

1" = 40'

P-AT1-AFA-00



STAMP

CONSULTANT

SHEET TITLE
LANDSCAPE ATHLETIC DETAILS

PROJECT NAME
**FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF**

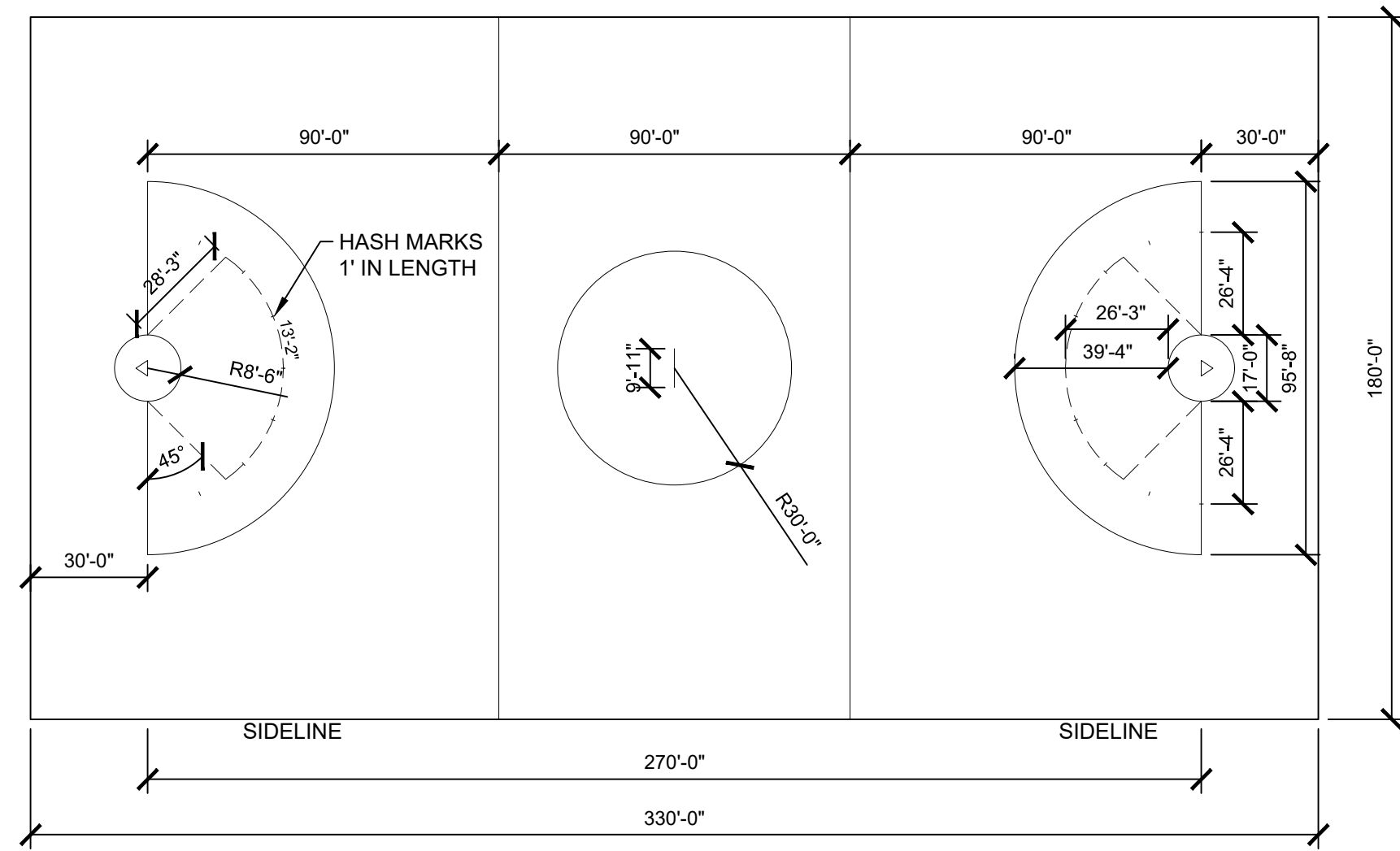
PROJECT ADDRESS
12 HUTTLESTONE AVE
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05

NO.	REVISIONS	DATE

DRAWN BY: JR	CHECKED BY: AE
DATE ISSUED: 03/22/2021	SCALE:
PROJ. NO. A1037	
SHEET NO. L3.14	

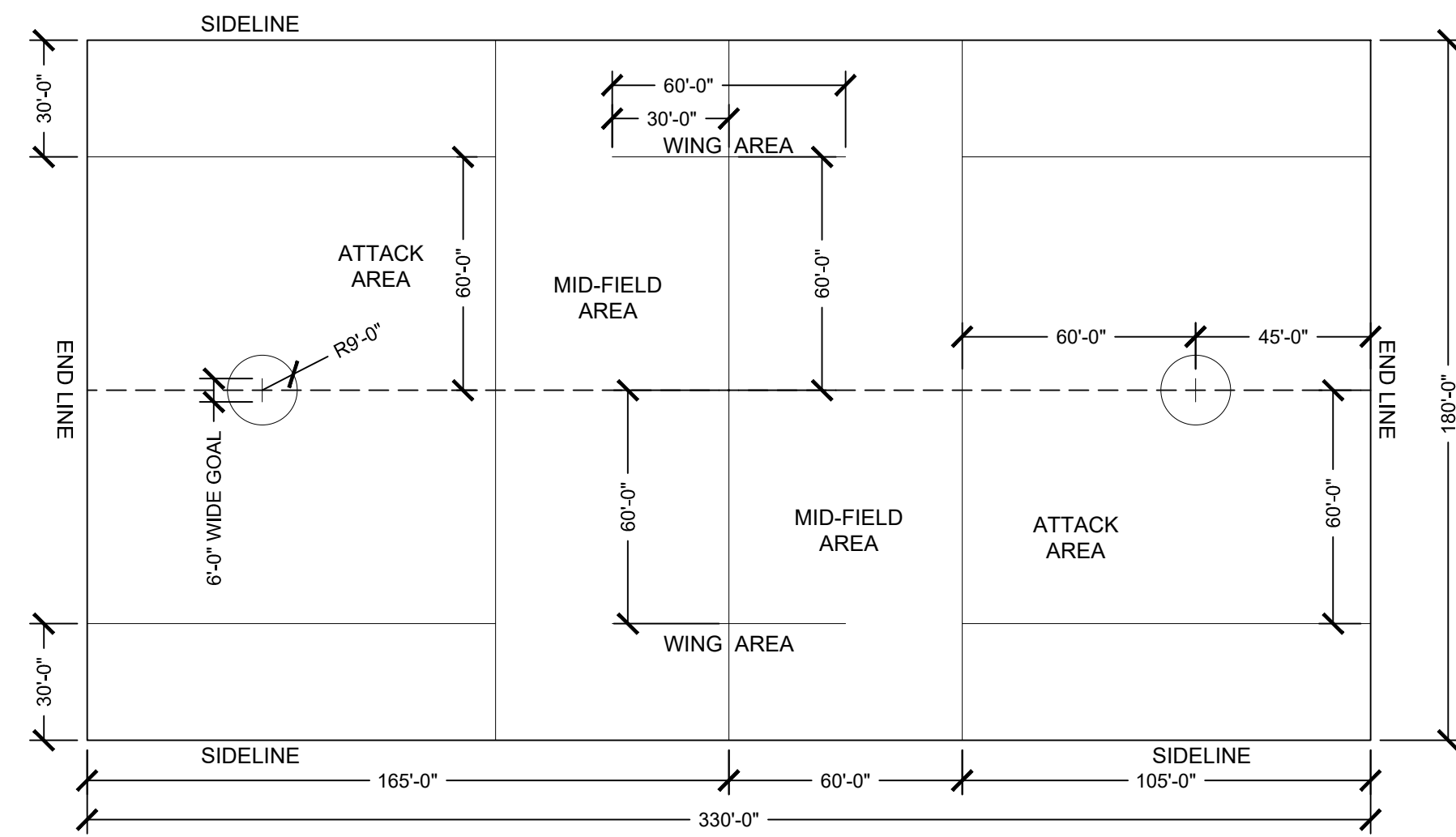
FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF



WOMEN'S LACROSSE FIELD LAYOUT

1 WOMEN'S LACROSSE FIELD LAYOUT

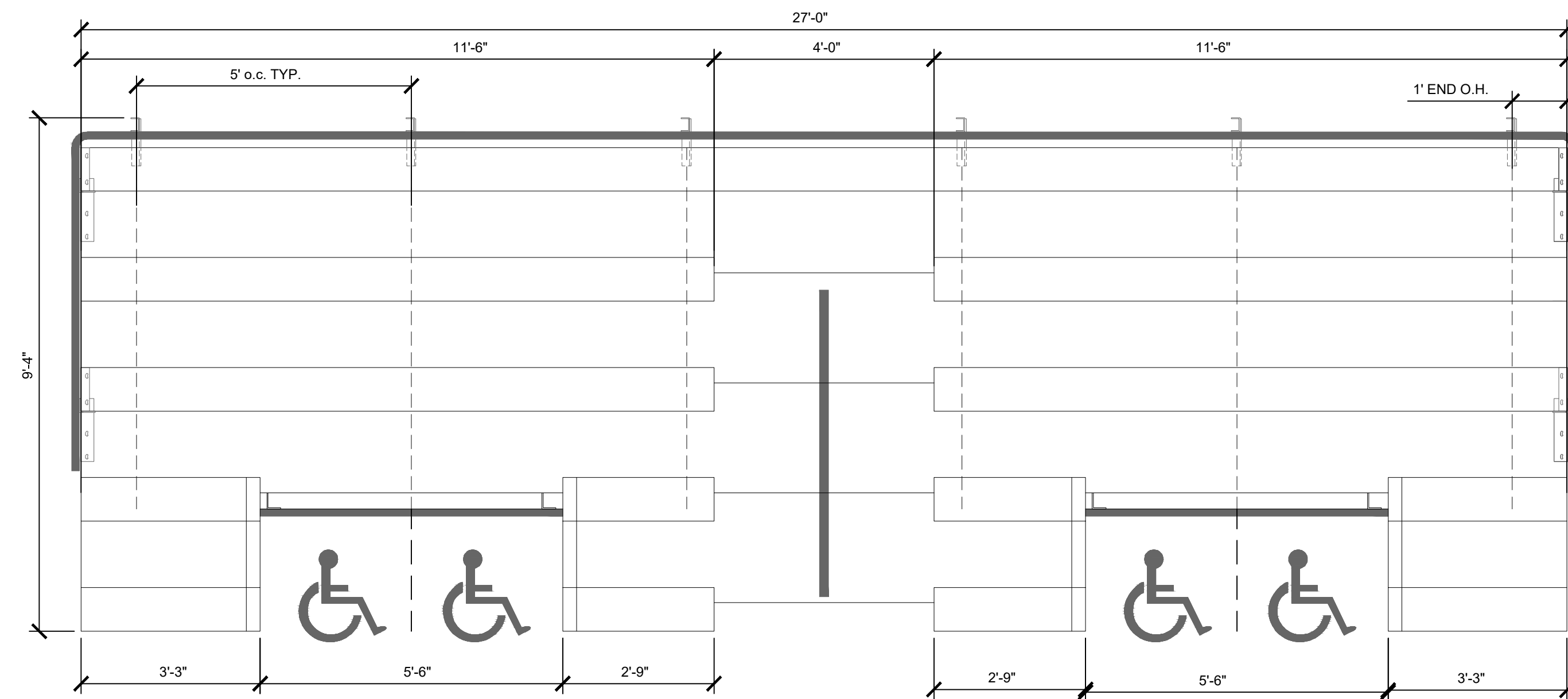
1" = 40'



MENS LACROSSE FIELD LAYOUT

2 MENS LACROSSE FIELD LAYOUT

1" = 40'



3 27' PORTABLE ADA BLEACHERS (62 PERSON SEAT COUNT)

1/2" = 1'-0"

STAMP

CONSULTANT

SHEET TITLE

LANDSCAPE ATHLETIC
DETAILS

PROJECT NAME

FAIRHAVEN HIGH
SCHOOL
ATHLETIC
FIELD-SYNTHETIC TURF

PROJECT ADDRESS

12 HUTTLESTONE AVE
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
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ISSUED FOR PERMITTING	2021/03/22

NO.	REVISIONS	DATE
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DRAWN BY: JR	CHECKED BY: AE
DATE ISSUED: 03/22/2021	SCALE:
PROJ. NO. A1037	
SHEET NO. L3.15	

STAMP

CONSULTANT

SHEET TITLE
ATHLETIC SUPPORT BUILDING DETAILS

PROJECT NAME
**FAIRHAVEN HIGH SCHOOL
ATHLETIC FIELD-SYNTHETIC TURF**

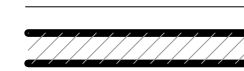
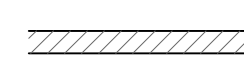

PROJECT ADDRESS
12 HUTTLESTONE AVE
FAIRHAVEN, MA 02719

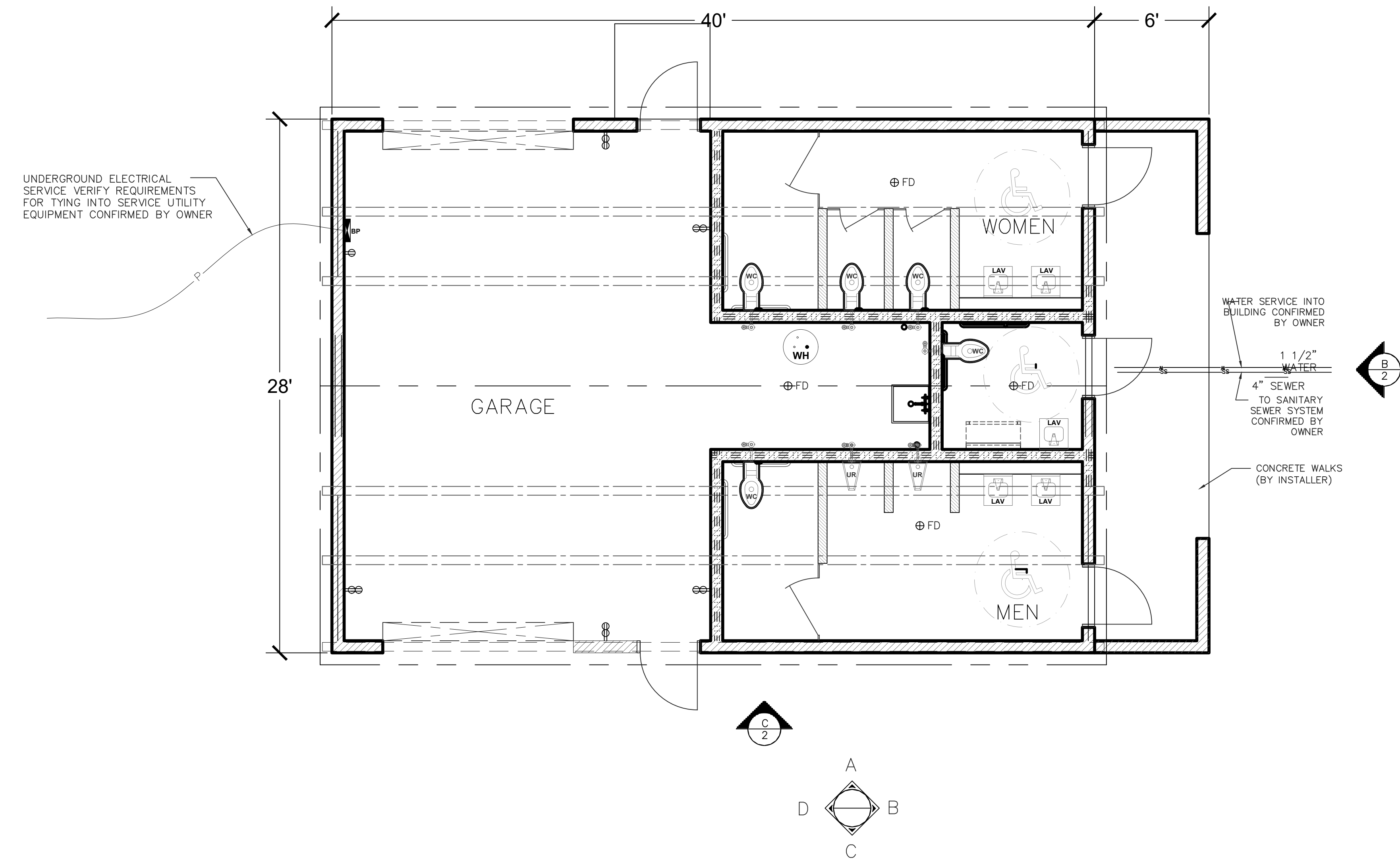
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SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05

NO.	REVISIONS	DATE

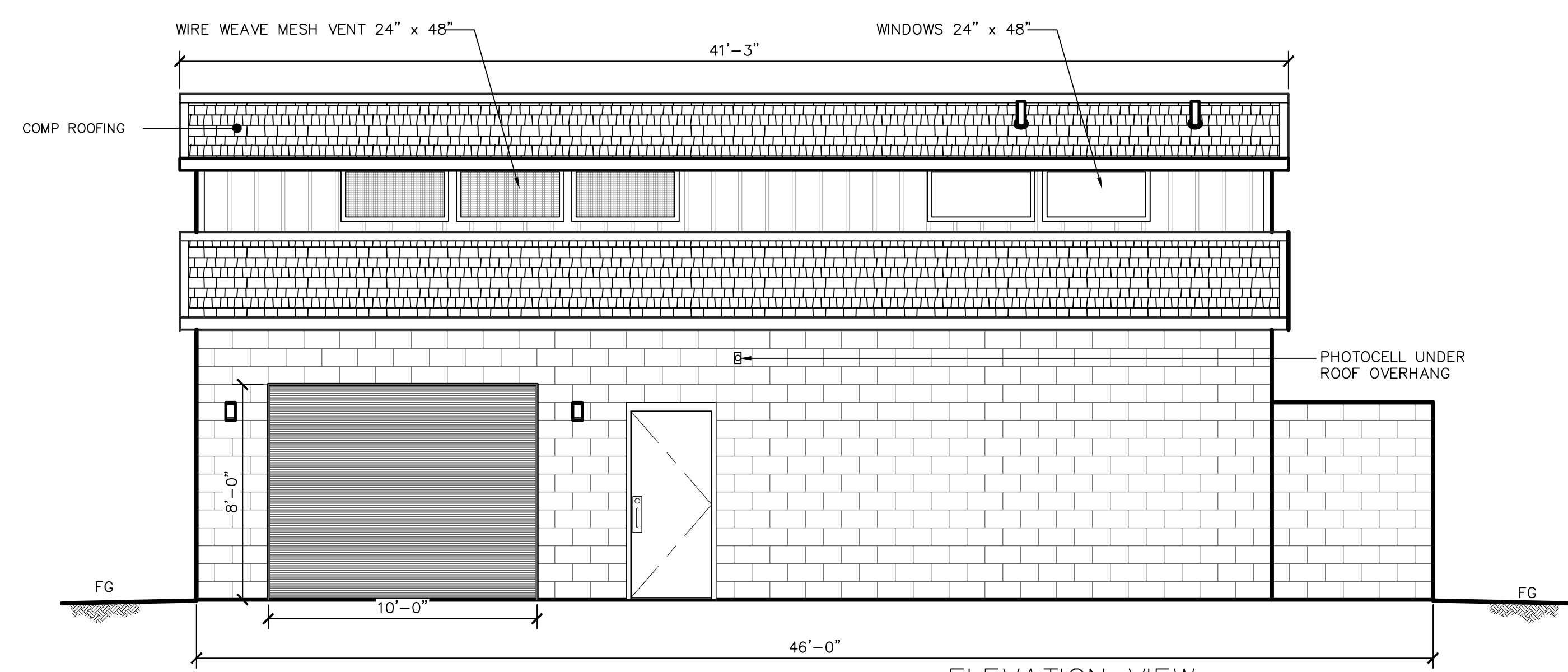
DRAWN BY: JR	CHECKED BY: AE
DATE ISSUED: 03/22/2021	SCALE:
PROJ. NO. A1037	
SHEET NO. L3.21	

WALL TYPE SCHEDULE

-  8" REINFORCED CONCRETE MASONRY BLOCK WALL WITH MORTAR JOINTS, GROUTED SOLID ALL CELLS RUNNING BOND PATTERN.
-  6" REINFORCED CONCRETE MASONRY BLOCK WALL WITH MORTAR JOINTS, GROUTED SOLID ALL CELLS RUNNING BOND PATTERN.
-  8" WOOD FRAMED WALL



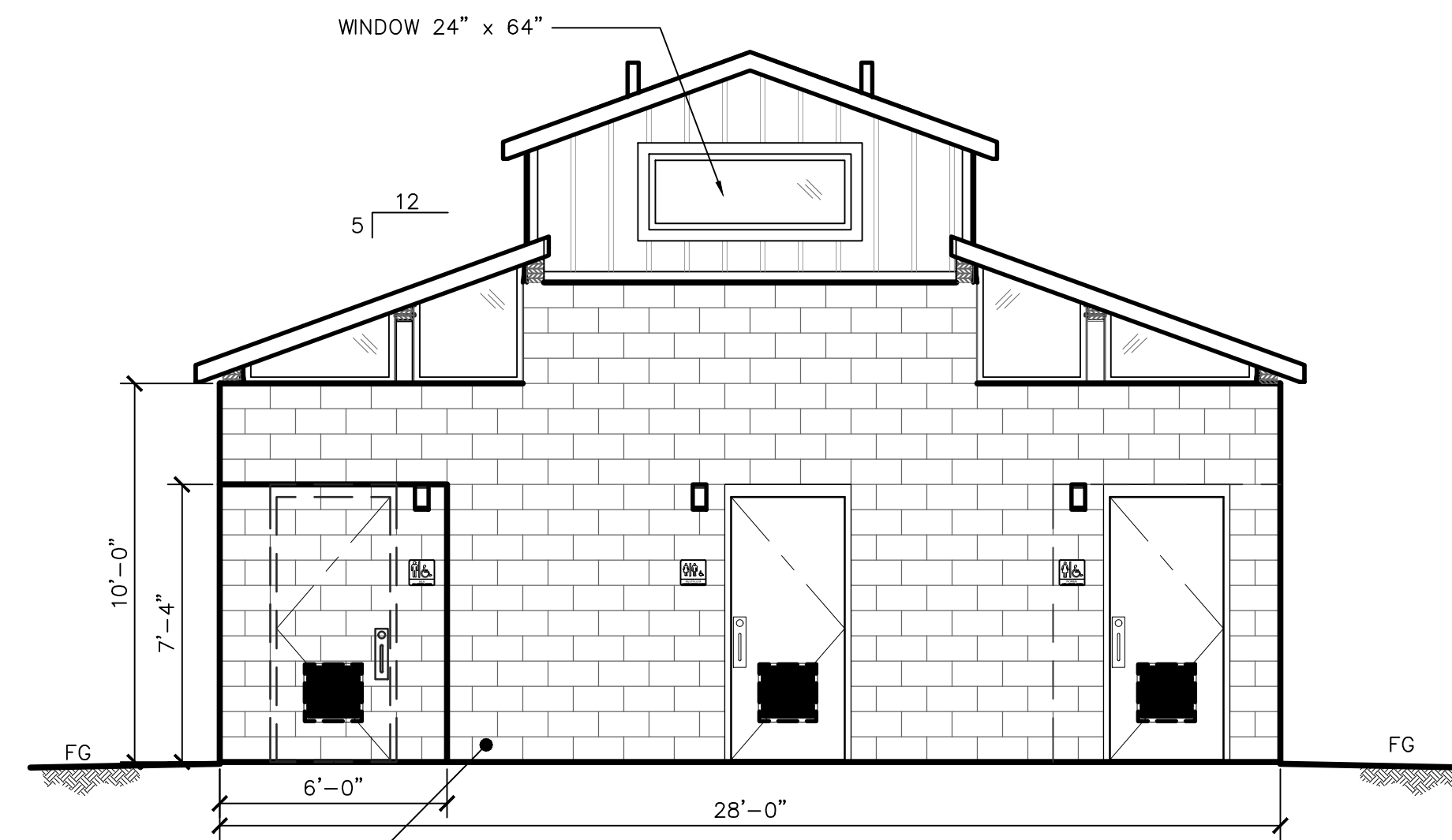
1 FLOOR PLAN- ROMTEC RESTROOM AND ATHLETIC SUPPORT BUILDING
1/4" = 1'-0"



C ELEVATION VIEW
SCALE: 1/4" = 1'-0"

2 C-ELEVATION VIEW ROMTEC RESTROOMS AND ATHLETIC SUPPORT BUILDING
1/4" = 1'-0"

FAIRHAVEN HS ATHLETIC FIELD- SYNTHETIC TURF



8" X 16" CMU CONCRETE
BLOCK WALL FULLY
REINFORCED RUNNING BOND
PATTERN.
GROUND FACE, ODD COURSES
SPLIT FACE, EVEN COURSES

B ELEVATION VIEW
SCALE: 1/4" = 1'-0"

1 B-ELEVATION VIEW ROMTEC RESTROOMS AND ATHLETIC SUPPORT BUILDING
1/4" = 1'-0"

TRAVERSE
landscape architects
150 Chestnut Street, 4th Floor Providence, RI 02903
68 Harrison Avenue, 6th Floor Boston, MA 02111

STAMP

CONSULTANT

SHEET TITLE

ATHLETIC SUPPORT
BUILDING DETAILS

PROJECT NAME

FAIRHAVEN HIGH
SCHOOL
ATHLETIC
FIELD-SYNTHETIC TURF

PROJECT ADDRESS

12 HUTTLESTONE AVE
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05

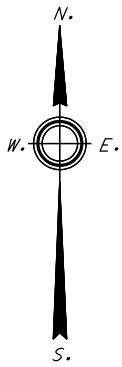
NO.	REVISIONS	DATE
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DRAWN BY: JR	CHECKED BY: AE
DATE ISSUED: 03/22/2021	SCALE:
PROJ. NO. A1037	
SHEET NO. L3.22	

ATHLETIC SUPPORT BUILDING DETAILS

FAIRHAVEN HS ATHLETIC FIELD-SYNTHETIC TURF PERMITTING - 03/22/2021

Owner:
 Matthew W. Gomes
 9 Taber Street
 Fairhaven, MA
 Deed Bk. 6296, Pg. 105
 Plan Book 11, Page 55
 Parcel ID: 15-026



I hereby certify that the lot corners,
 dimensions and setbacks to the existing
 structures on this plan are correct.



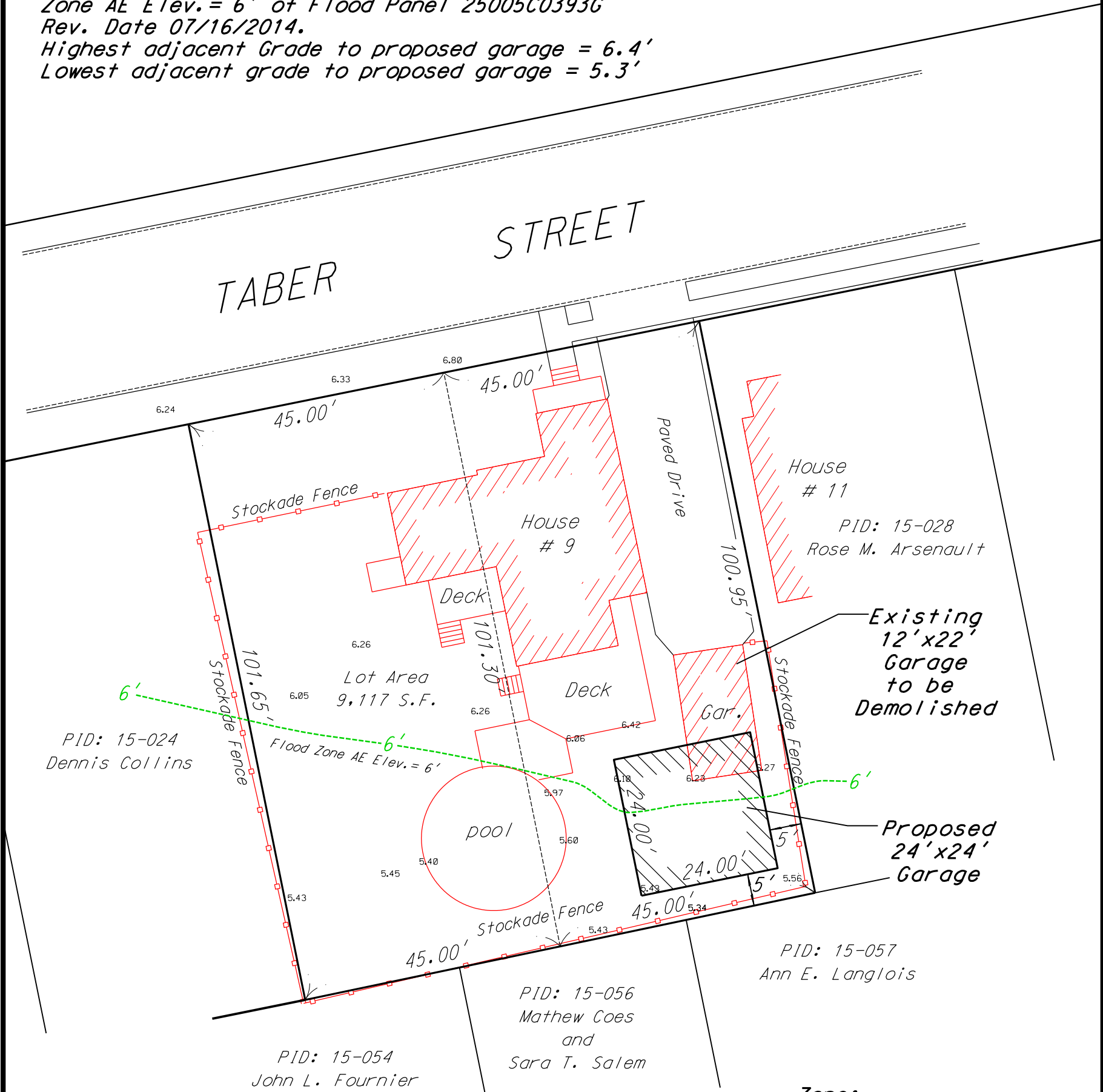
3/12/2021

Date

Professional Land Surveyor

NOTE:

Proposed Garage is located partially within
 Zone AE Elev. = 6' of Flood Panel 25005C0393G
 Rev. Date 07/16/2014.
 Highest adjacent Grade to proposed garage = 6.4'
 Lowest adjacent grade to proposed garage = 5.3'

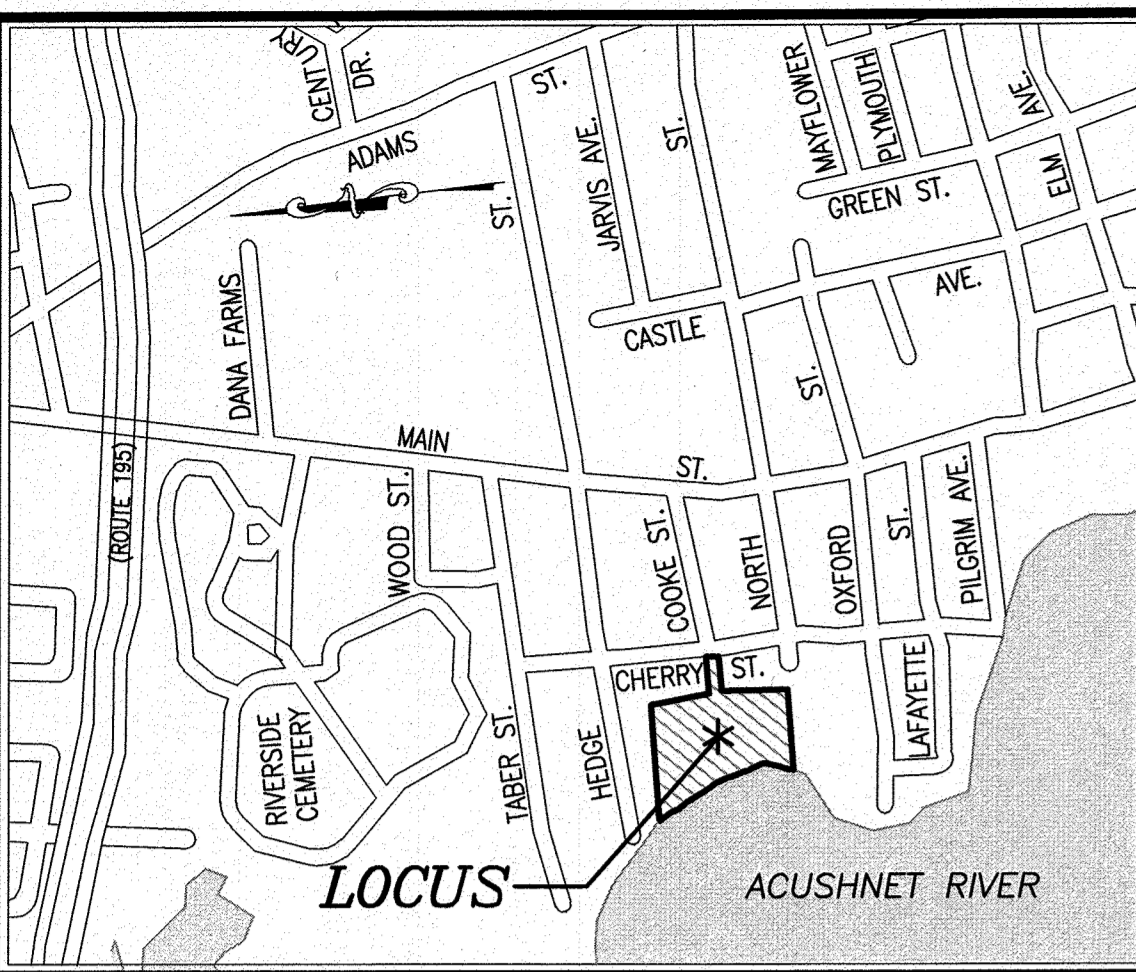


**SITE PLAN
 IN
 FAIRHAVEN, MASSACHUSETTS
 PREPARED FOR
 Matthew W. Gomes**

SCALE: 20 feet to an inch March 12, 2021
 American Land Surveys
 3 Sunset Lane
 Fairhaven, Massachusetts

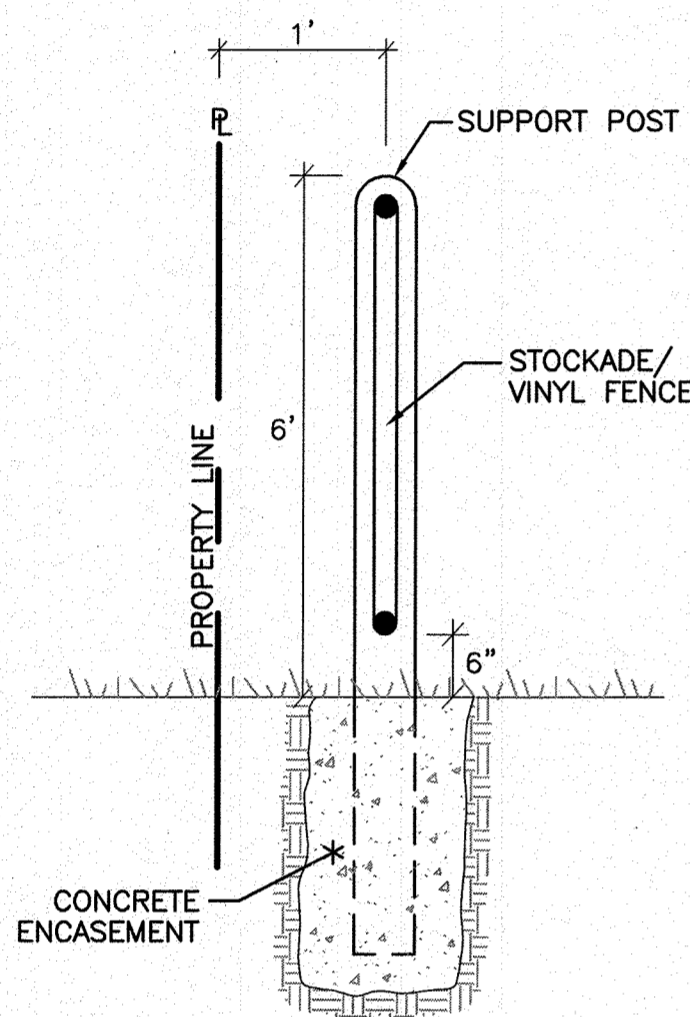
Zone:
 Single Residence
 District (RA)
Setbacks:
 Front 20'
 Side 10'
 Rear 30'
 Accessory
 Structure 5' setback





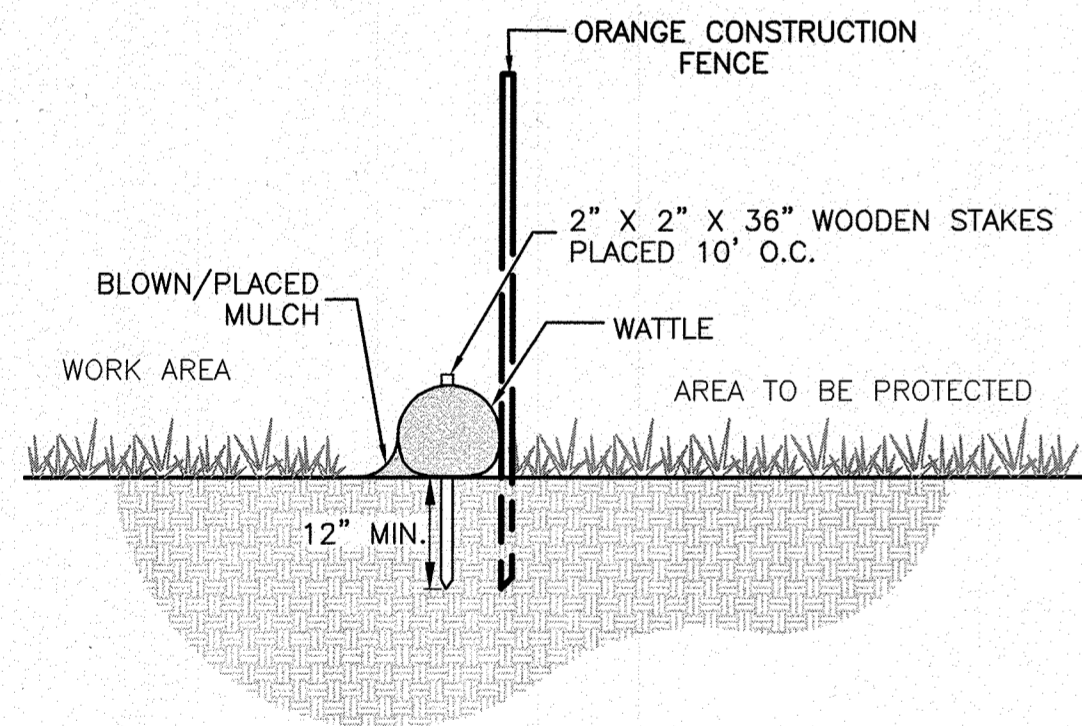
LOCUS MAP

SCALE: 1"=600'±



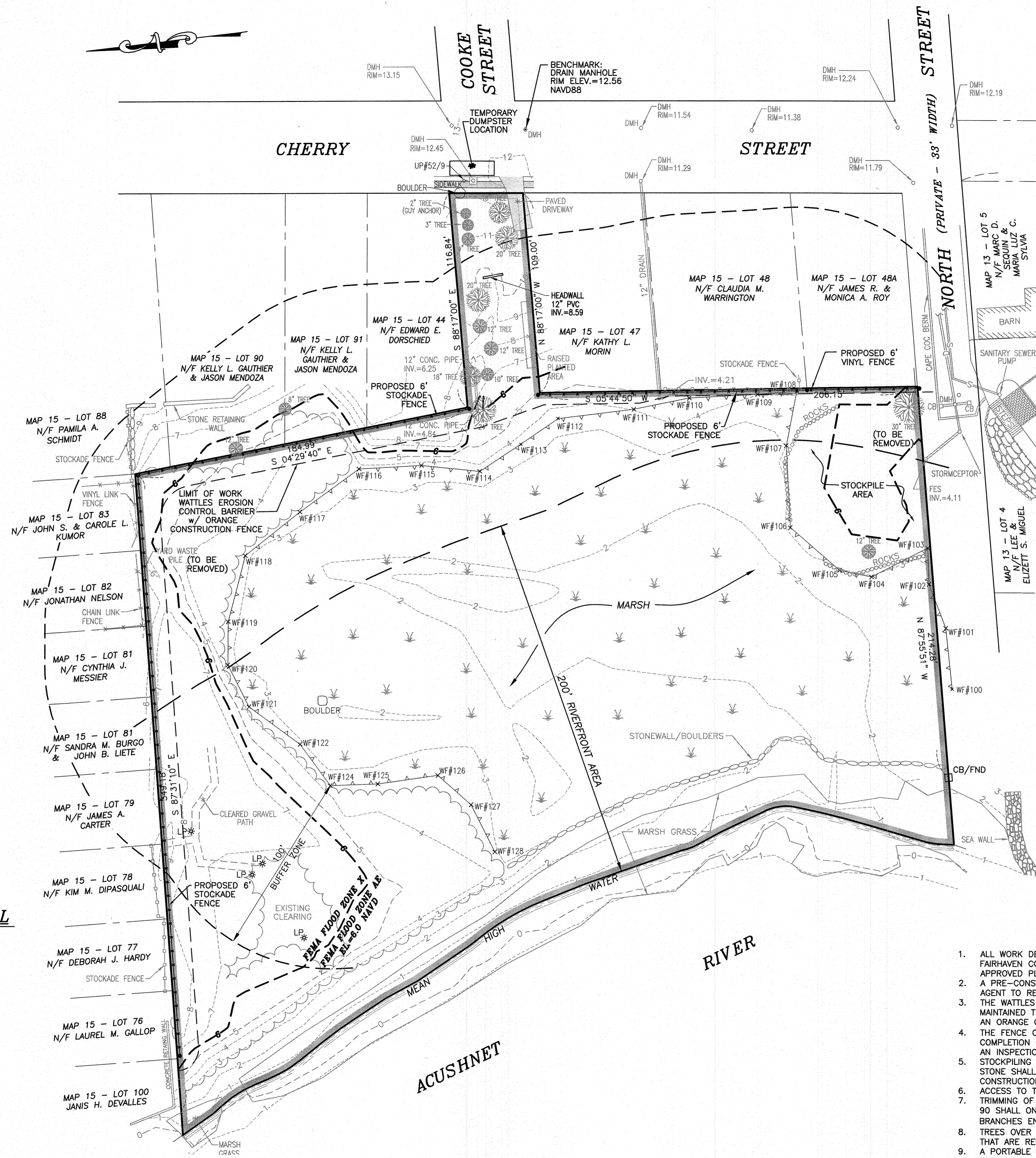
FENCE DETAIL

(NOT TO SCALE)



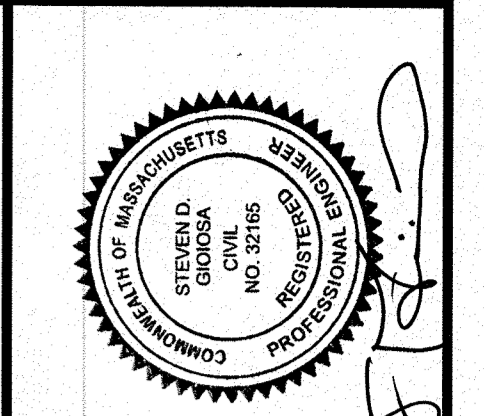
WATTLE EROSION CONTROL DETAIL

(NOT TO SCALE)



LEGEND

- PROPERTY LINE
- - - EXISTING CONTOUR
- STONEWALL
- SEWER LINE
- DRAINAGE LINE
- CB □ CATCH BASIN
- DMH ○ DRAIN MANHOLE
- SMH ○ SEWER MANHOLE
- UP ○ UTILITY POLE
- LP * LAMP POST
- CHAIN LINK FENCE
- STOCKADE FENCE
- TREE LINE/BRUSH LINE
- TREE
- WF#111 WF#112 EDGE OF BORDERING VEGETATED WETLANDS



No.	Date	Revision Description	Chgd. by	Appvd. by
1				
2	DECEMBER 28, 2020	ELIMINATE PORTION OF FENCE	SDG	SDG
3	FEBRUARY 26, 2021	ADD CONSTRUCTION NOTES	SDG	SDG
4	MARCH 15, 2021	MODIFY CONSTRUCTION NOTES	SDG	SDG

Project: ASSESSORS MAP 15, LOT 43
 North Street / Cherry Street
 Fairhaven, Massachusetts
 Client: LEE & ELIZETT MIGUEL
 Scale: 1"=30'
 Date: JULY 2, 2020
 Drawn: KJ
 Checked: SDG
 Approved: SDG
 Sheet 1 of 1
 Drawing number: SP-1

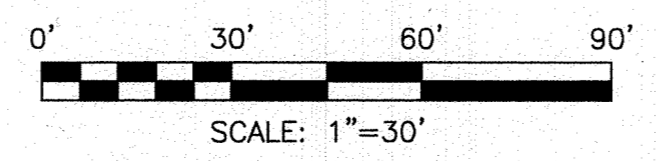
SITEC, Inc.
 448 Fauce Corner Road
 Fairhaven, MA 02719
 (508) 998-2123 ext. 447
 FAX (508) 998-7584
 WWW.SITEC-ENGINEERING.COM

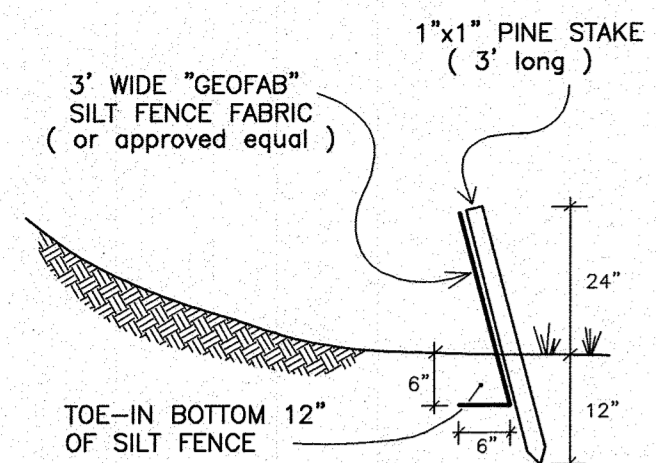
SITEC
 Civil and Environmental Engineering
 Land Use Planning

Acad No. FVN 18-7102 SP.DWG
 File No. 18-7102

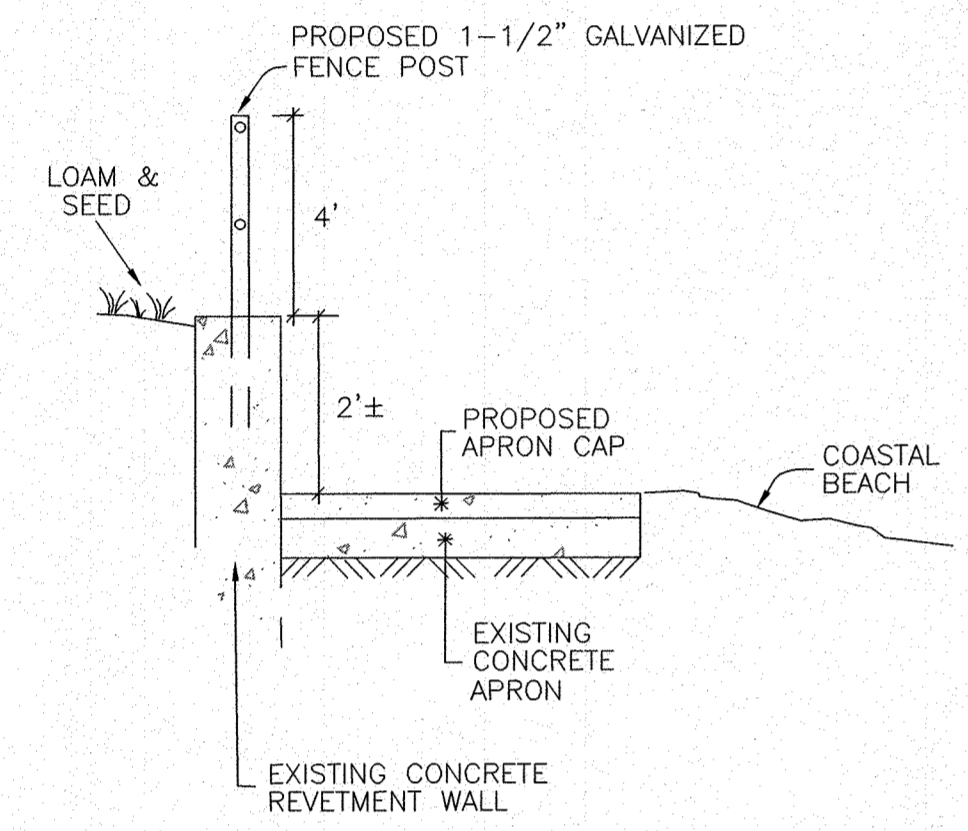
- CONSTRUCTION NOTES**
- ALL WORK DEPICTED ON THIS PLAN IS SUBJECT TO ALL ORDER OF CONDITIONS ISSUED BY THE FAIRHAVEN CONSERVATION COMMISSION. THE CONTRACTOR SHALL HAVE A COPY OF THE ORDER AND APPROVED PLAN ONSITE AT ALL TIME DURING THE CONSTRUCTION PROVIDED.
 - A PRE-CONSTRUCTION MEETING WILL BE SCHEDULED BY THE CONTRACTOR WITH THE CONSERVATION AGENT TO REVIEW THE REQUIREMENTS OUTLINED IN THE ORDER OF CONDITIONS.
 - THE WATTLES FOR EROSION CONTROL SHALL BE SET PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL ALL DISTURBED AREAS ARE STABILIZED. AN ORANGE CONSTRUCTION FENCE SHALL BE INSTALLED BEHIND THE WATTLES.
 - THE FENCE CONTRACTOR SHALL MARK ANY TREES OVER 4" DIAMETER PRIOR TO CLEARING. UPON COMPLETION OF MARKING THE CONTRACTOR SHALL NOTIFY THE CONSERVATION OFFICE TO SCHEDULE AN INSPECTION.
 - STOCKPILING OF MATERIALS SHALL BE LIMITED TO THE DESIGNATED UPLAND AREA. CLEAN CRUSHED STONE SHALL BE RE-SPREAD OVER THE STOCKPILE AREA AT THE CONCLUSION OF THE CONSTRUCTION.
 - ACCESS TO THE SITE SHALL BE THROUGH THE CHERRY STREET FRONTAGE.
 - TRIMMING OF BRANCHES, AS NEEDED, FROM THE TREE LOCATED ON THE BOUNDARY AT MAP 15-LOT 90 SHALL ONLY BE COMPLETED BY A QUALIFIED ARBORIST. TRIMMING SHALL BE LIMITED TO BRANCHES ENCRANCHING ON APPLICANT'S PROPERTY TO THE EXTENT NEEDED TO INSTALL THE FENCE.
 - TREES OVER 4" IN DIAMETER SHALL NOT BE REMOVED UNLESS DIRECTLY ON FENCE LINE. ANY TREES THAT ARE REMOVED SHALL BE REPLACED WITH LEYLAND CYPRESS OR APPROVED EQUAL.
 - A PORTABLE CHIPPER SHALL BE USED TO CREATE MULCH FROM MATERIAL CUT IN THE WORK ZONE.
 - EQUIPMENT USED TO COMPLETE THE FENCE INSTALLATION SHALL BE LIMITED TO HAND TOOLS AND HAND AUGER. THE FENCE ALONG THE WEST LINE OF LOTS 47, 48, 48A, AS SHOWN, SHALL BE INSTALLED USING HAND TOOLS AND HAND AUGER ONLY.
 - EXCESS SOILS SHALL BE SPREAD NEAR THE FENCE POSTS, AND THE AREA SEEDED FOR STABILIZATION. IF REQUIRED, THE SOILS WILL BE AMENDED WITH ORGANIC TOPSOIL TO FACILITATE GRASS GROWTH.
 - IF REQUIRED, A LINED CONCRETE WASHOUT PIT SHALL BE SET IN THE STOCKPILE AREA WITH SILT FENCING SET ALONG THE DOWNGRADIENT PERIMETER OF THE PIT.

OWNER/APPLICANT:
 LEE & ELIZETT S. MIGUEL
 3 NORTH STREET
 FAIRHAVEN, MA 02719

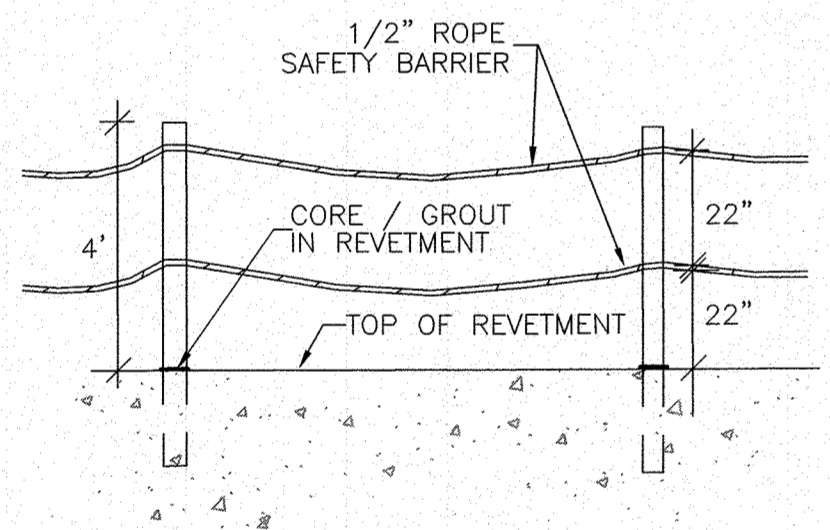




SILT / EROSION CONTROL FENCING
NOT TO SCALE

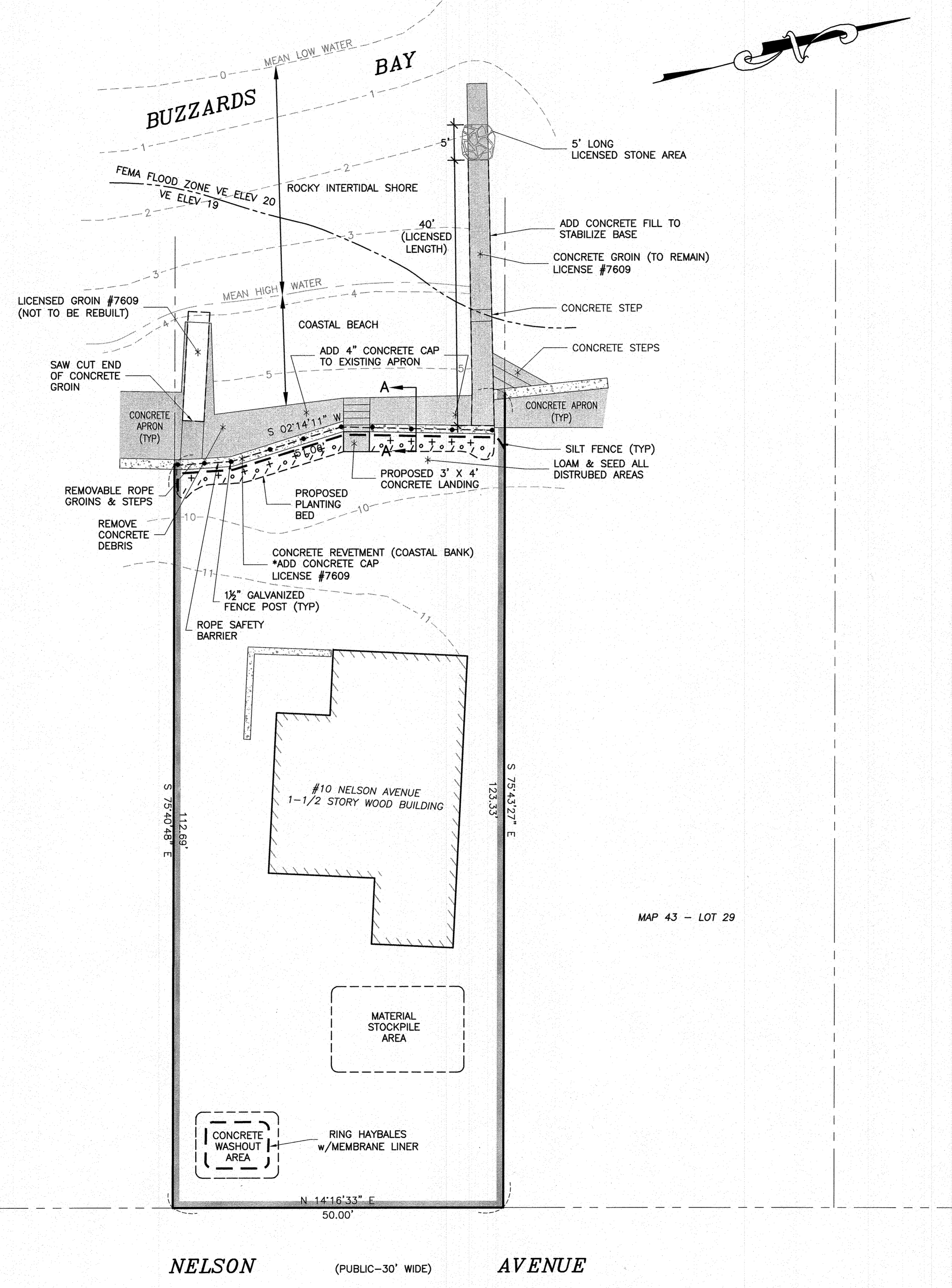


SECTION A-A
(NOT TO SCALE)



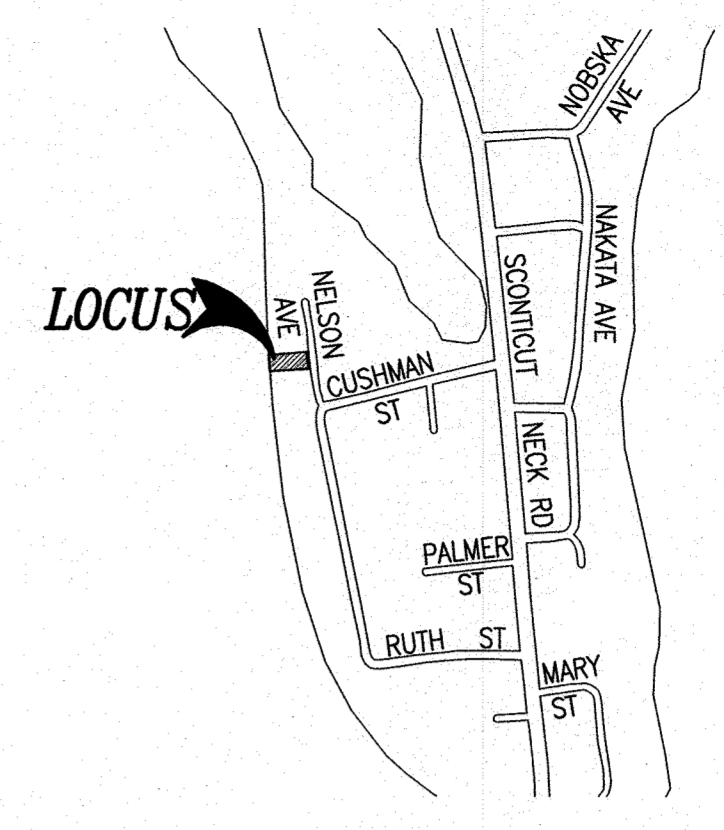
ROPE SAFETY BARRIER
(NOT TO SCALE)

PLANT LIST		
SYMBOL	QUANTITY	NAME
+	11	'EURYBIA SPECTABILIS' Eastern Showy Aster
°	12	'HEMEROCALLIS SPP.' Daylily Stelladora
/	18	'COREOPSIS ROSEA' Pink Tickseed

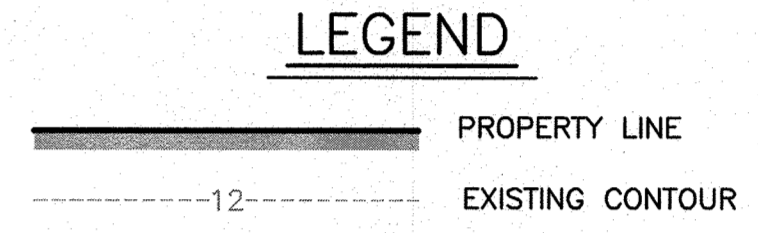


MAP 43 - LOT 29

NELSON AVENUE (PUBLIC-30' WIDE)

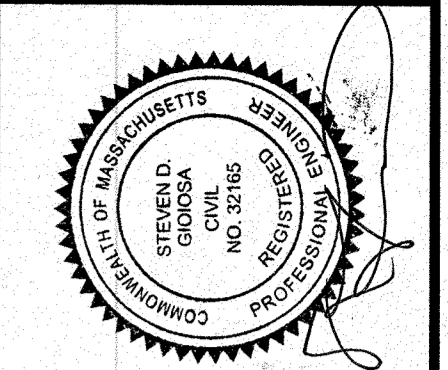


LOCUS MAP
SCALE: 1"=600'±



CONSTRUCTION NOTES

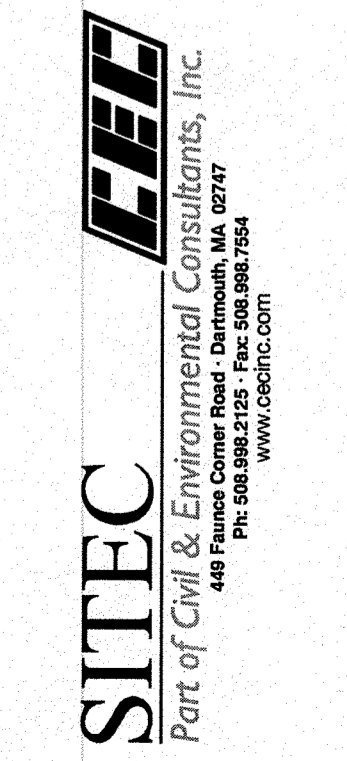
- ALL WORK DEPICTED ON THIS PLAN IS SUBJECT TO ALL ORDER OF CONDITIONS ISSUED BY THE FAIRHAVEN CONSERVATION COMMISSION. THE CONTRACTOR SHALL HAVE A COPY OF THE ORDER AND APPROVED PLAN ONSITE AT ALL TIME DURING THE CONSTRUCTION PROVIDED.
- A PRE-CONSTRUCTION MEETING WILL BE SCHEDULED BY THE CONTRACTOR WITH THE CONSERVATION AGENT TO REVIEW THE REQUIREMENTS OUTLINED IN THE ORDER OF CONDITIONS.
- THE SILT FENCE FOR EROSION CONTROL SHALL BE SET PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- STOCKPILING OF MATERIALS SHALL BE LIMITED TO THE DESIGNATED UPLAND AREA.
- IF REQUIRED, A LINED CONCRETE WASHOUT PIT SHALL BE SET IN THE STOCKPILE AREA WITH SILT FENCING SET ALONG THE DOWNGRADIENT PERIMETER OF THE PIT.
- ALL DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED WITH LOAM AND SEEDING UPON COMPLETION OF CONSTRUCTION.
- THE USE OF HEAVY EQUIPMENT ON THE BEACH OR ROCKY INTERTIDAL SHORE IS PROHIBITED.



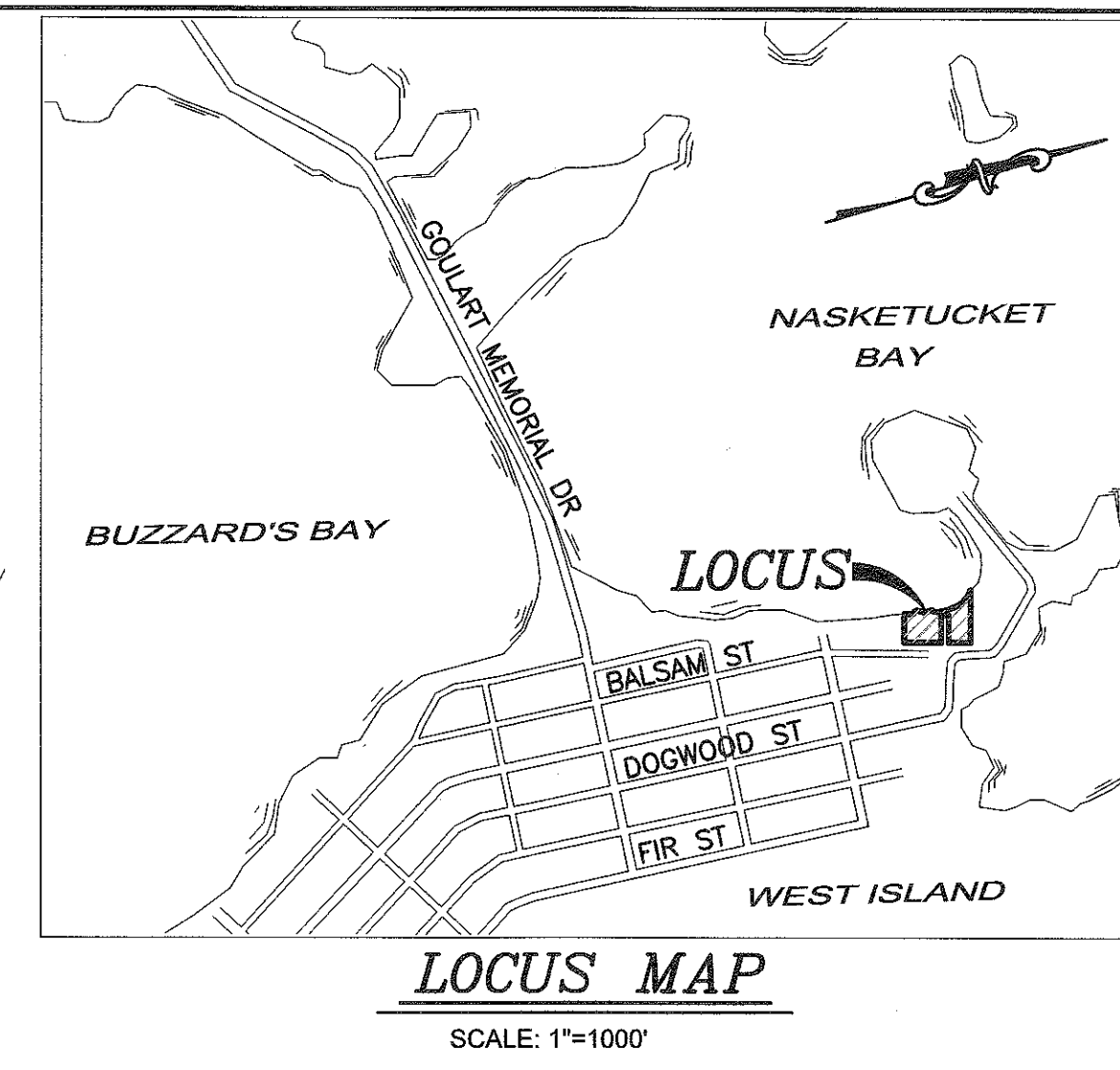
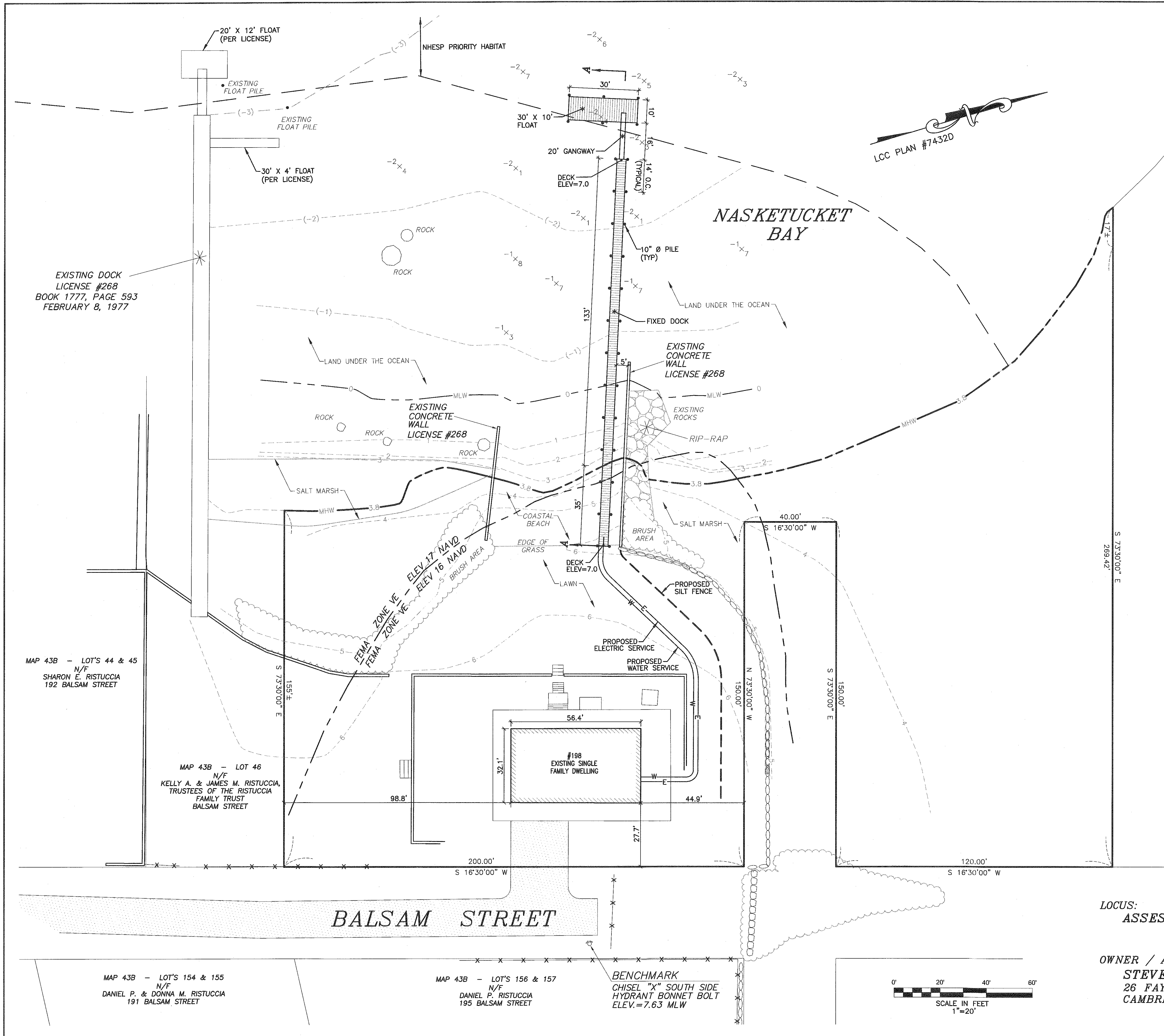
No.	Date	Revision Description
1	APR. 05, 2021	REVISED DESIGN/ADD PLANTINGS

scale: 1"=10'
date: FEBRUARY 11, 2021
drawn: BPL
checked: SDG
approved: SDG
sheet 1 of 1
drawing number: CSRP-1

project: ASSESSORS MAP 43 - LOT 30
10 NELSON AVENUE
FAIRHAVEN, MASSACHUSETTS
client: THE DELANO IRREVOCABLE TRUST
drawing title: COASTAL STRUCTURE REPAIR PLAN



OWNER/APPLICANT:
THE DELANO IRREVOCABLE TRUST
10 NELSON AVENUE
FAIRHAVEN, MA 02719



LEGEND

—	PROPERTY LINE
- - -	EXISTING CONTOUR
- - - MLW	MEAN LOW WATER
- - - MHW	MEAN HIGH WATER
⊖	STONEWALL
x x x x x	FENCE
149/70	EXISTING SPOT GRADE
BRUSH	BRUSH
W	PROPOSED WATER SERVICE
E	PROPOSED ELECTRIC SERVICE
- - -	PROPOSED SILT FENCE

MAP 43B - LOT 53
N/F
DONNA RISTUCCIA
BALSAM STREET

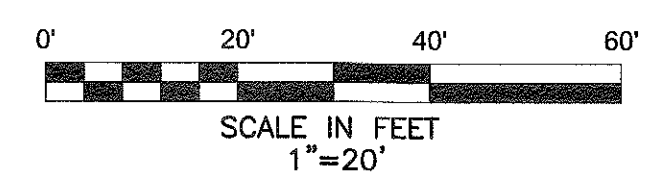
MAP 43B - LOT'S 44 & 45
N/F
SHARON E. RISTUCCIA
192 BALSAM STREET

MAP 43B - LOT 46
N/F
KELLY A. & JAMES M. RISTUCCIA,
TRUSTEES OF THE RISTUCCIA
FAMILY TRUST
BALSAM STREET

MAP 43B - LOT'S 154 & 155
N/F
DANIEL P. & DONNA M. RISTUCCIA
191 BALSAM STREET

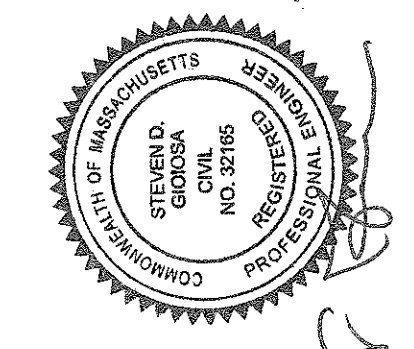
MAP 43B - LOT'S 156 & 157
N/F
DANIEL P. RISTUCCIA
195 BALSAM STREET

BENCHMARK
CHISEL "X" SOUTH SIDE
HYDRANT BONNET BOLT
ELEV.=7.63' MLW



LOCUS:
ASSESSORS MAP 43B, LOTS 47-52, 361

OWNER / APPLICANT:
STEVEN COHEN & MARY AKERSON
26 FAYETTE STREET
CAMBRIDGE, MA 02139

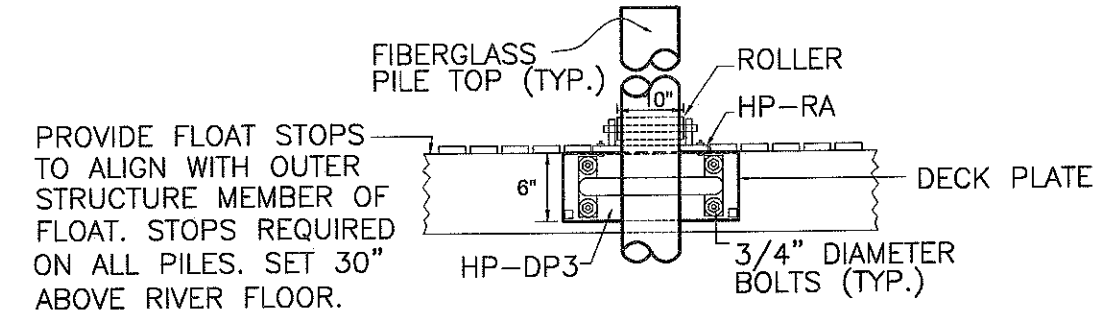
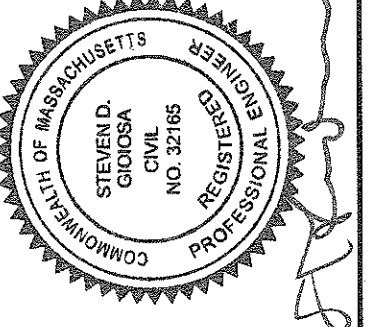


No.	Date	Revision Description

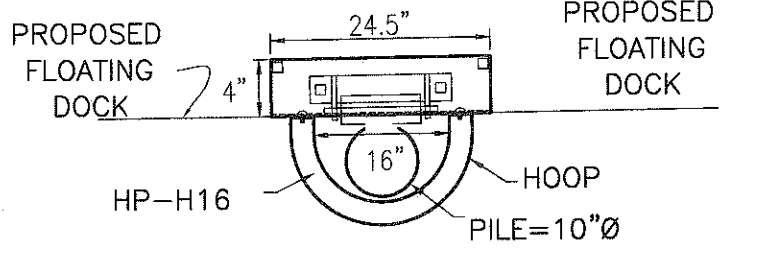
1"=20'
date: FEBRUARY 8, 2021
drawn: DWP
checked: SDG
approved: SDG
sheet 1 of 3
drawing name: DL-1

PROJECT: PROPOSED DOCK & FLOAT
198 BALSAM STREET
FAIRHAVEN, MASSACHUSETTS
CLIENT: STEVEN COHEN & MARY AKERSON
DRAWING TITLE: DOCK LAYOUT

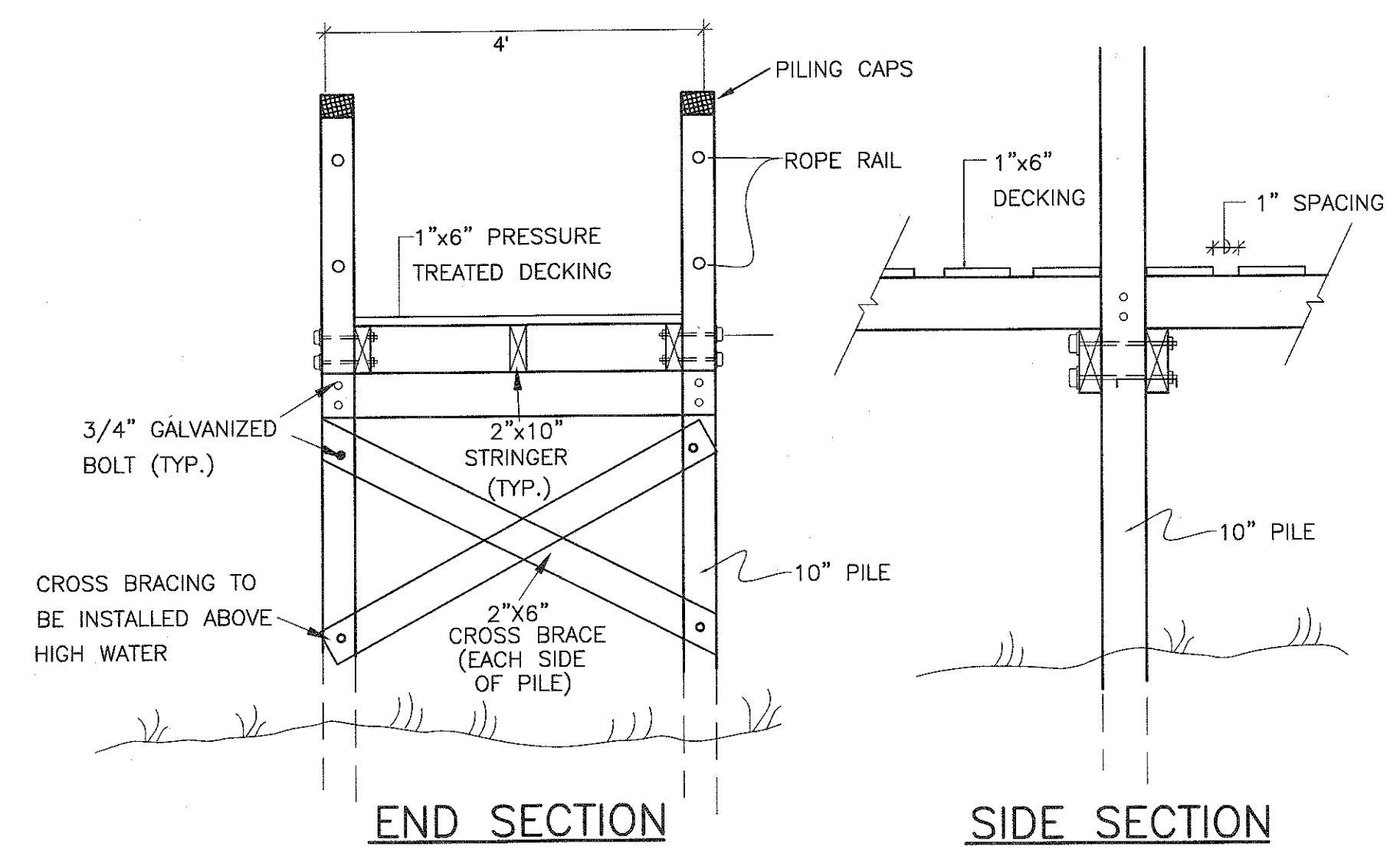




ELEVATION - PILE HOOP
NOT TO SCALE

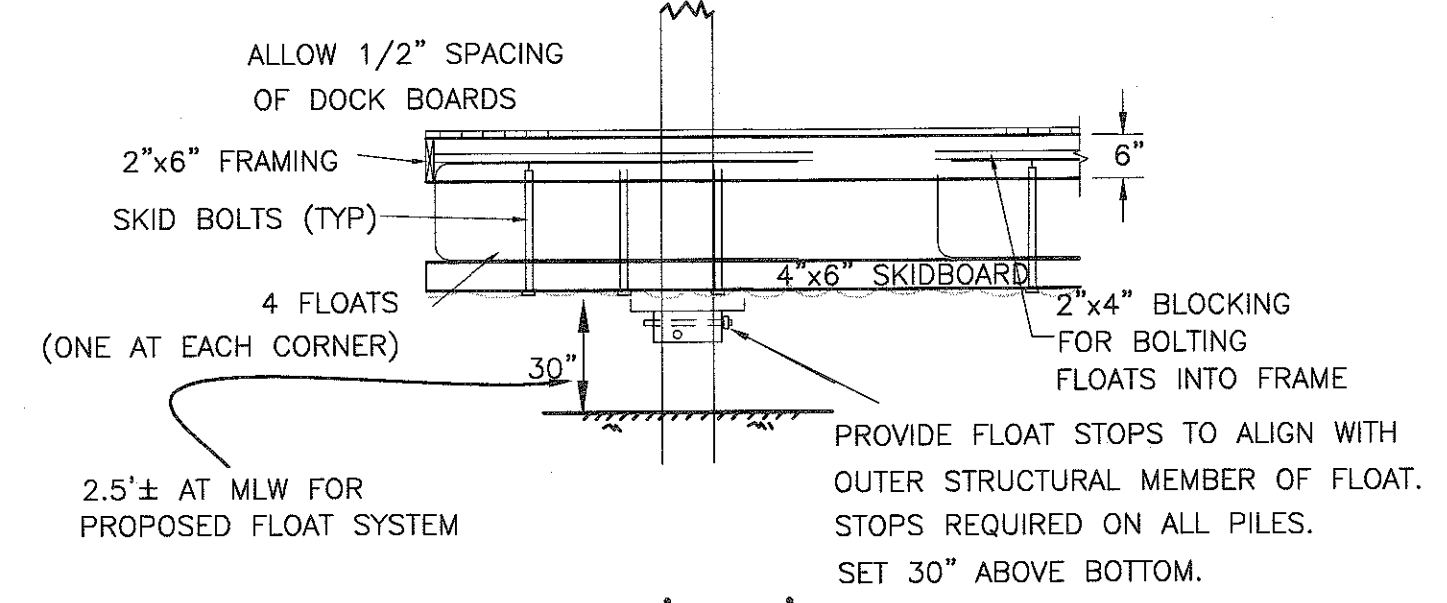


PLAN VIEW - PILE HOOP
NOT TO SCALE

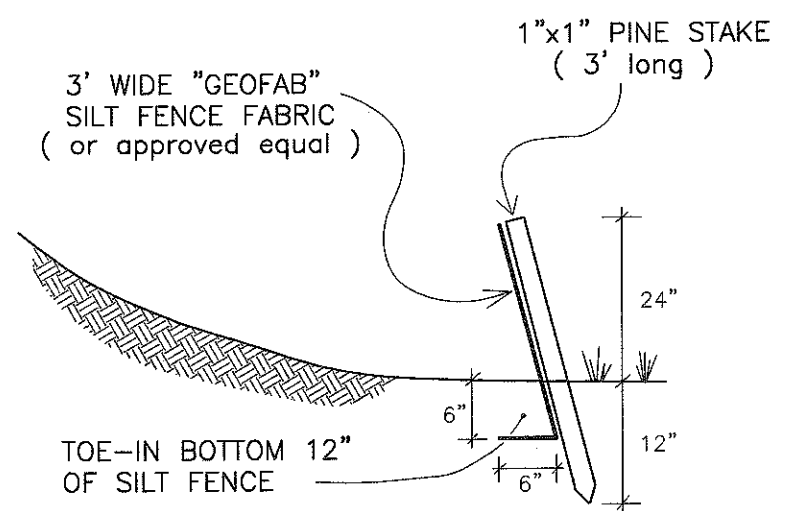


FIXED DOCK SECTIONS
NOT TO SCALE

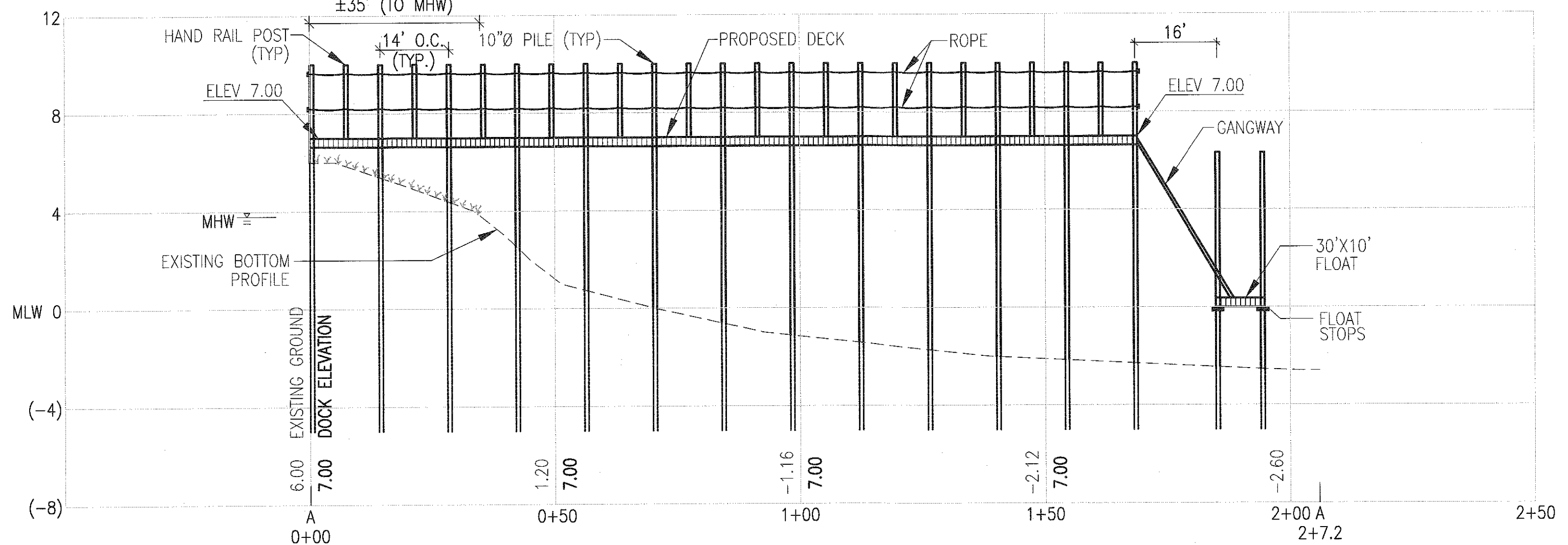
- NOTES:
1. TIMBER PILES SHALL BE NON CCA LUMBER PILES OF 10" DIAMETER.
 2. 10" DIAMETER WOOD PILES TO BE DRIVEN A MINIMUM DEPTH NEEDED TO AVOID UPLIFT.
 3. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED.
 4. DATUM BASED ON MEAN LOW WATER.
 5. ALL CONSTRUCTION SHALL MEET ALL LOCAL BUILDING CODE REQUIREMENTS FOR RESIDENTIAL DECKING AND CONSTRUCTION.
 6. PILE SLEEVES SHALL BE USED WHERE NEEDED TO PREVENT ICE DAMAGE.
 7. ALL DISTURBED LAWN AREAS SHALL BE LOAM & SEEDED UPON COMPLETION OF CONSTRUCTION.
 8. MATERIALS SHALL NOT BE STOCKPILED ON THE COASTAL BEACH OR ADJACENT RESOURCE AREAS.



12'x12' FLOAT DETAIL
NOT TO SCALE



SILT / EROSION CONTROL FENCING
NOT TO SCALE



PROFILE A-A
HORIZONTAL SCALE 1"=20'
VERTICAL SCALE 1"=4'

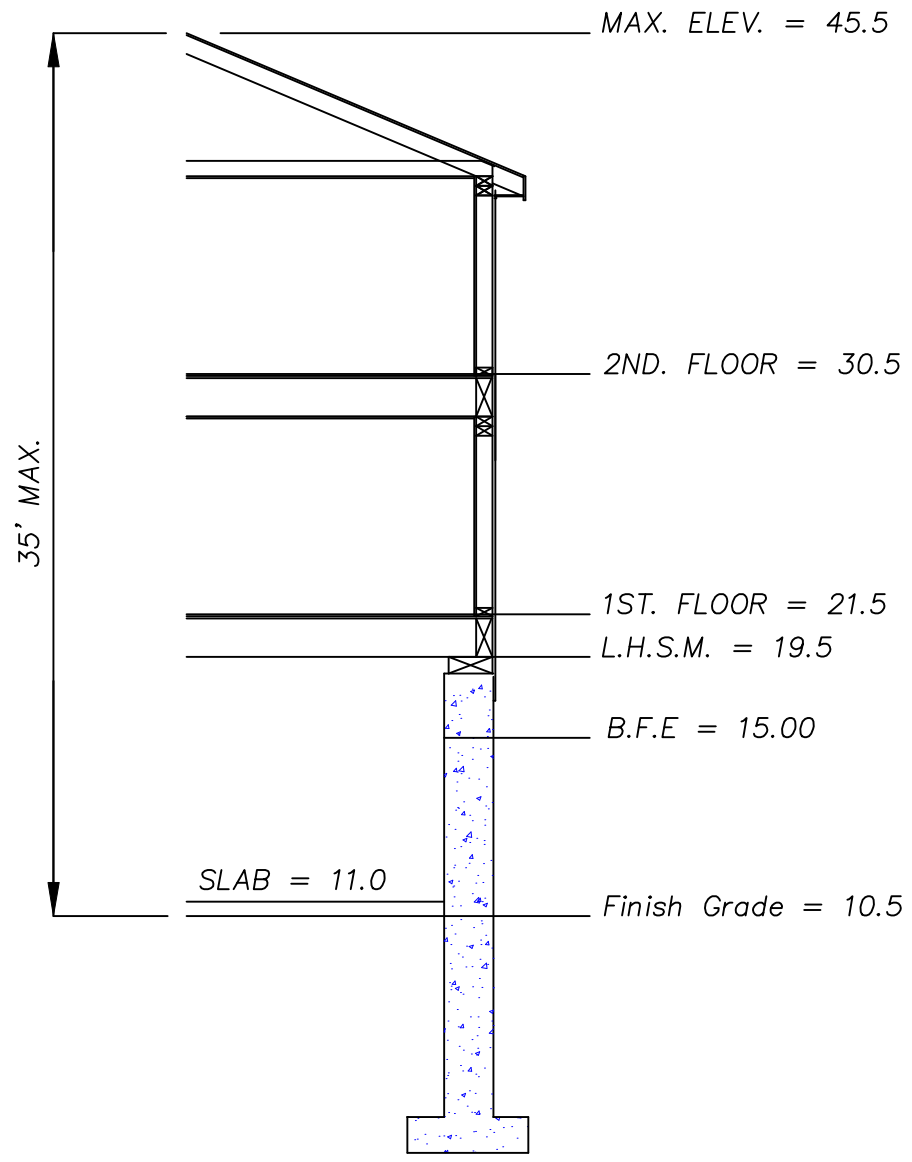
No.	Date	Revision Description	Checked By	Approved By

Scale: 1"=20'
Date: FEBRUARY 8, 2021
Drawn: DWP
Checked: SDG
Approved: SDG
Sheet 3 of 3
Drawing number: DS-1

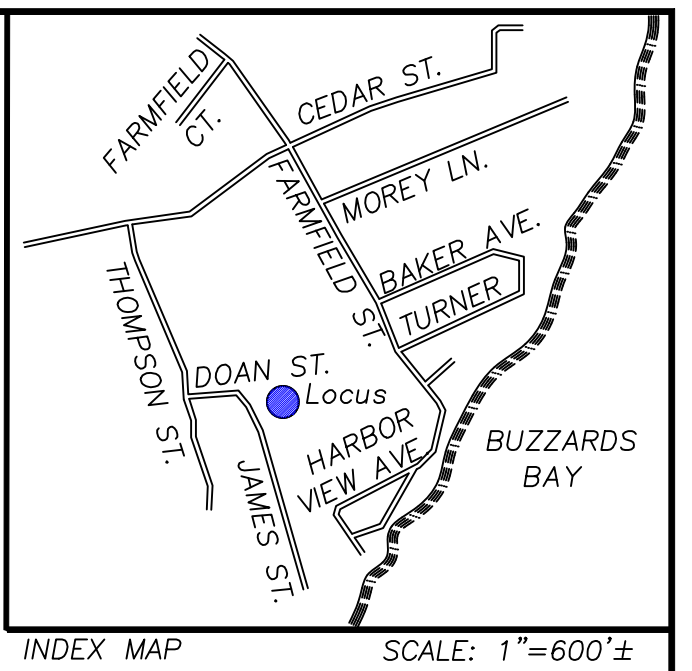
SITEC
Part of Civil & Environmental Consultants, Inc.
449 Fences Corner Road, Danvers, MA 01923
Ph: 978.750.7844
www.sitec.com

Project: PROPOSED DOCK & FLOAT
198 BALSAM STREET
FAIRHAVEN, MASSACHUSETTS
Client: STEVEN COHEN & MARY AKERSON
Drawing Title: DETAIL SHEET

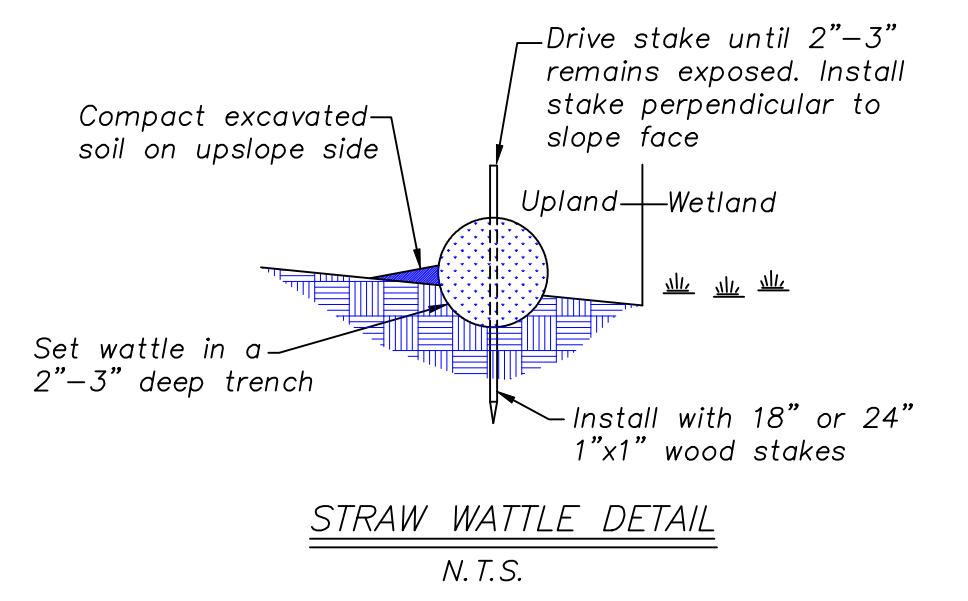
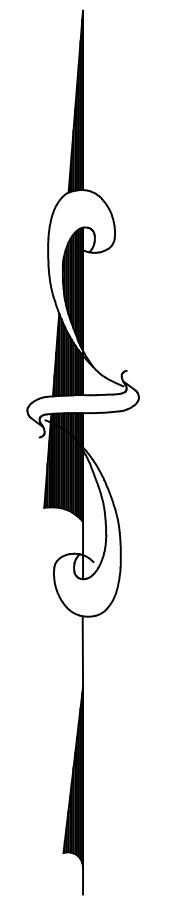
Acad No. FVN 20-7589
DETAILS.DWG
File No. 20-7589



PROPOSED DWELLING ELEVATIONS
Not To Scale



INDEX MAP SCALE: 1"=600'±

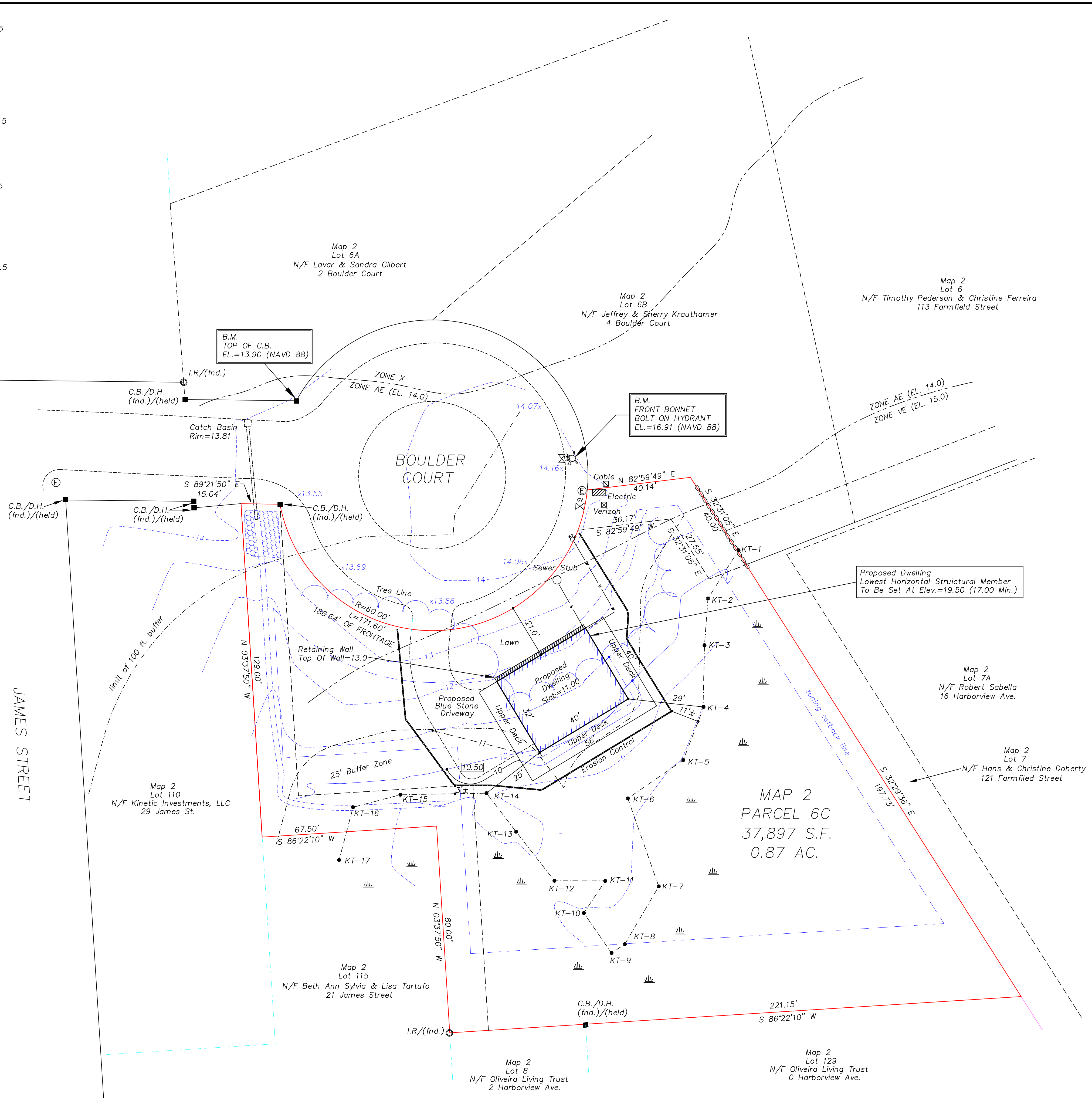


STRAW WATTLE DETAIL
N.T.S.

ZONING	
SINGLE RESIDENCE DISTRICT - RA	
RESIDENTIAL USE	
LOT AREA	15,000 S.F.
LOT FRONTAGE	100 FT.
BUILDING SETBACKS	
FRONT	20 FT.
REAR	30 FT.
SIDE	10 FT.

- General Notes:
- 1.-Entire Site Is Located Within A VE Zone, Elevation 15.0 As Shown The FEMA Flood Map 25005C0394G Dated 07/16/2014.
 - 2.-Disturbed Vegetated Areas Within Limit Of Work Will Be Loamed And Seeded. Landscaping Will Be Comprised Of Shrubs And Trees At Owners Discretion.
 - 3.-Lowest Horizontal Structural Member Will Be Set A Minimum 2 Feet Above VE Zone Elevation 15.0 + 2 Feet = 17.0 Minimum Elevation.
 - 4.-Deck Supports Will Be Placed On Sono Tube Footings. Foundation Will Be Designed By A Massachusetts Registered Structural Engineer.
 - 5.-Total Area Of Vegetation To Be Removed: 4,194 Square Feet.
 - 6.-A 2 Foot High Retaining Wall Will Be Constructed Along The Front Of The Proposed Dwelling To Direct Stormwater Runoff From Entering Building Area Beneath Dwelling.
 - 7.-The Total Area Of The 25 Foot Buffer Zone Is 7,707 Square Feet. Proposed Buffer Zone Disturbance Is 1,192 Square Feet (15.4%).

LEGEND	
○	EXISTING IRON PIPE
■	EXISTING CONCRETE BOUND
□	EXISTING CATCH BASIN
⊙	EXISTING DRAIN MANHOLE
⊗	EXISTING SEWER MANHOLE
⊕	WATER SHUTOFF
⊗	WATER GATE VALVE
—W—	PROPOSED WATER LINE
⊗	EXISTING FIRE HYDRANT
- - - -	EDGE OF WETLAND
- · - · - ·	100 FOOT BUFFER ZONE
~~~~~	TREE LINE
—○—○—○—	STONEWALL
- - - -	EXISTING CONTOUR
- - - -	PROPOSED CONTOUR
95x5	EXISTING SPOT GRADE
95.00	PROPOSED SPOT GRADE
— — — —	EXISTING DRAINAGE PIPE



MAP 2  
PARCEL 6C  
37,897 S.F.  
0.87 AC.

PROPOSED DWELLING PLAN  
MAP 2, PARCEL 6C  
#1 BOULDER COURT  
FAIRHAVEN, MASS.

PREPARED FOR: ARTHUR & HELENA OLIVEIRA  
2 HARBORVIEW AVE  
FAIRHAVEN, MA 02719

MICHAEL J. KOSKA & ASSOCIATES, INC.  
REGISTERED CIVIL ENGINEERS & LAND SURVEYORS  
98 BRIDGEWATER, MASS. 02324  
TEL. (508) 697-7400 FAX. (508) 697-1650  
email: m.koska.associates@gmail.com

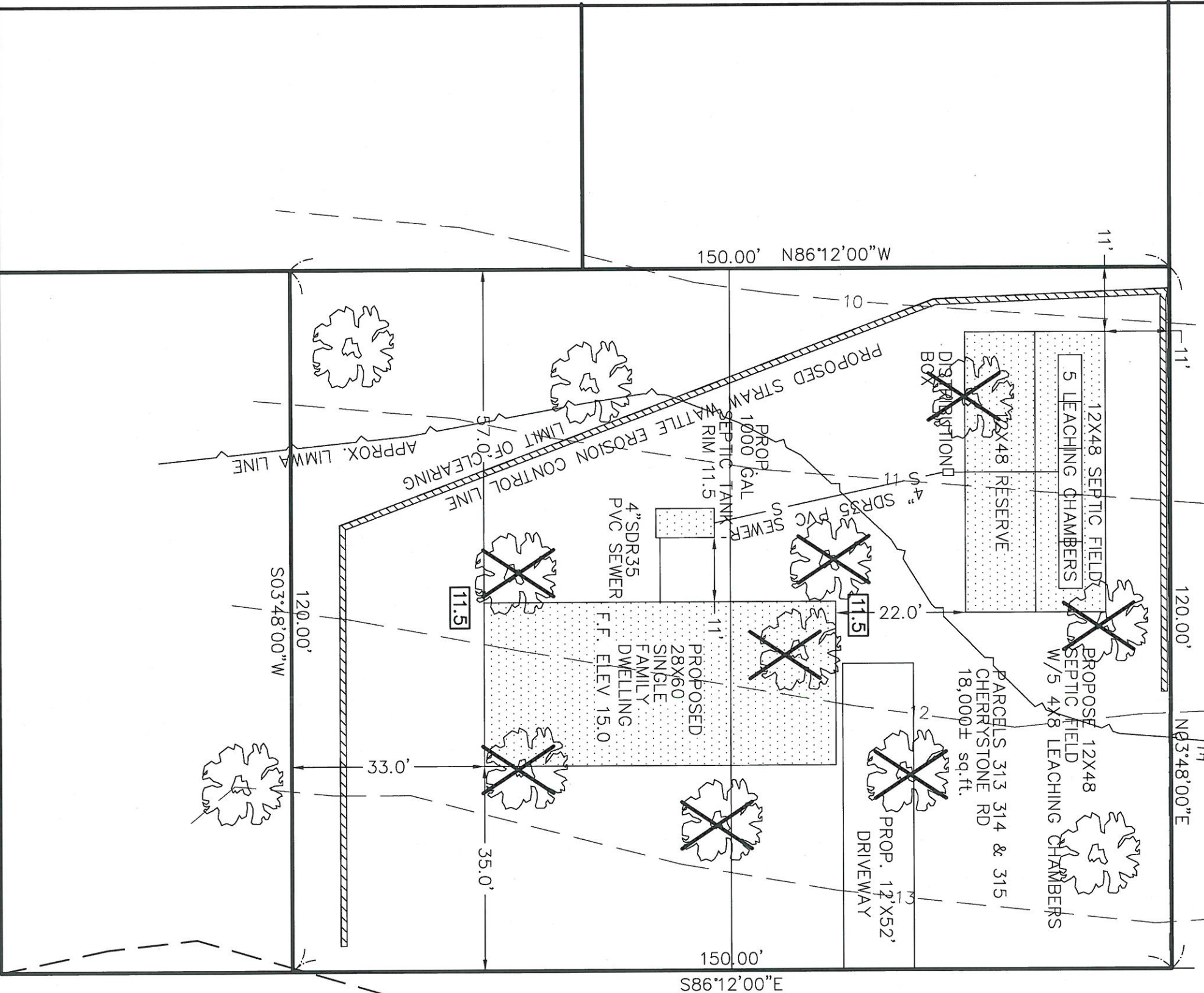
DATE: 03/15/21	JOB# 05-33	SHEET: 1 OF 1
REV. 04/02/21	FILE# 05-33	0 10 20 40
	DWG#	SCALE: 1"=20'

NOTE: NO BORDERING VEGETATED WETLAND WITHIN 100' OF LOCUS  
 ENTIRE LOT RESIDES IN FEMA AE14 FLOOD ZONE AS  
 SHOWN ON PANEL 25005C0502F



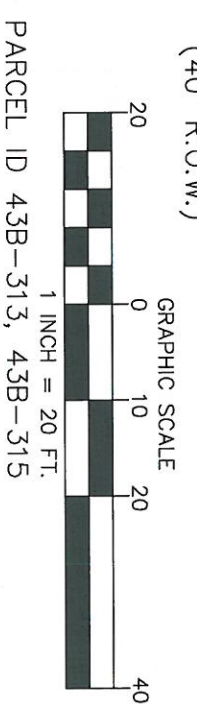
REFERENCES:  
 LAND COURT PLAN 7432-D1  
 DEED:  
 CERTIFICATES 14548, 14549

FIR STREET  
 (40' R.O.W.-UNCONSTRUCTED THIS SECTION)



CHERRYSTONE ROAD  
 (40' R.O.W.-UNCONSTRUCTED THIS SECTION)

EBONY STREET  
 (40' R.O.W.)



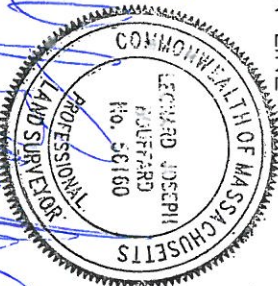
APPROX. LIMIT OF MODERATE  
 WAVE ACTION LINE



TREES TO BE REMOVED

OWNER: HENEBURY FAMILY TRUST  
 CATHERINE D HENEBURY TRUSTEE  
 22 GREEN STREET FAIRHAVEN MA 02719

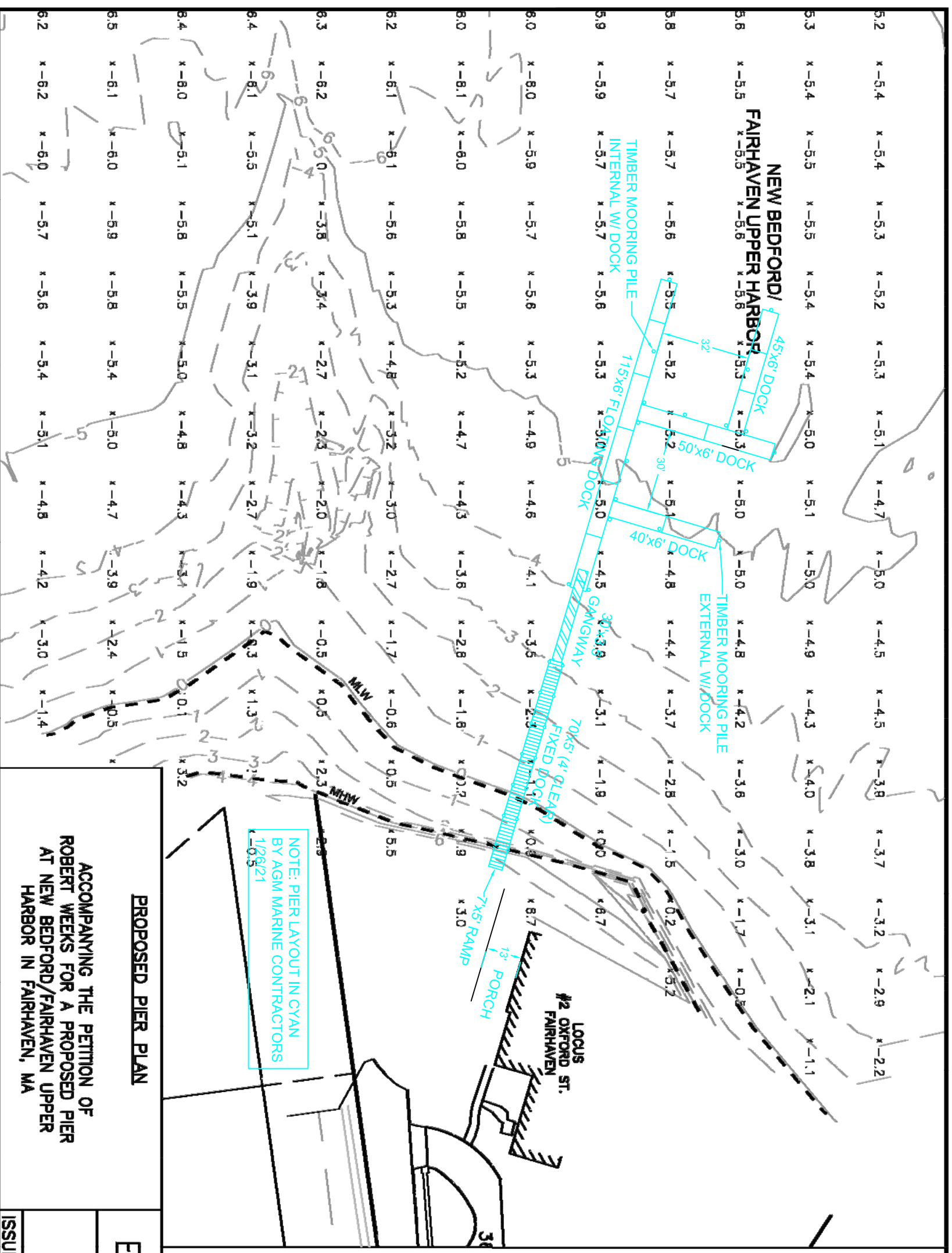
4-2-21



CONSERVATION SITE PLAN  
 LOTS 313, 314 & 315 CHERRYSTONE ROAD  
 WEST ISLAND FAIRHAVEN MA  
 FOR  
 HENEBURY FAMILY TRUST

CIVIL ENVIRONMENTAL CONSULTANTS LLC  
 8 OAK STREET PEABODY, MA 01960 (978)531-1191

SHEET NO: 1 OF 1  
 DATE 4/2/2021 JOB NO:  
 DRAWN BY: L.J.B.

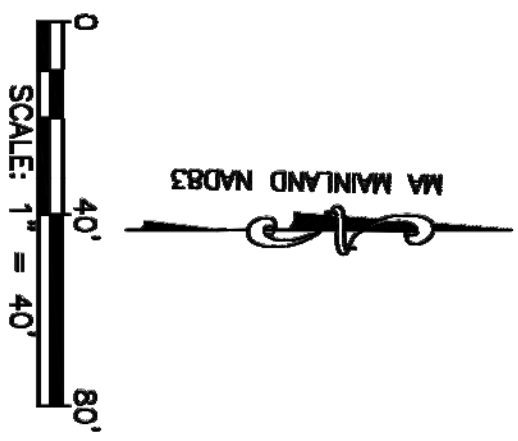


**PROPOSED PIER PLAN**

ACCOMPANYING THE PETITION OF  
ROBERT WEEKS FOR A PROPOSED PIER  
AT NEW BEDFORD/FAIRHAVEN UPPER  
HARBOR IN FAIRHAVEN, MA

**NOTES:**

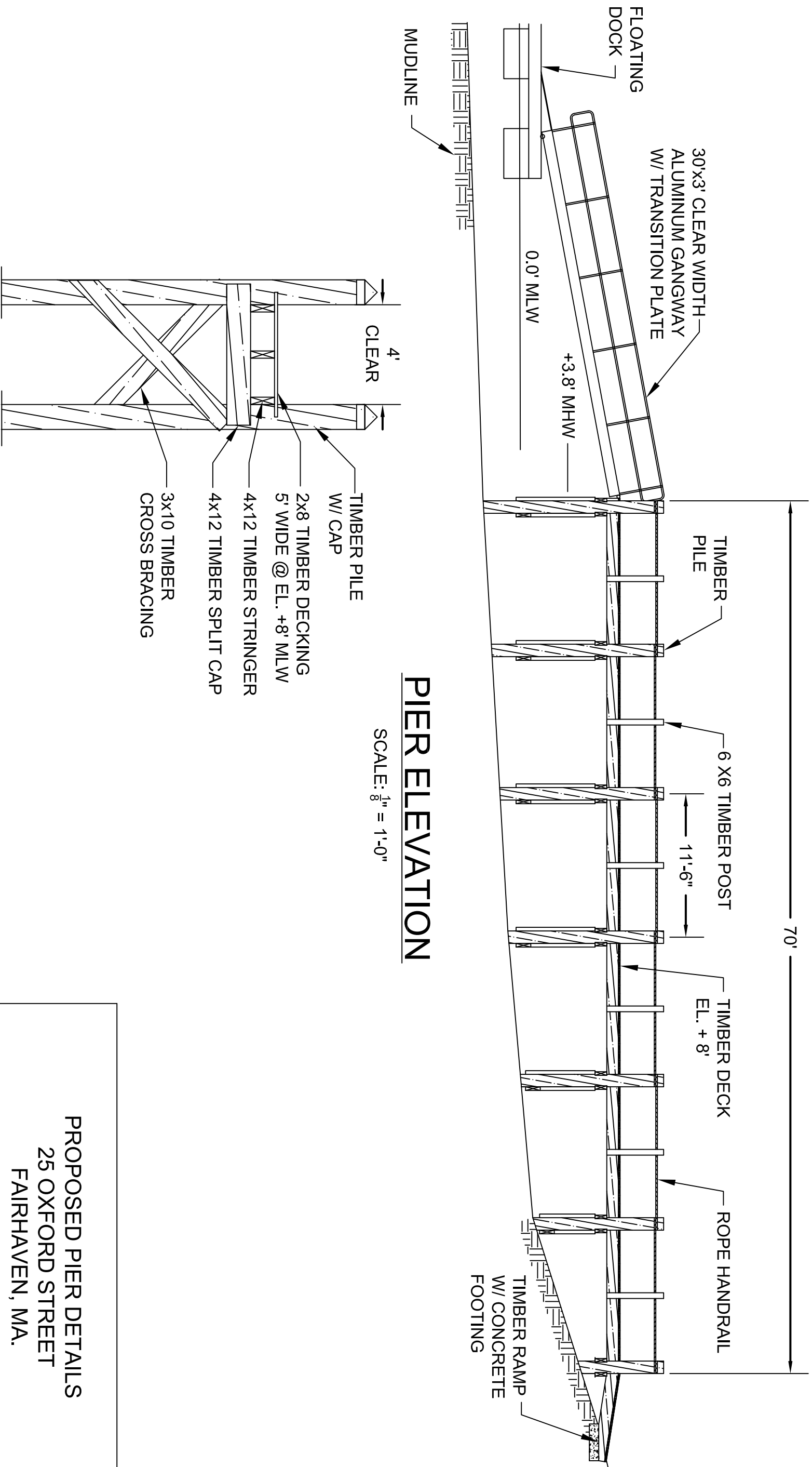
1. VERTICAL DATUM SHOWN IS MEAN LOW WATER DATUM.
2. CONVERSION OF NAVD83 DATUM TO MEAN LOW WATER DATUM IS BASED ON DATA PROVIDED BY NOAA ONLINE VERTICAL DATUM TRANSFORMATION PROGRAM.
3. THE SUBJECT PROPERTY IS SHOWN ON THE TOWN OF FAIRHAVEN ASSESSORS' MAP 13 LOT 001.



**EXISTING CONDITIONS**







**PIER ELEVATION**

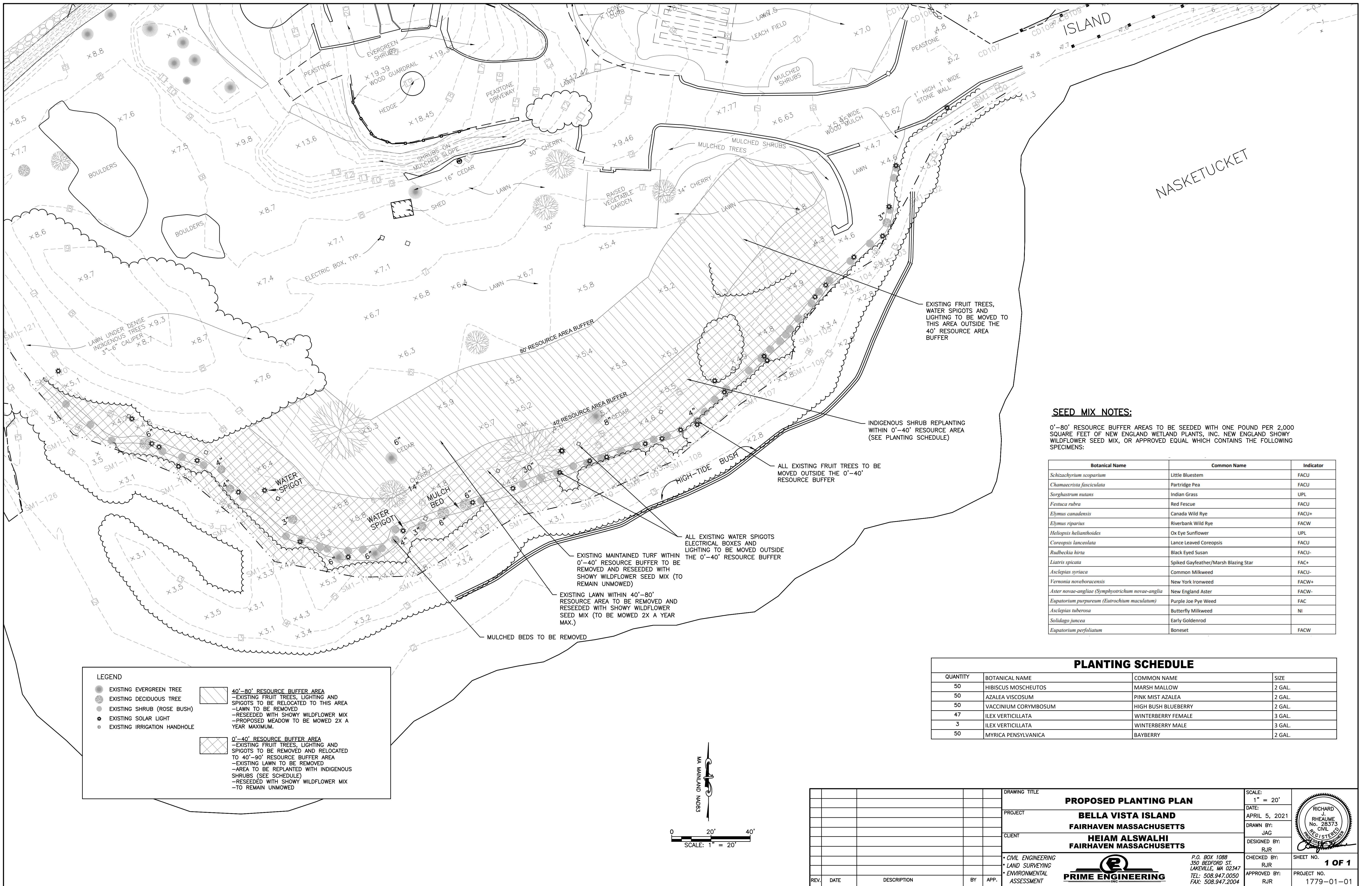
SCALE: 1/8" = 1'-0"

**PIER CROSS SECTION**

SCALE: 1/4" = 1'-0"

PROPOSED PIER DETAILS  
 25 OXFORD STREET  
 FAIRHAVEN, MA.

SCALE: AS NOTED	SHEET NO. 1 OF 1.
DATE: JANUARY 26, 2021	
DRAWN BY: RGF	
AGM MARINE CONTRACTORS, INC. 30 ECHO ROAD, MASHPEE, MA 02649	



NASKETUCKET

**SEED MIX NOTES:**

0'-80' RESOURCE BUFFER AREAS TO BE SEEDED WITH ONE POUND PER 2,000 SQUARE FEET OF NEW ENGLAND WETLAND PLANTS, INC. NEW ENGLAND SHOWY WILDFLOWER SEED MIX, OR APPROVED EQUAL WHICH CONTAINS THE FOLLOWING SPECIMENS:

Botanical Name	Common Name	Indicator
<i>Schizachyrium scoparium</i>	Little Bluestem	FACU
<i>Chamaecrista fasciculata</i>	Partridge Pea	FACU
<i>Sorghastrum nutans</i>	Indian Grass	UPL
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Elymus canadensis</i>	Canada Wild Rye	FACU+
<i>Elymus riparius</i>	Riverbank Wild Rye	FACW
<i>Helopsis helianthoides</i>	Ox Eye Sunflower	UPL
<i>Coreopsis lanceolata</i>	Lance Leaved Coreopsis	FACU
<i>Rudbeckia hirta</i>	Black Eyed Susan	FACU-
<i>Liatris spicata</i>	Spike Gayfeather/Marsh Blazing Star	FAC+
<i>Asclepias syriaca</i>	Common Milkweed	FACU-
<i>Vernonia noveboracensis</i>	New York Ironweed	FACW+
<i>Aster novae-angliae (Symphyotrichum novae-angliae)</i>	New England Aster	FACW-
<i>Eupatorium purpureum (Eutrochium maculatum)</i>	Purple Joe Pye Weed	FAC
<i>Asclepias tuberosa</i>	Butterfly Milkweed	NI
<i>Solidago juncea</i>	Early Goldenrod	FACW
<i>Eupatorium perfoliatum</i>	Boneset	FACW

**PLANTING SCHEDULE**

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
50	HIBISCUS MOSCHEUTOS	MARSH MALLOW	2 GAL.
50	AZALEA VISCOSUM	PINK MIST AZALEA	2 GAL.
50	VACCINIUM CORYMBOSUM	HIGH BUSH BLUEBERRY	2 GAL.
47	ILEX VERTICILLATA	WINTERBERRY FEMALE	3 GAL.
3	ILEX VERTICILLATA	WINTERBERRY MALE	3 GAL.
50	MYRICA PENNSYLVANICA	BAYBERRY	2 GAL.

**LEGEND**

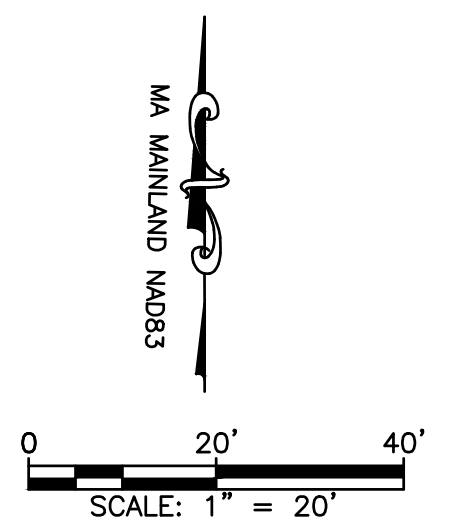
- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREE
- EXISTING SHRUB (ROSE BUSH)
- ⊛ EXISTING SOLAR LIGHT
- EXISTING IRRIGATION HANDHOLE

**40'-80' RESOURCE BUFFER AREA**

- EXISTING FRUIT TREES, LIGHTING AND SPIGOTS TO BE RELOCATED TO THIS AREA
- LAWN TO BE REMOVED
- RESEEDED WITH SHOWY WILDFLOWER MIX
- PROPOSED MEADOW TO BE MOWED 2X A YEAR MAXIMUM.

**0'-40' RESOURCE BUFFER AREA**

- EXISTING FRUIT TREES, LIGHTING AND SPIGOTS TO BE REMOVED AND RELOCATED TO 40'-90' RESOURCE BUFFER AREA
- EXISTING LAWN TO BE REMOVED
- AREA TO BE REPLANTED WITH INDIGENOUS SHRUBS (SEE SCHEDULE)
- RESEEDED WITH SHOWY WILDFLOWER MIX
- TO REMAIN UNMOWED



DRAWING TITLE		<b>PROPOSED PLANTING PLAN</b>		SCALE:	1" = 20'
PROJECT		<b>BELLA VISTA ISLAND FAIRHAVEN MASSACHUSETTS</b>		DATE:	APRIL 5, 2021
CLIENT		<b>HEIAM ALSWALHI FAIRHAVEN MASSACHUSETTS</b>		DRAWN BY:	JAG
DESIGNED BY:		RJR		CHECKED BY:	RJR
APPROVED BY:		RJR		APPROVED BY:	RJR

**PRIME ENGINEERING**  
INC.

P.O. BOX 1088  
350 BEDFORD ST.  
LAKEVILLE, MA 02347  
TEL: 508.947.0050  
FAX: 508.947.2004

SHEET NO. **1 OF 1**  
PROJECT NO. 1779-01-01