

BUZZARDS BAY

BUZZARDS BAY

PLAT #29A - LOT #140-144  
N/F  
MICHAEL J. LIVINGSTONE, JR.  
261 UNION STREET  
NEW BEDFORD, MA 02740  
(Loc. Frederick Avenue)  
BOOK 4701 PAGE 214

PLAT #29A - LOT #151-152  
N/F  
MICHAEL J. LIVINGSTONE, JR.  
261 UNION STREET  
NEW BEDFORD, MA 02740  
(Loc. Frederick Avenue)  
BOOK 4701 PAGE 214

PLAT #29A - LOT #153-156  
N/F  
STEPHEN VIVEIROS  
290 SCOTICUT NECK ROAD  
FAIRHAVEN, MA 02719  
BOOK 3305 PAGE 312

PLAT #29A - LOT #158-167  
N/F  
ALAIN MICHEL & SUSANA P. LACHAT  
2 BILLY'S LANE  
FAIRHAVEN, MA 02719  
BOOK 10653 PAGE 235

PLAT #29A - LOT #170-173  
N/F  
JAMES W. IRVING &  
VALERIE TORPEY-IRVING  
P.O. BOX #43  
WESTWOOD, MA 02090-0043  
(Loc. 294 Scoticut Neck Rd.)  
BOOK 7177 PAGE 148

PLAT #29A - LOT #178  
N/F  
JOAN S. JOSEPH  
P.O. BOX 764  
FAIRHAVEN, MA 02719-0764  
(Loc. 296 Scoticut Neck Rd.)  
BOOK 3574 PAGE 260

PLAT #29A - LOT #174-176  
N/F  
JOAN JOSEPH & ROBERT G. BRODEUR  
296 SCOTICUT NECK ROAD  
FAIRHAVEN, MA 02719  
(Loc. Billy's Lane)  
BOOK 10209 PAGE 280

#2 EXISTING DWELLING  
DECK  
CARAGE  
DECK (NOT LOCATED)

#296 EXISTING DWELLING (NOT LOCATED)

LIMIT OF WORK AND PROPOSED TOTAL OF 280 FEET OF SILTATION BARRIER. USE 94 FEET OF FILTREXX SOX INSIDE THE BUILDING LOT AND 186 FEET OF SILT FENCE OUTSIDE THE LOT.

PROPOSED 44' x 28' DWELLING  
CONC. SLAB=EL. 10.0

PROPOSED 10' WIDE PLANTING STRIP  
EAST ROW-SEVEN(7)INKBERRY SHRUBS  
CENTER ROW-SIX(6)HIGH BUSH BLUEBERRY  
WEST ROW-SEVEN(7)BEARBERRY DWARF SHRUB

FIRM ZONE X (0.2% ANNUAL CHANCE FLOOD)  
FIRM ZONE X (OUTSIDE ANNUAL CHANCE FLOOD)

BENCHMARK 11.50  
TOP SPINDLE OF HYDRANT

NOTES:  
THE BORDERING VEGETATED WETLANDS LINE WAS FLAGGED BY STEPHEN CHMIEL, 14 PLEASANT STREET EXT., CARVER, MA 02330.  
ALL ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.  
DASHED CONTOUR LINES DENOTE EXISTING ELEVATIONS.  
SOLID CONTOUR LINES AND ELEVATIONS IN BLOCKS DENOTE PROPOSED FINISHED GRADES.  
FLOOD ZONES WERE COPIED FROM THE FLOOD INSURANCE RATE MAP (FIRM) NUMBER 25005C0501F. EFFECTIVE DATE: JULY 7, 2009. NOTE: THE MASS BUILDING CODE REQUIRES THE LOWEST STRUCTURAL MEMBER IN A VE ZONE TO BE TWO FEET HIGHER THAN THE BASE FLOOD ELEVATION.  
THIS PROPERTY IS SHOWN ON THE FAIRHAVEN ASSESSORS PLAT #29-A AS LOTS #168 AND #169.

REVISED: MAY 4, 2021.  
1. ADDED PAVEMENT FROM STA. 0+0 TO 0+22.  
2. ADDED 20 ARBOVITAE TO SIDES OF ROAD.  
3. ADDED 10 FOOT PLANTING STRIP ALONG WEST PROPERTY LINE SHOWING 20 PLANTINGS.

REVISED: JULY 16, 2020

PLAN OF LAND  
SHOWING PROPOSED ROAD IMPROVEMENTS, STORM DRAINAGE, DWELLING, DRIVE, GRADING, WATER AND SEWER SERVICE, AND FLAGGED BVV LINE  
IN  
FAIRHAVEN, MA.

PREPARED FOR  
STEVEN M. & SANDRA J. HERMENA  
TRUSTEES OF THE HERMENA  
FAMILY REVOCABLE TRUST

JUNE 1, 2020 SCALE: 1"=20'  
ALAN EWING ENGINEERING, INC.  
261 NEW BOSTON ROAD  
FAIRHAVEN, MA 02719-5301  
tel.: 508-997-9311

SHEET 1 OF 2



# REQUEST FOR DETERMINATION OF APPLICABILITY ISSUED FOR PERMITTING FAIRHAVEN HIGH SCHOOL ATHLETIC FIELD IMPROVEMENTS

12 HUTTLESTONE AVE  
FAIRHAVEN, MA 02719

TRAVERSE LANDSCAPE ARCHITECTS PROJECT NO. A1037



## CONTACT INFORMATION

ORGANIZATION	NAME	PHONE
OWNER FAIRHAVEN SCHOOL DISTRICT 12 HUTTLESTONE AVE FAIRHAVEN, MA 02719	NICOLE POTTER	(508) 979 400 EXT 140
	ANDY KULAK	
LANDSCAPE ARCHITECT TRAVERSE LANDSCAPE ARCHITECTS	JUSTIN ROBERTSHAW	(319) 440 8989
	ARTHUR EDDY	(401) 585 0017

## SHEET INDEX

SHEET	DESCRIPTION
C101	CIVIL NOTES AND LEGEND
C201	DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN
C301	GENERAL PLAN
C401	GRADING PLAN
C501	DRAINAGE AND UTILITY PLAN
C601	CIVIL DETAILS 1
C602	CIVIL DETAILS 2
L0.01	LEGEND SCHEDULES AND GENERAL NOTES
L1.01	EXISTING CONDITIONS
L1.11	OVERALL SITE PLAN
L1.21	LANDSCAPE ATHLETICS MATERIALS PLAN
L1.31	LANDSCAPE ATHLETIC LAYOUT PLAN
L3.11	LANDSCAPE ATHLETIC DETAILS
L3.12	LANDSCAPE ATHLETIC DETAILS
L3.13	LANDSCAPE ATHLETIC DETAILS
L3.14	LANDSCAPE ATHLETIC DETAILS
L3.15	LANDSCAPE ATHLETIC DETAILS
L3.21	ATHLETIC SUPPORT BUILDING DETAILS
L3.22	ATHLETIC SUPPORT BUILDING DETAILS

## SCOPE OF WORK

**BASE BID - FIELD IMPROVEMENTS**  
STRIPING OF TOP SOIL WITH THE STADIUMS EXISTING BRICK WALLS, REMOVAL OF EXISTING SPORTS LIGHTING, REMOVAL AND REPLACEMENT OF FENCE FABRIC, SELECTIVE DEMOLITION OF EXISTING FENCE NORTH AND SOUTH OF FIELD REPLACED BY NEW ORNAMENTAL FENCE AND BALL SAFETY NETTING, NEW ACCESSIBLE PATHWAYS NORTH AND EAST OF THE FIELD, NEW DRAINAGE AND SYNTHETIC TURF PROFILE.

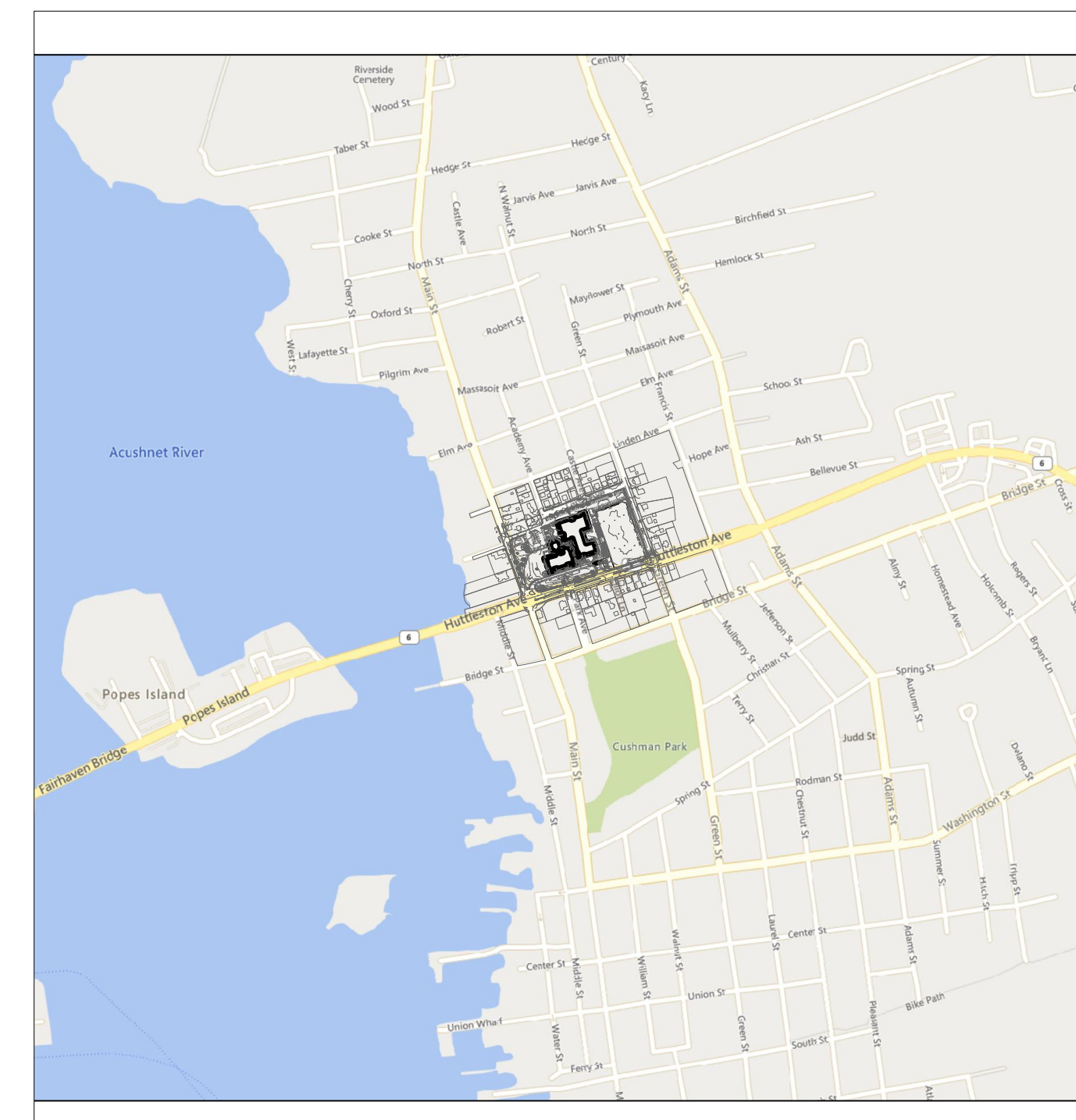
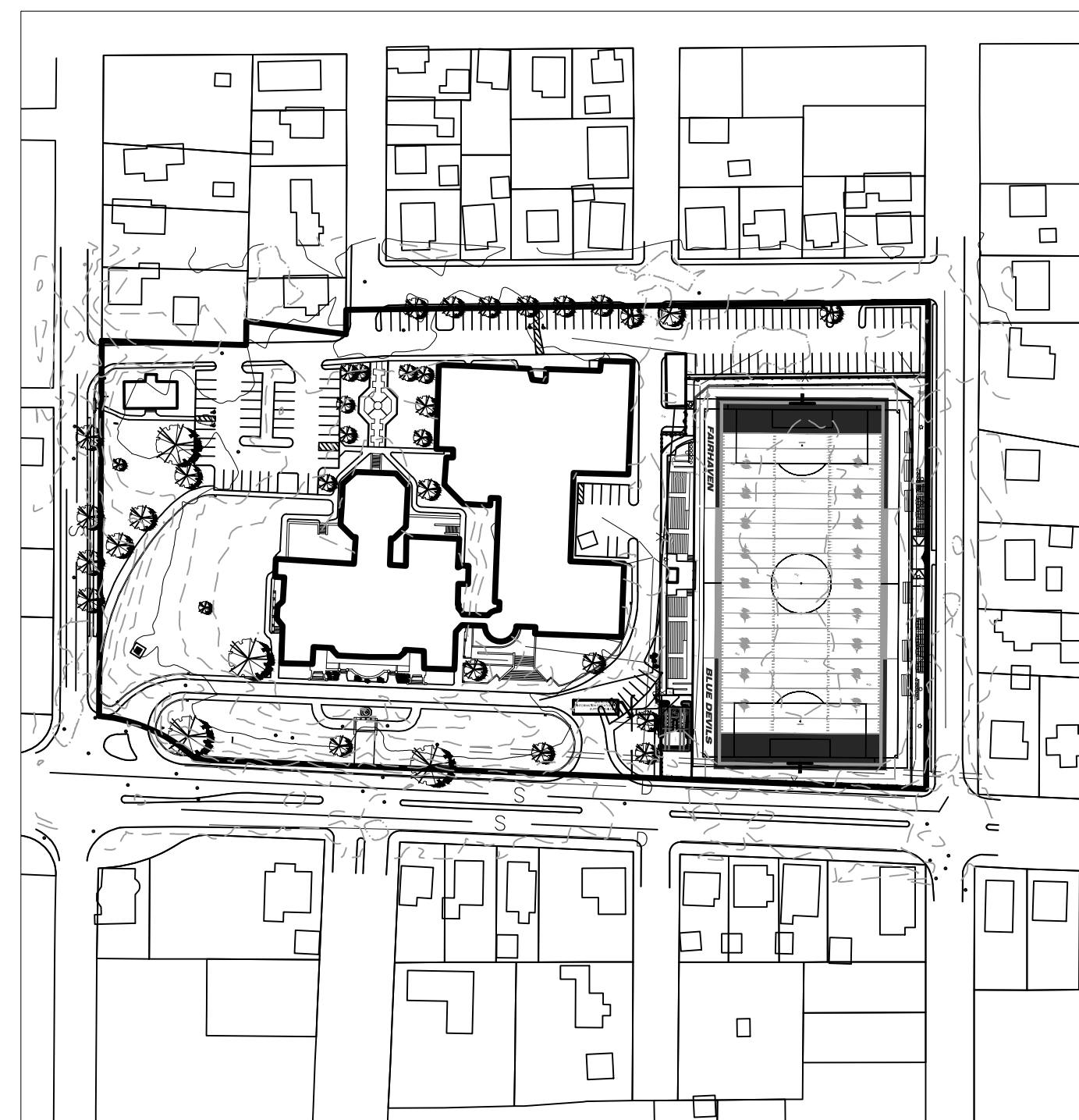
**ALTERNATE #1 SPORTS LIGHTING**  
FURNISH AND INSTALL NEW LED SPORTS LIGHTING AND ASSOCIATED ELECTRICAL DISTRIBUTION

**ALTERNATE #2 RESTROOM SUPPORT BUILDING WITH STORAGE**  
ALL DEMOLITION AND PROPOSED SITE WORK WITH THE ALT. #2 LOCATION ALONG WITH THE FURNISHING, LABOR AND INSTALLATION OF NEW RESTROOM SUPPORT BUILDING.

## PREPARED BY



## PROJECT MAPS





**REFERENCE**

- PROJECT LOCATION: FAIRHAVEN HIGH SCHOOL 12 HUTTLESTON AVENUE, FAIRHAVEN, MA. 02719 ASSESSOR'S MAP 12, LOT 236.
- EXISTING CONDITIONS MAPPING TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS PLAN" PREPARED BY INSITE ENGINEERING SERVICES, LLC, DATED FEBRUARY 16, 2021.

**GENERAL NOTES**

- THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, 2020 EDITION OR LATEST REVISION, AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL MEET OR EXCEED THE MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, WITH LATEST REVISIONS. THE LATEST REVISION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND OWNER'S REPRESENTATIVE AS REQUIRED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ALL OPEN EXCAVATED AREAS IN ACCORDANCE WITH OSHA FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEERS APPROVAL.
- IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS REQUIRED, THE CONTRACTOR SHALL IMMEDIATELY CONTACT AND COORDINATE ANY DEVIATIONS WITH THE ENGINEER AND OWNER.
- ANY AREA OUTSIDE OF THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS PREPARED FOR THIS PROJECT.
- ALL UTILITIES (LOCATION AND ELEVATION) DEPICTED SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ALL DAMAGE TO EXISTING UTILITIES OR STRUCTURES, AND THE COST TO REPAIR THE DAMAGES TO INITIAL CONDITIONS, AS SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- NO EXCAVATION SHALL BE DONE UNTIL COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE. NOTE THAT NOT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RESPECTIVE UTILITY COMPANIES TO VERIFY AND LOCATE EXISTING UTILITIES.

**LAYOUT NOTES**

- ALL LINES ARE PERPENDICULAR OR PARALLEL TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- ACCESSIBLE RAMPS SHALL BE PER THE AMERICAN WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND CODE OF MASSACHUSETTS REGULATIONS (CMR) TITLE 521 OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL PERFORM BENCHMARK FIELD LEVEL VERIFICATION AND COORDINATE LAYOUT CHECK. THE CONTRACTOR SHALL CONTACT PARE CORPORATION IF ANY DISCREPANCIES ARE FOUND.
- DIMENSIONS OF PARKING SPACES AND DRIVEWAYS ARE FROM FACE OF CURB TO FACE OF CURB. DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING TO FACE OF CURB.
- ALIGN WALKWAYS ON DOORWAYS THEY SERVE TO PROVIDE MINIMUM REQUIRED MANEUVERING CLEARANCE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND CODE OF MASSACHUSETTS REGULATIONS (CMR) TITLE 521 OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS.

**DEMOLITION NOTES**

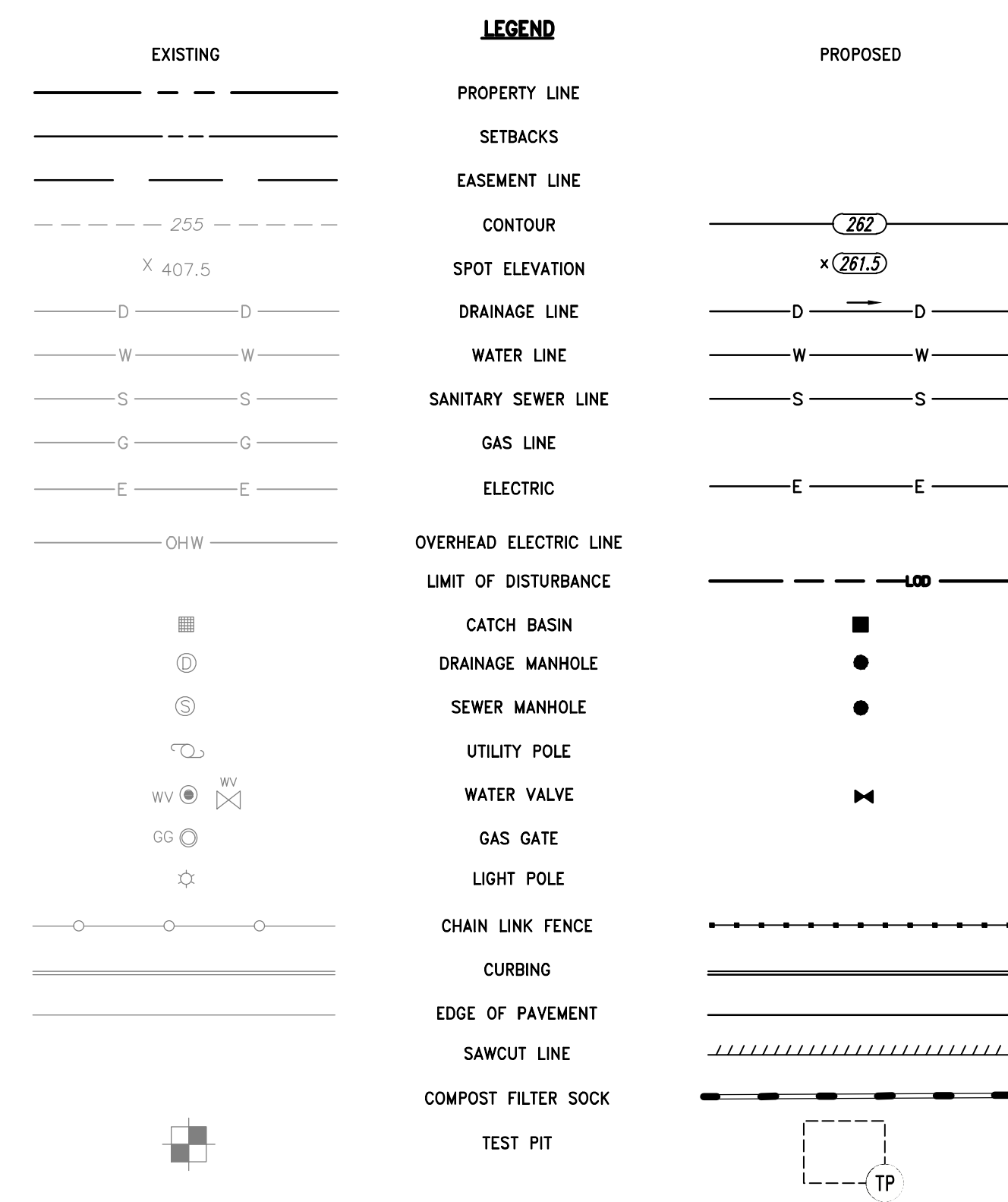
- THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION OF STRUCTURES, PAVEMENT AND CONCRETE MATERIALS, AND UTILITIES WITH APPROPRIATE PROPOSED SITE GENERAL, GRADING, UTILITY, AND LANDSCAPING DRAWINGS.
- ALL NOTED UTILITIES TO BE REMOVED AND DISPOSED OF, RELOCATED OR CAPPED REPRESENT ALL KNOWN SITE CONDITIONS TO BE DEMOLISHED. THE CONTRACTOR SHALL COORDINATE ALL UNFORESEEN CONDITIONS WITH THE PROJECT ENGINEER, OWNER AND/OR RESPECTIVE UTILITY COMPANIES PRIOR TO PROCEEDING WITH WORK.
- WATER, SEWER, DRAINAGE, GAS, AND OTHER SITE UTILITIES SERVICING THE EXISTING FACILITIES ARE TO REMAIN ACTIVE THROUGHOUT CONSTRUCTION.
- THERE SHALL BE NO INTERRUPTION OF UTILITY SERVICES DURING THE CONSTRUCTION OPERATION WITHOUT APPROVAL OF THE OWNER.

**GRADING AND UTILITY NOTES**

- UNDERGROUND UTILITIES DEPICTED WERE COMPILED FROM AVAILABLE RECORD PLANS AND SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES DEPICTED OR NOT DEPICTED ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS TO REPAIR SUCH DAMAGES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED.
- ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS.
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
- ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION SHALL BE PROVIDED ON A SKETCH TO SCALE OF THE EXISTING UTILITY WITH TIES TO KNOWN POINTS, PHOTOS AND FURNISHED TO THE ENGINEER FOR RESOLUTION.
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS SHALL BE RESTORED TO ORIGINAL CONDITION.
- GAS, ELECTRIC, AND COMMUNICATIONS ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY APPROPRIATE UTILITY COMPANIES.
- ALL GRAVITY SANITARY PIPING SHALL BE SDR-35 PVC. ALL SEWER CONSTRUCTION SHALL CONFORM TO THE TOWN OF FAIRHAVEN SEWER/WASTEWATER DEPARTMENT.
- ALL WATER LINE BENDS AND TEES SHALL BE REINFORCED WITH THRUST BLOCKS. ALL WATER DISTRIBUTION PIPING AND FITTINGS MUST ADHERE TO THE TOWN OF FAIRHAVEN WATER DIVISION SPECIFICATIONS AND SHALL BE INSPECTED BEFORE, DURING, AND AFTER CONSTRUCTION PRIOR TO TAPPING THE SERVICE MAIN.
- EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED.
- THE PROPOSED WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% AS SHOWN ON CONSTRUCTION DETAILS AND GRADING PLAN.

**EROSION AND SEDIMENTATION CONTROL NOTES - MASSACHUSETTS**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY'S (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) AND THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT AN ELECTRONIC NOTICE OF INTENT (eNOI) WITH THE EPA IN ACCORDANCE WITH THE NPDES PERMIT REQUIREMENTS PRIOR TO CONSTRUCTION.
- SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE PROVIDED IN ACCORDANCE WITH THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND THE NOTES AND DETAILS SHOWN IN THIS PLAN SET.
- THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE PLANS ARE INTENDED TO REPRESENT THE MINIMUM CONTROLS NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- REQUIRED PERIMETER CONTROL SHALL BE PROPERLY ESTABLISHED, CLEARLY VISIBLE AND IN OPERATION PRIOR TO INITIATING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK. SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. WORKERS SHALL BE INFORMED THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
- AS FEASIBLE, CONSTRUCTION SHALL BE PHASED TO LIMIT THE AREA OF EXPOSED SOIL AND THE DURATION OF EXPOSURE. ALL DISTURBED AREAS SHALL BE TEMPORARILY AND/OR PERMANENTLY STABILIZED WITHIN 14 DAYS FOLLOWING COMPLETION OF GRADING ACTIVITIES.
- THE CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER DURING CONSTRUCTION TO ENSURE THAT THE EROSION CONTROL BARRIERS ARE INTACT.
- CLEAN AND MAINTAIN SEDIMENTATION CONTROL BARRIERS WHEN SEDIMENT ACCUMULATES TO ONE HALF THE HEIGHT OF THE BARRIER. MATERIAL COLLECTED FROM THE SEDIMENTATION BARRIER SHALL BE REMOVED AS NECESSARY AND DISPOSED IN AN UPLAND AREA.
- THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES OR ROUTINE MAINTENANCE.
- THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUB GRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, TO STABILIZED DISCHARGE POINTS.
- CRUSHED STONE CONSTRUCTION ENTRANCES SHALL BE ESTABLISHED AT ALL POINTS OF INGRESS AND EGRESS.
- DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CATCH BASINS AND STORM DRAINS SHALL BE PROTECTED WITH HAY BALES OR SEDIMENT BAGS IN PAVED AREAS UNTIL CONTRIBUTING AREA IS PERMANENTLY STABILIZED.
- DEWATERING WASTEWATER PUMPED FROM EXCAVATIONS SHALL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO A DEWATERING BASIN, HAY BALE CORALS, OR SEDIMENTATION BAGS.
- CONSTRUCTION SITE WASTE MATERIALS SHALL BE PROPERLY CONTAINED ONSITE AND DISPOSED OFF SITE AT A LOCATION IN ACCORDANCE WITH THE LOCAL AND STATE REGULATIONS.
- RIPRAP OR OTHER ENERGY DISSIPATORS SHALL BE USED WHERE NECESSARY TO CONTROL EROSION.
- ANY EQUIPMENT THAT IS NOT READILY MOBILE (TRACK MACHINERY) SHALL BE PARKED WITHIN THE PROJECT LIMIT OF DISTURBANCE. LARGE AND/OR BULKY MATERIALS SHALL BE STORED SUCH THAT THEY DO NOT INTERFERE WITH THE ONGOING CONSTRUCTION ACTIVITIES OR EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL NOT REMOVE ANY COMPOST FILTER SOCKS OR OTHER EROSION CONTROLS UNTIL THE CONTRIBUTING AREA IS PERMANENTLY STABILIZED.
- ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE OF THE FINAL PROJECT. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUB GRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PONDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZED DISCHARGE POINTS.
- INSTALLATION OF THE EROSION CONTROL BARRIERS AS ILLUSTRATED IS INTENDED TO REPRESENT THE MINIMUM SEDIMENTATION CONTROL FACILITIES NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS UPON COMPLETION OF WORK IN THAT AREA.



**CONSTRUCTION NOTES**

- (ATG) = ADJUST TO GRADE
- (CCW) = CEMENT CONCRETE WALK
- (CE) = CONSTRUCTION ENTRANCE
- (CFS) = COMPOST FILTER SOCK (SEE DETAIL)
- (CM) = SAWCUT AND MATCH
- (CTE) = CONNECT TO EXISTING
- (DCW) = REMOVE AND DISPOSE CONCRETE WALK
- (DD) = REMOVE AND DISPOSE DRAINAGE
- (DF) = REMOVE AND DISPOSE FENCE
- (DFG) = REMOVE AND DISPOSE FRAME & GRATE
- (DFP) = REMOVE AND DISPOSE FLEXIBLE PAVMENT
- (DLP) = REMOVE AND DISPOSE LIGHT POLE
- (DTP) = DRIPLINE TREE PROTECTION
- (ETR) = EXISTING TO REMAIN. PROTECT DURING CONSTRUCTION.
- (GV) = GATE VALVE
- (HMA) = HOT MIXED ASPHALT PAVEMENT (SEE DETAIL)
- (RTED) = REFER TO ELECTRICAL DRAWINGS
- (RTLDD) = REFER TO LANDSCAPE DRAWINGS
- (R&D) = REMOVE AND DISPOSE
- (R&S) = REMOVE AND STOCKPILE
- (TIP) = TEMPORARY INLET PROTECTION



STAMP

CONSULTANT



SHEET TITLE

CIVIL NOTES & LEGEND

PROJECT NAME

FAIRHAVEN HIGH SCHOOL  
 ATHLETIC FIELD-SYNTHETIC TURF

PROJECT ADDRESS

12 HUTTLESTONE AVE  
 FAIRHAVEN , MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

NO.	REVISIONS	DATE

DRAWN BY: AWB	CHECKED BY: JRR
DATE ISSUED: 03/22/2021	SCALE: N.T.S.
PROJ. NO. A1037	
SHEET NO. C101	

NOT FOR CONSTRUCTION



**DEMOLITION NOTES:**

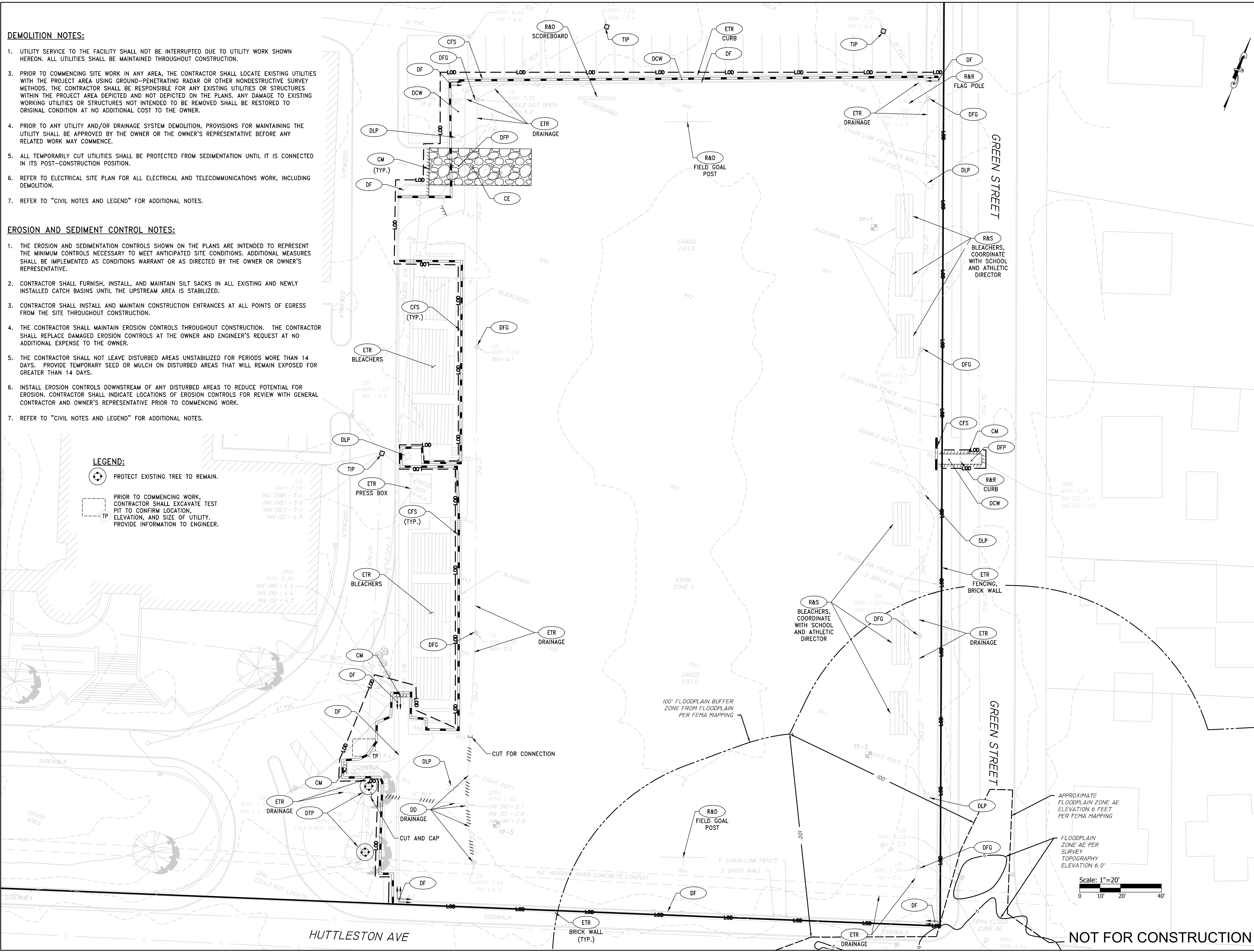
- UTILITY SERVICE TO THE FACILITY SHALL NOT BE INTERRUPTED DUE TO UTILITY WORK SHOWN HEREON. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- PRIOR TO COMMENCING SITE WORK IN ANY AREA, THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES WITH THE PROJECT AREA USING GROUND-PENETRATING RADAR OR OTHER NONDESTRUCTIVE SURVEY METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING UTILITIES OR STRUCTURES WITHIN THE PROJECT AREA DEPICTED AND NOT DEPICTED ON THE PLANS. ANY DAMAGE TO EXISTING WORKING UTILITIES OR STRUCTURES NOT INTENDED TO BE REMOVED SHALL BE RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO ANY UTILITY AND/OR DRAINAGE SYSTEM DEMOLITION, PROVISIONS FOR MAINTAINING THE UTILITY SHALL BE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE BEFORE ANY RELATED WORK MAY COMMENCE.
- ALL TEMPORARILY CUT UTILITIES SHALL BE PROTECTED FROM SEDIMENTATION UNTIL IT IS CONNECTED IN ITS POST-CONSTRUCTION POSITION.
- REFER TO ELECTRICAL SITE PLAN FOR ALL ELECTRICAL AND TELECOMMUNICATIONS WORK, INCLUDING DEMOLITION.
- REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.

**EROSION AND SEDIMENT CONTROL NOTES:**

- THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE PLANS ARE INTENDED TO REPRESENT THE MINIMUM CONTROLS NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN SILT SACKS IN ALL EXISTING AND NEWLY INSTALLED CATCH BASINS UNTIL THE UPSTREAM AREA IS STABILIZED.
- CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION ENTRANCES AT ALL POINTS OF EGRESS FROM THE SITE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN EROSION CONTROLS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL REPLACE DAMAGED EROSION CONTROLS AT THE OWNER AND ENGINEER'S REQUEST AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL NOT LEAVE DISTURBED AREAS UNSTABILIZED FOR PERIODS MORE THAN 14 DAYS. PROVIDE TEMPORARY SEED OR MULCH ON DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR GREATER THAN 14 DAYS.
- INSTALL EROSION CONTROLS DOWNSTREAM OF ANY DISTURBED AREAS TO REDUCE POTENTIAL FOR EROSION. CONTRACTOR SHALL INDICATE LOCATIONS OF EROSION CONTROLS FOR REVIEW WITH GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.

**LEGEND:**

- PROTECT EXISTING TREE TO REMAIN.
- PRIOR TO COMMENCING WORK, CONTRACTOR SHALL EXCAVATE TEST PIT TO CONFIRM LOCATION, ELEVATION, AND SIZE OF UTILITY. PROVIDE INFORMATION TO ENGINEER.



**TRAVERSE**  
landscape architects  
150 Chestnut Street, 4th Floor Providence, RI 02903  
68 Harrison Avenue, 6th Floor Boston, MA 02111

STAMP

CONSULTANT  
**PARE**  
PARE CORPORATION  
ENGINEERS - SCIENTISTS - PLANNERS  
10 LINCOLN ROAD, SUITE 210  
FOXBORO, MA 02035  
508-543-1755

SHEET TITLE  
**DEMOLITION, EROSION & SEDIMENT CONTROL PLAN**

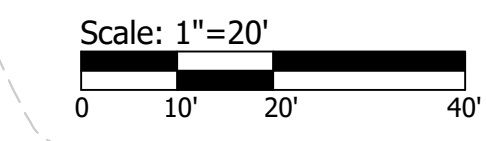
PROJECT NAME  
**FAIRHAVEN HIGH SCHOOL  
ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS  
12 HUTTLESTON AVE  
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

NO.	REVISIONS	DATE

DRAWN BY: AWB  
CHECKED BY: JRR  
DATE ISSUED: 03/22/2021  
SCALE: 1"=20'  
PROJ. NO. A1037  
SHEET NO. C201



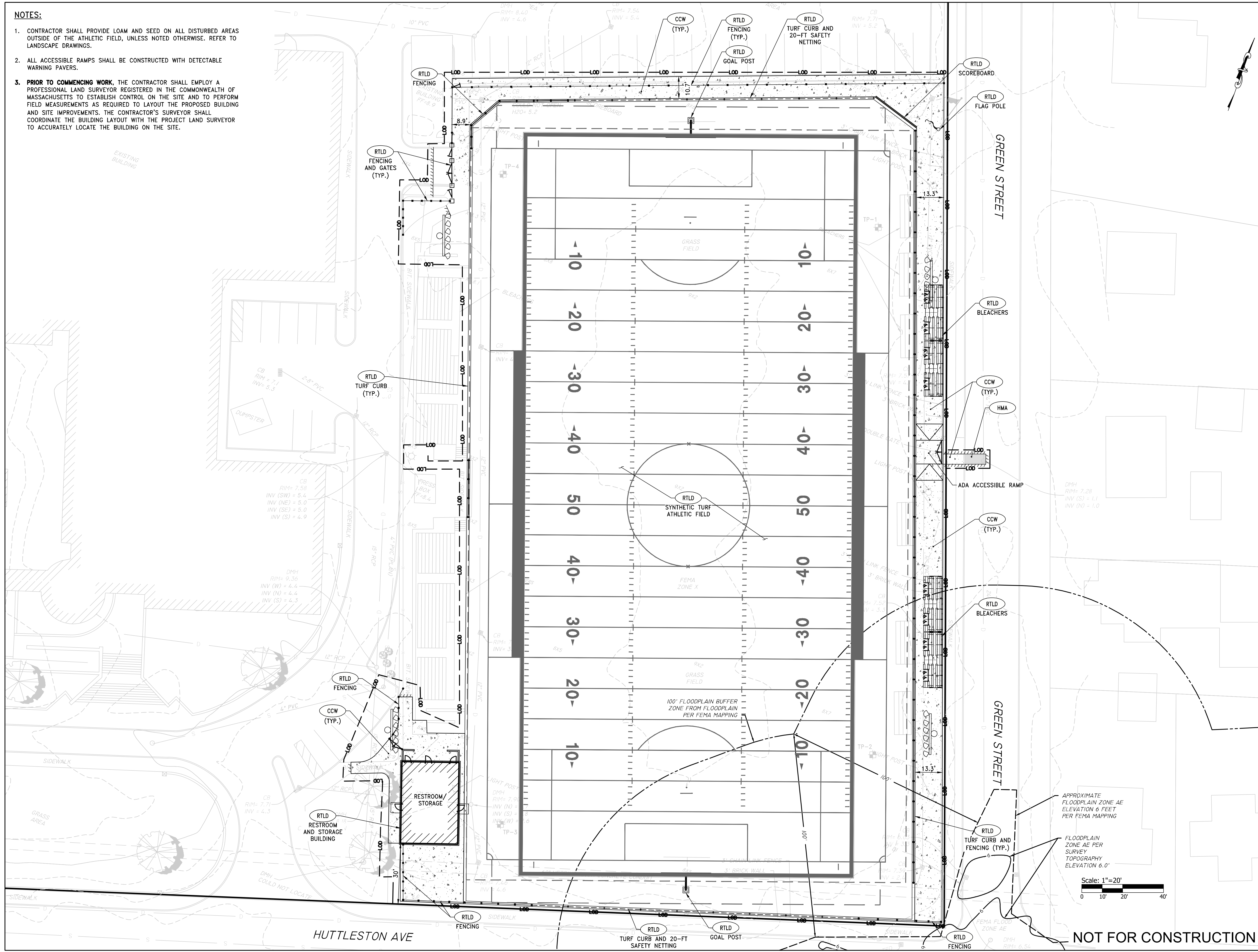
**NOT FOR CONSTRUCTION**

FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF  
DESIGN DEVELOPMENT - 03/05/2021



**NOTES:**

1. CONTRACTOR SHALL PROVIDE LOAM AND SEED ON ALL DISTURBED AREAS OUTSIDE OF THE ATHLETIC FIELD, UNLESS NOTED OTHERWISE. REFER TO LANDSCAPE DRAWINGS.
2. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING PAVERS.
3. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL EMPLOY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS TO ESTABLISH CONTROL ON THE SITE AND TO PERFORM FIELD MEASUREMENTS AS REQUIRED TO LAYOUT THE PROPOSED BUILDING AND SITE IMPROVEMENTS. THE CONTRACTOR'S SURVEYOR SHALL COORDINATE THE BUILDING LAYOUT WITH THE PROJECT LAND SURVEYOR TO ACCURATELY LOCATE THE BUILDING ON THE SITE.



**TRAVERSE**  
landscape architects  
150 Chestnut Street, 4th Floor Providence, RI 02903  
68 Harrison Avenue, 6th Floor Boston, MA 02111

STAMP

CONSULTANT  
**PARE**  
PARE CORPORATION  
ENGINEERS - SCIENTISTS - PLANNERS  
10 LINCOLN ROAD, SUITE 210  
FOXBORO, MA 02035  
508-543-1755

SHEET TITLE  
**GENERAL PLAN**

PROJECT NAME  
**FAIRHAVEN HIGH SCHOOL  
ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS  
12 HUTTLESTONE AVE  
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

NO.	REVISIONS	DATE

DRAWN BY: **AWB** CHECKED BY: **JRR**  
DATE ISSUED: **03/22/2021** SCALE: **1"=20'**  
PROJ. NO. **A1037**  
SHEET NO. **C301**

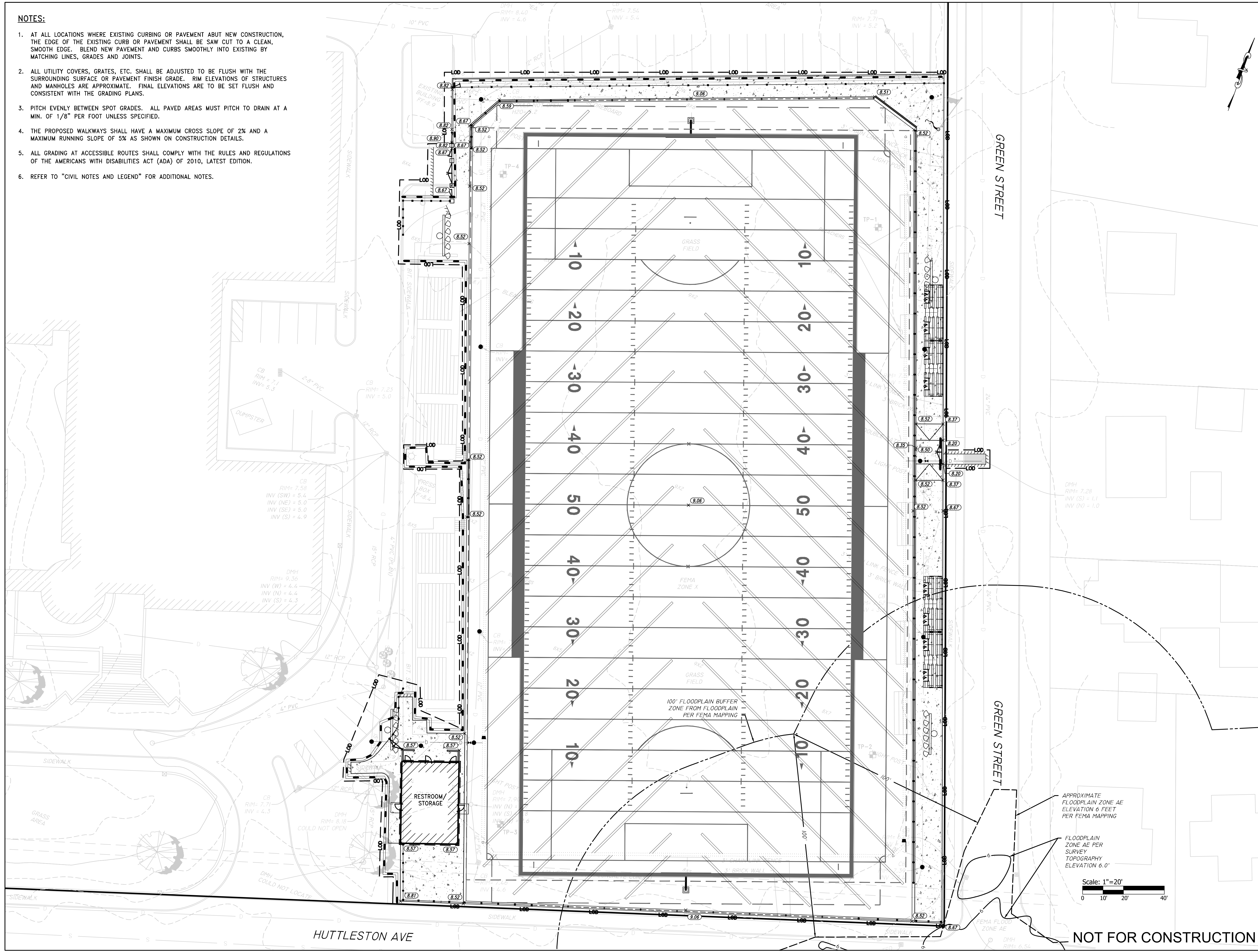
**NOT FOR CONSTRUCTION**

FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF  
DESIGN DEVELOPMENT - 03/05/2021



**NOTES:**

1. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
2. ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
3. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED.
4. THE PROPOSED WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% AS SHOWN ON CONSTRUCTION DETAILS.
5. ALL GRADING AT ACCESSIBLE ROUTES SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 2010, LATEST EDITION.
6. REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.



**TRAVERSE**  
landscape architects  
150 Chestnut Street, 4th Floor Providence, RI 02903  
68 Harrison Avenue, 6th Floor Boston, MA 02111

STAMP

CONSULTANT  
**PARE**  
PARE CORPORATION  
ENGINEERS - SCIENTISTS - PLANNERS  
10 LINCOLN ROAD, SUITE 210  
FOXBORO, MA 02035  
508-543-1755

SHEET TITLE  
**GRADING PLAN**

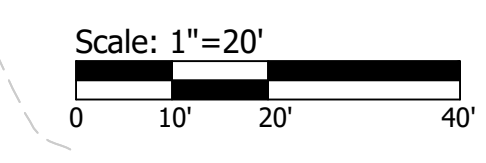
PROJECT NAME  
**FAIRHAVEN HIGH SCHOOL  
ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS  
12 HUTTLESTONE AVE  
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

NO.	REVISIONS	DATE

DRAWN BY: **AWB** CHECKED BY: **JRR**  
DATE ISSUED: **03/22/2021** SCALE: **1"=20'**  
PROJ. NO. **A1037**  
SHEET NO. **C401**



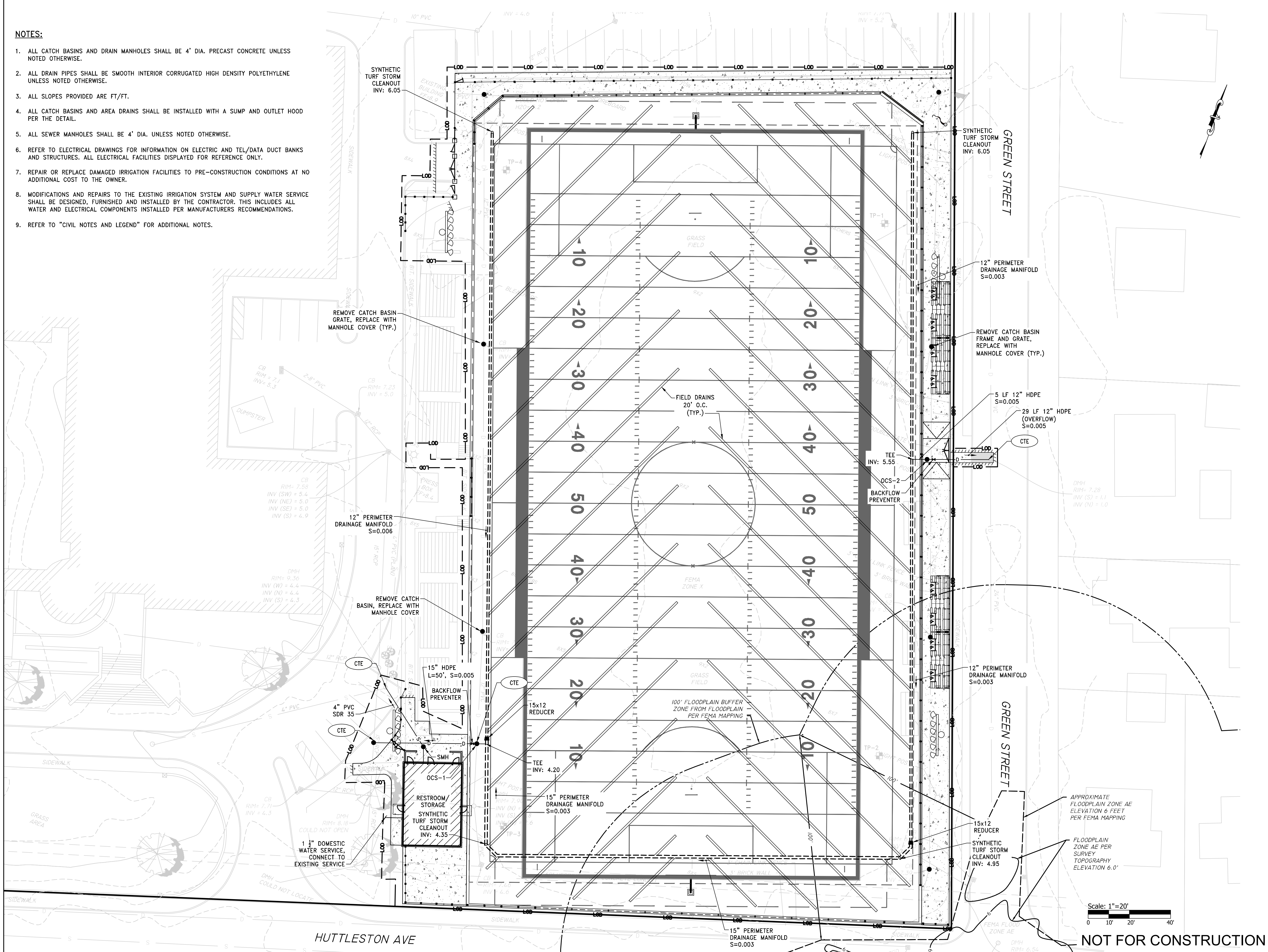
**NOT FOR CONSTRUCTION**

FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF  
DESIGN DEVELOPMENT - 03/05/2021



**NOTES:**

1. ALL CATCH BASINS AND DRAIN MANHOLES SHALL BE 4' DIA. PRECAST CONCRETE UNLESS NOTED OTHERWISE.
2. ALL DRAIN PIPES SHALL BE SMOOTH INTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE UNLESS NOTED OTHERWISE.
3. ALL SLOPES PROVIDED ARE FT/FT.
4. ALL CATCH BASINS AND AREA DRAINS SHALL BE INSTALLED WITH A SUMP AND OUTLET HOOD PER THE DETAIL.
5. ALL SEWER MANHOLES SHALL BE 4' DIA. UNLESS NOTED OTHERWISE.
6. REFER TO ELECTRICAL DRAWINGS FOR INFORMATION ON ELECTRIC AND TEL/DATA DUCT BANKS AND STRUCTURES. ALL ELECTRICAL FACILITIES DISPLAYED FOR REFERENCE ONLY.
7. REPAIR OR REPLACE DAMAGED IRRIGATION FACILITIES TO PRE-CONSTRUCTION CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
8. MODIFICATIONS AND REPAIRS TO THE EXISTING IRRIGATION SYSTEM AND SUPPLY WATER SERVICE SHALL BE DESIGNED, FURNISHED AND INSTALLED BY THE CONTRACTOR. THIS INCLUDES ALL WATER AND ELECTRICAL COMPONENTS INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
9. REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.



STAMP

CONSULTANT



SHEET TITLE

**DRAINAGE & UTILITY PLAN**

PROJECT NAME

**FAIRHAVEN HIGH SCHOOL  
ATHLETIC  
FIELD-SYNTHETIC TURF**

PROJECT ADDRESS

12 HUTTLESTONE AVE  
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

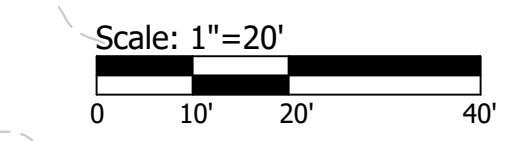
NO.	REVISIONS	DATE

DRAWN BY: **AWB**      CHECKED BY: **JRR**

DATE ISSUED: **03/22/2021**      SCALE: **1"=20'**

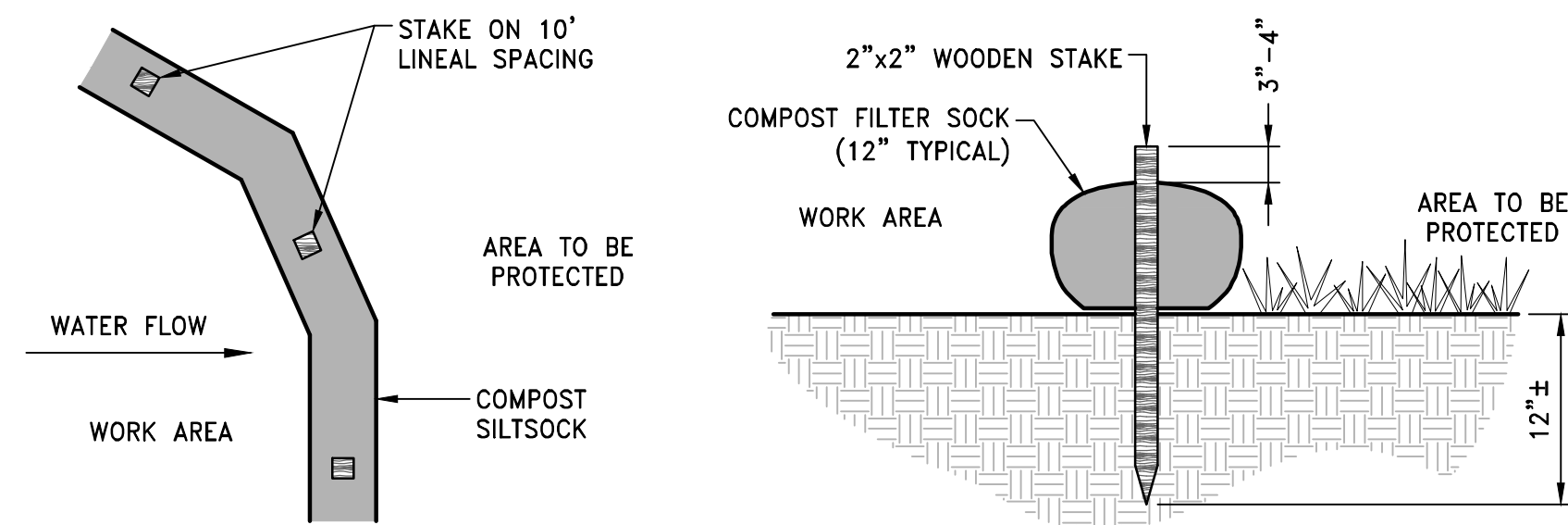
PROJ. NO. **A1037**

SHEET NO. **C501**



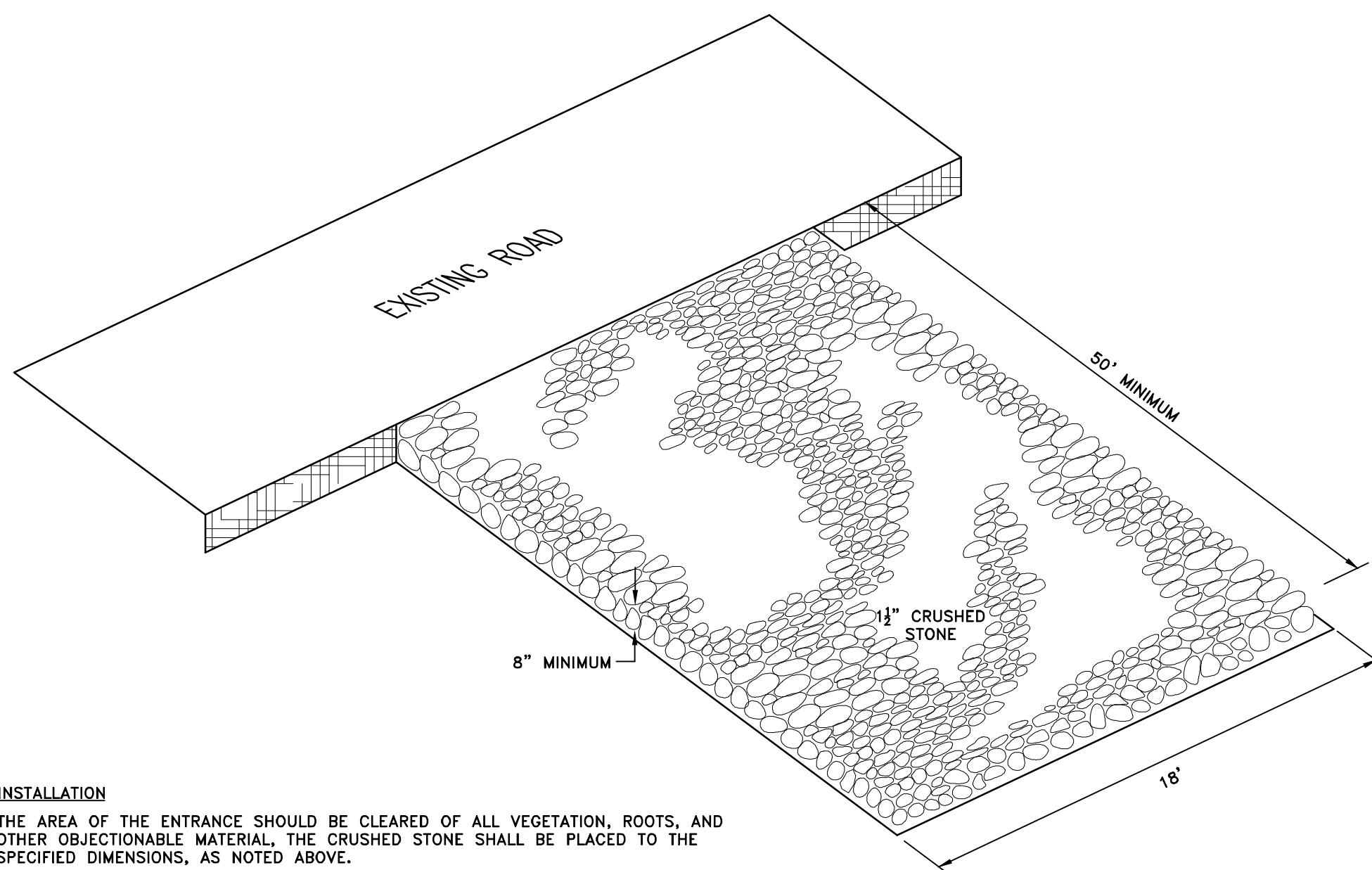
**NOT FOR CONSTRUCTION**





- NOTES:**
1. COMPOST/ SOIL/ ROCK/ SEED FILL TO MEET APPLICATION REQUIREMENTS.
  2. COMPOST MATERIAL TO BE REMOVED OR DISPERSED ON SITE AS DETERMINED BY ENGINEER.
  3. IF SOCK NETTING MUST BE JOINED, FIT BEGINNING OF NEW SOCK OVER END OF OLD SOCK, OVERLAPPING BY 2 FEET AND STACK OVERLAP. IF SOCK NETTING IS NOT JOINED, OVERLAP OLD SOCK WITH NEW ONE BY MINIMUM OF 2 FEET.

**CFS COMPOST FILTER SOCK DETAIL**  
NOT TO SCALE

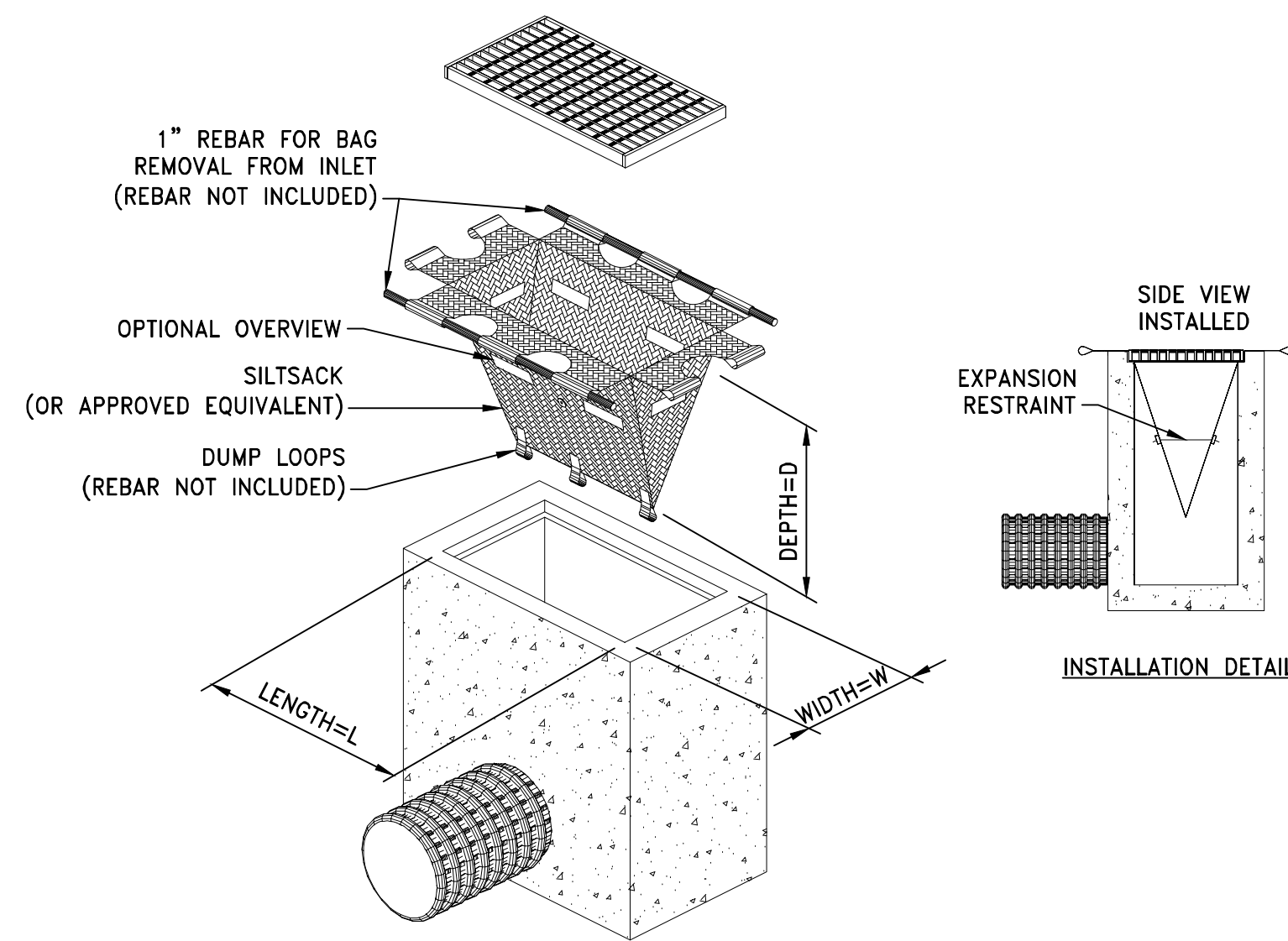


**INSTALLATION**  
THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE CRUSHED STONE SHALL BE PLACED TO THE SPECIFIED DIMENSIONS, AS NOTED ABOVE.

**MAINTENANCE**  
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHT-OF-WAYS. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND / OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

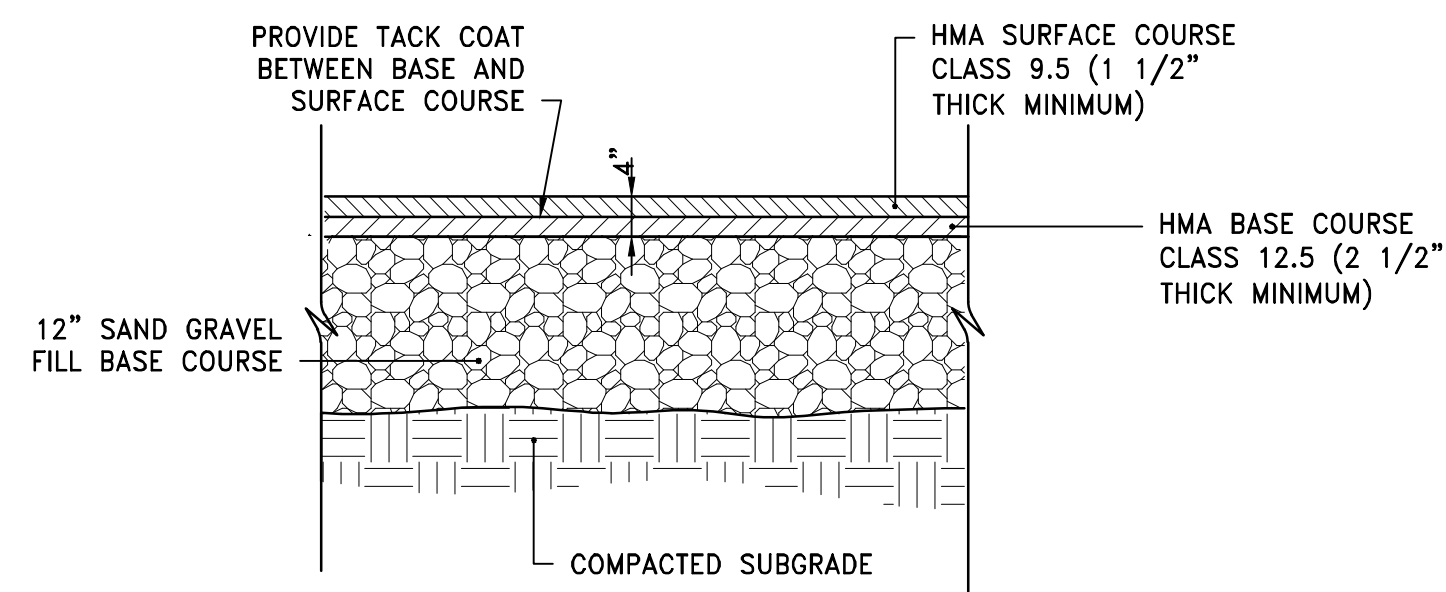
**LOCATION**  
SEE PROJECT PLANS FOR LOCATION OF CONSTRUCTION ENTRANCE.

**CONSTRUCTION ENTRANCE PROTECTION STONE STABILIZATION PAD**  
NOT TO SCALE



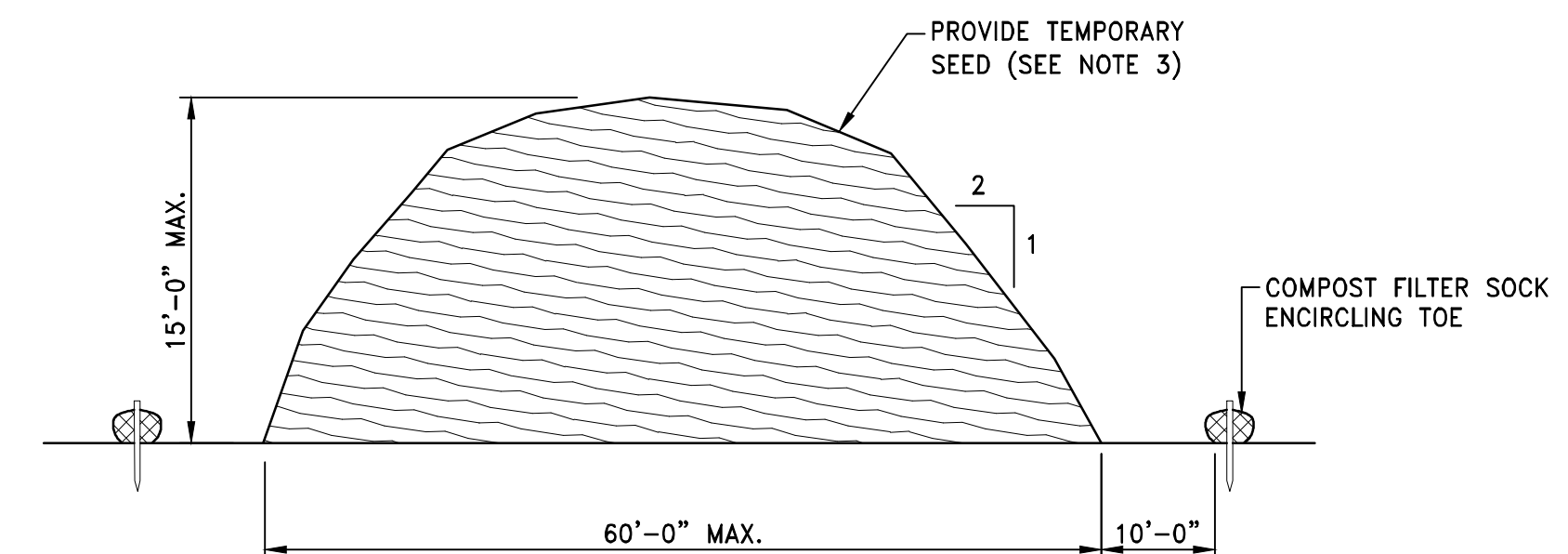
- NOTES:**
1. INLET PROTECTION SHALL BE CLEANED OF SILT AND DEBRIS ON A REGULAR BASIS AS REQUIRED BY PROJECT SPECIFIC SESC.
  2. INSPECTIONS SHALL BE DONE AFTER EACH RAIN EVENT AND AT A MINIMUM EVERY TWO WEEKS AND AS REQUIRED BY PROJECT SPECIFIC SESC.

**TIP TEMPORARY INLET PROTECTION**  
NOT TO SCALE



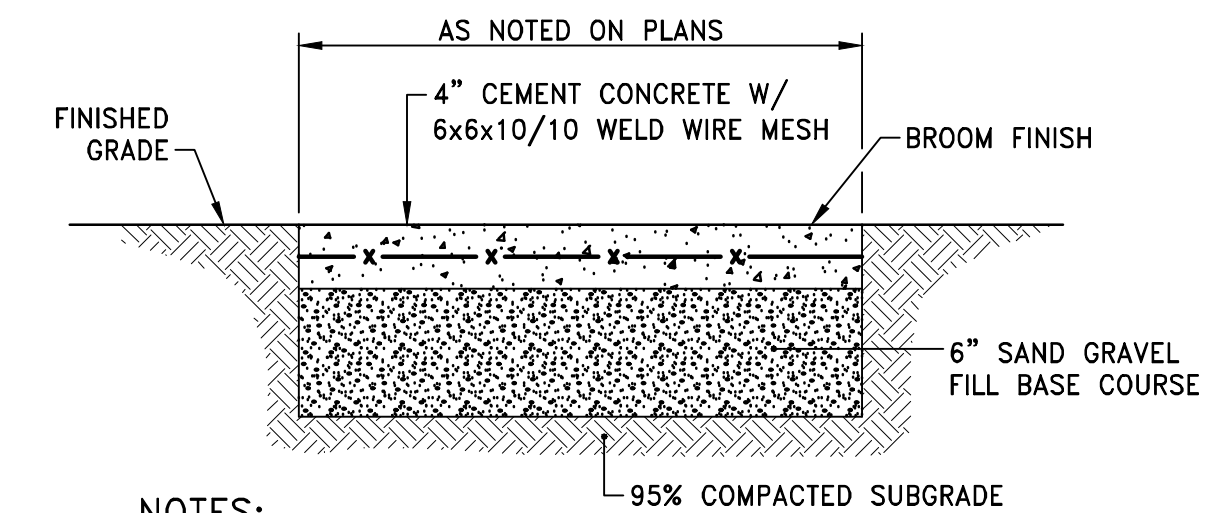
- NOTE:**
1. SUBMIT JOB MIX FORMULAS TO ENGINEER FOR APPROVAL PRIOR TO PLACEMENT.

**HMA HOT MIX ASPHALT PAVEMENT**  
NOT TO SCALE



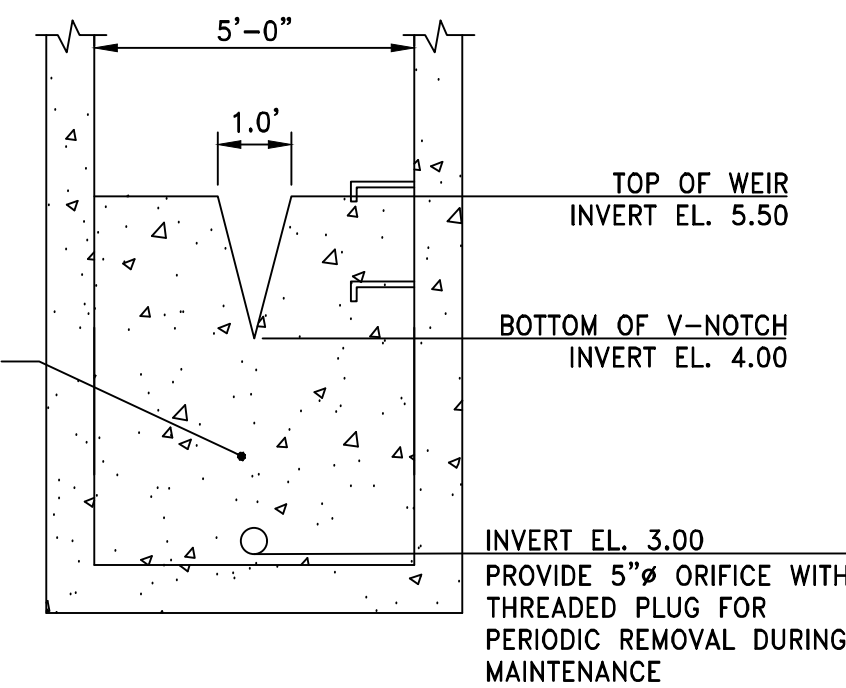
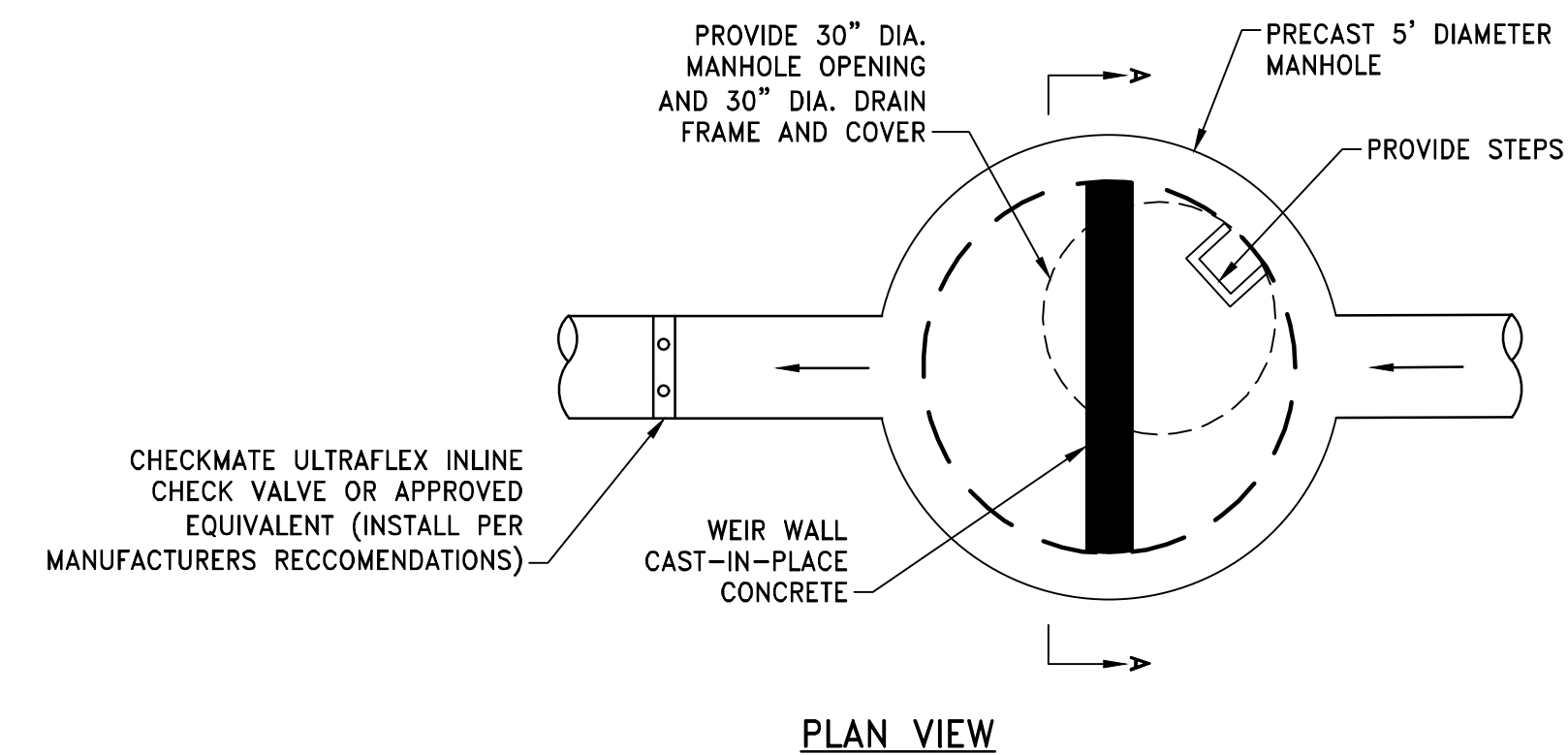
- NOTES:**
1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PREPARE A PLAN SHOWING THE PROPOSED LOCATION OF ALL STOCKPILE AREAS.
  2. STOCKPILE AREA SHALL NOT EXCEED SPECIFIED DIMENSIONS WITHOUT APPROVAL FROM ENGINEER.
  3. STOCKPILED ERODIBLE MATERIAL THAT WILL NOT BE USED FOR GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEED IMMEDIATELY FOLLOWING PLACEMENT.

**ERODIBLE MATERIAL STOCKPILE**  
NOT TO SCALE

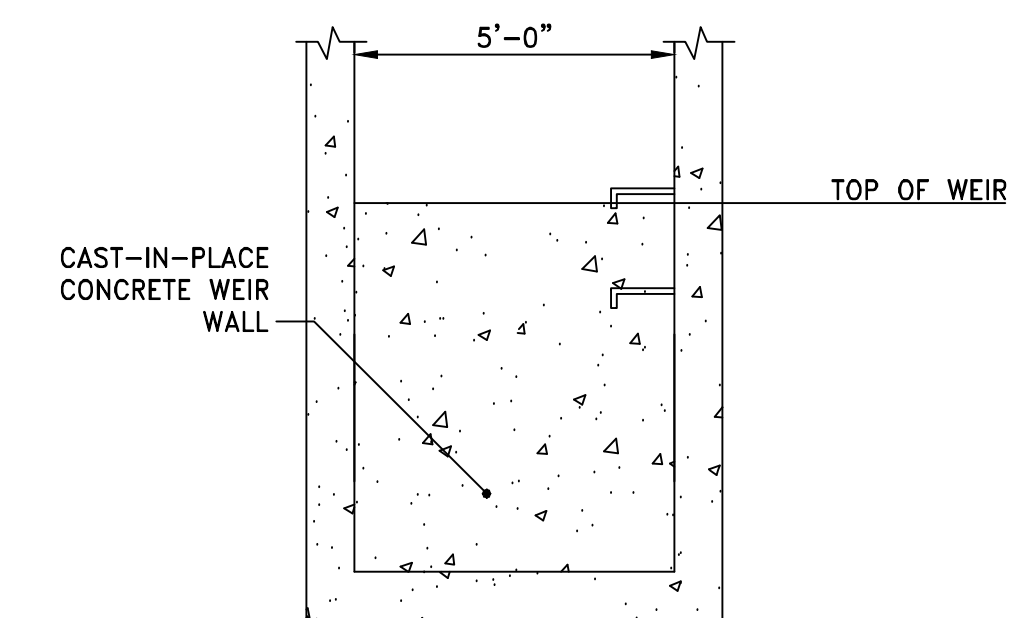


- NOTES:**
1. CONCRETE SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASSDOT STANDARD SPECIFICATIONS.
  2. WIRE MESH SHALL BE IN ACCORDANCE WITH MASSDOT STANDARD SPECIFICATIONS.

**TYPICAL CEMENT CONCRETE SIDEWALK**  
NOT TO SCALE



**OUTLET CONTROL STRUCTURE (OCS-1) DETAIL**  
NOT TO SCALE



**OUTLET CONTROL STRUCTURE (OCS-2) DETAIL**  
NOT TO SCALE

STAMP

CONSULTANT



SHEET TITLE

CIVIL DETAILS 1

PROJECT NAME

FAIRHAVEN HIGH SCHOOL  
ATHLETIC FIELD-SYNTHETIC TURF

PROJECT ADDRESS

12 HUTTLESTONE AVE  
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

NO.	REVISIONS	DATE

DRAWN BY: AWB	CHECKED BY: JRR
DATE ISSUED: 03/22/2021	SCALE: N.T.S.
PROJ. NO. A1037	
SHEET NO. C601	

NOT FOR CONSTRUCTION

FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF



STAMP

CONSULTANT



SHEET TITLE

CIVIL DETAILS 2

PROJECT NAME

FAIRHAVEN HIGH SCHOOL  
ATHLETIC FIELD-SYNTHETIC TURF

PROJECT ADDRESS

12 HUTTLESTONE AVE  
FAIRHAVEN, MA 02719

SUBMITTAL DATE

SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

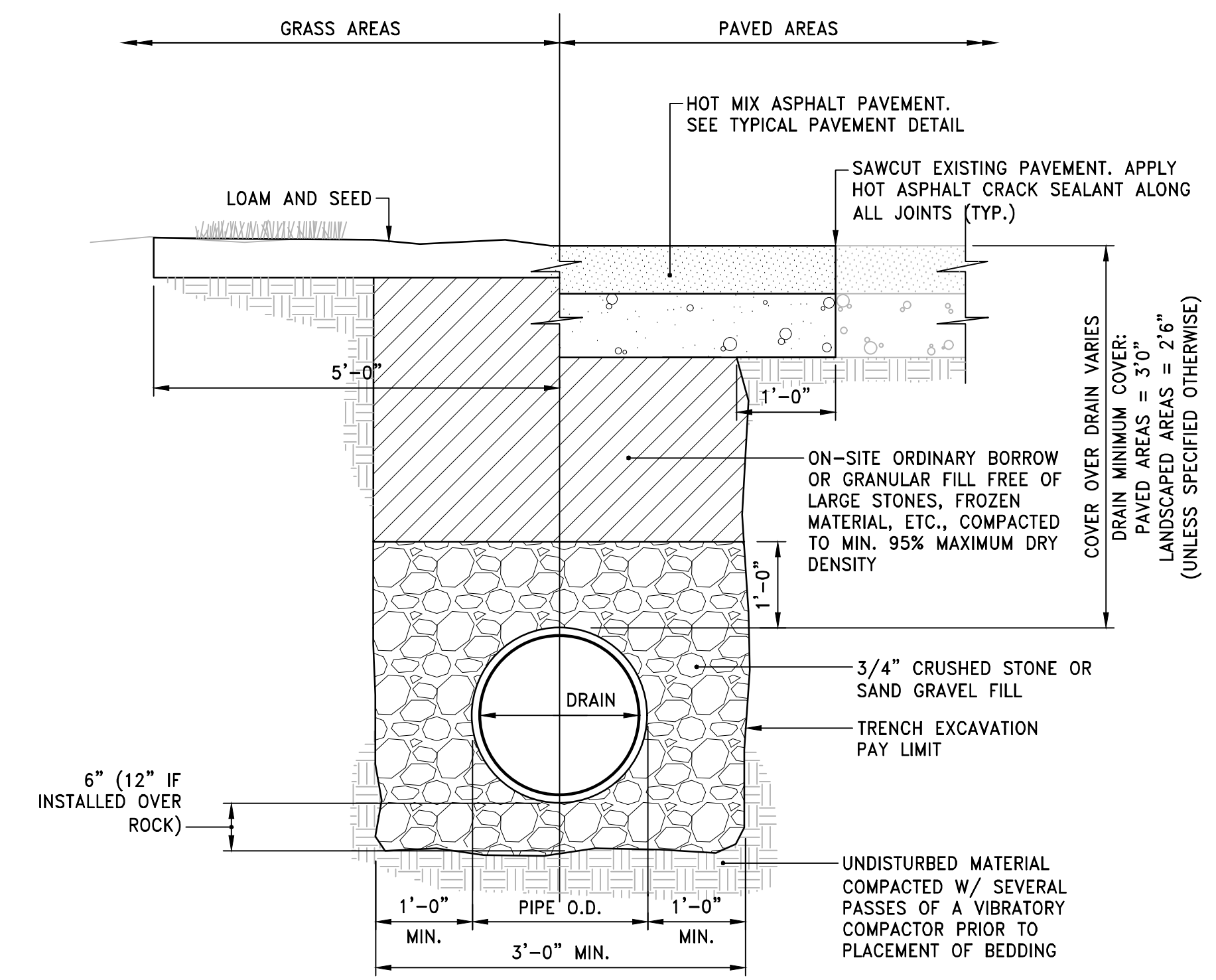
NO. REVISIONS DATE


DRAWN BY: AWB CHECKED BY: JRR

DATE ISSUED: 03/22/2021 SCALE: N.T.S.

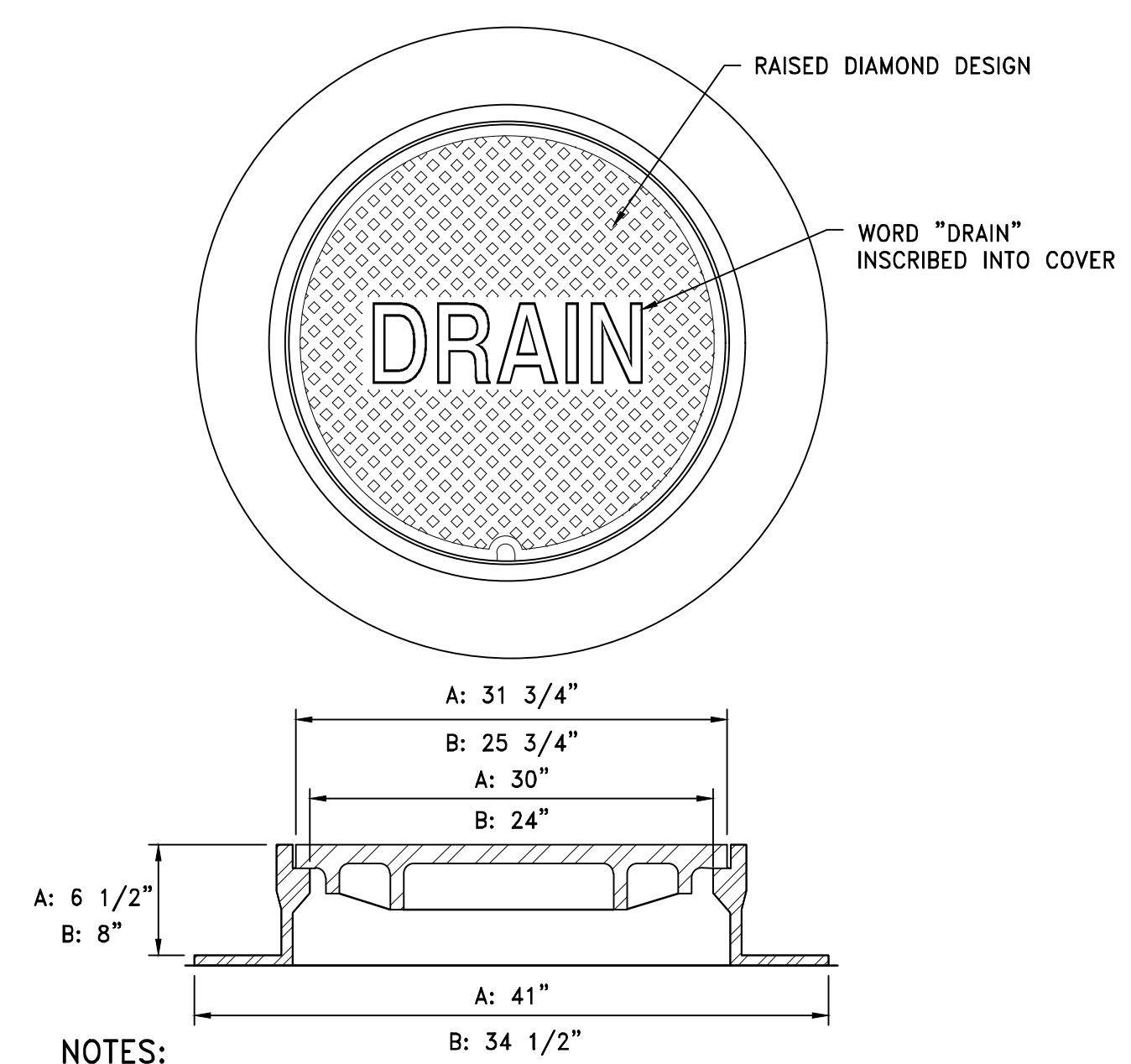
PROJ. NO. A1037

SHEET NO. C602



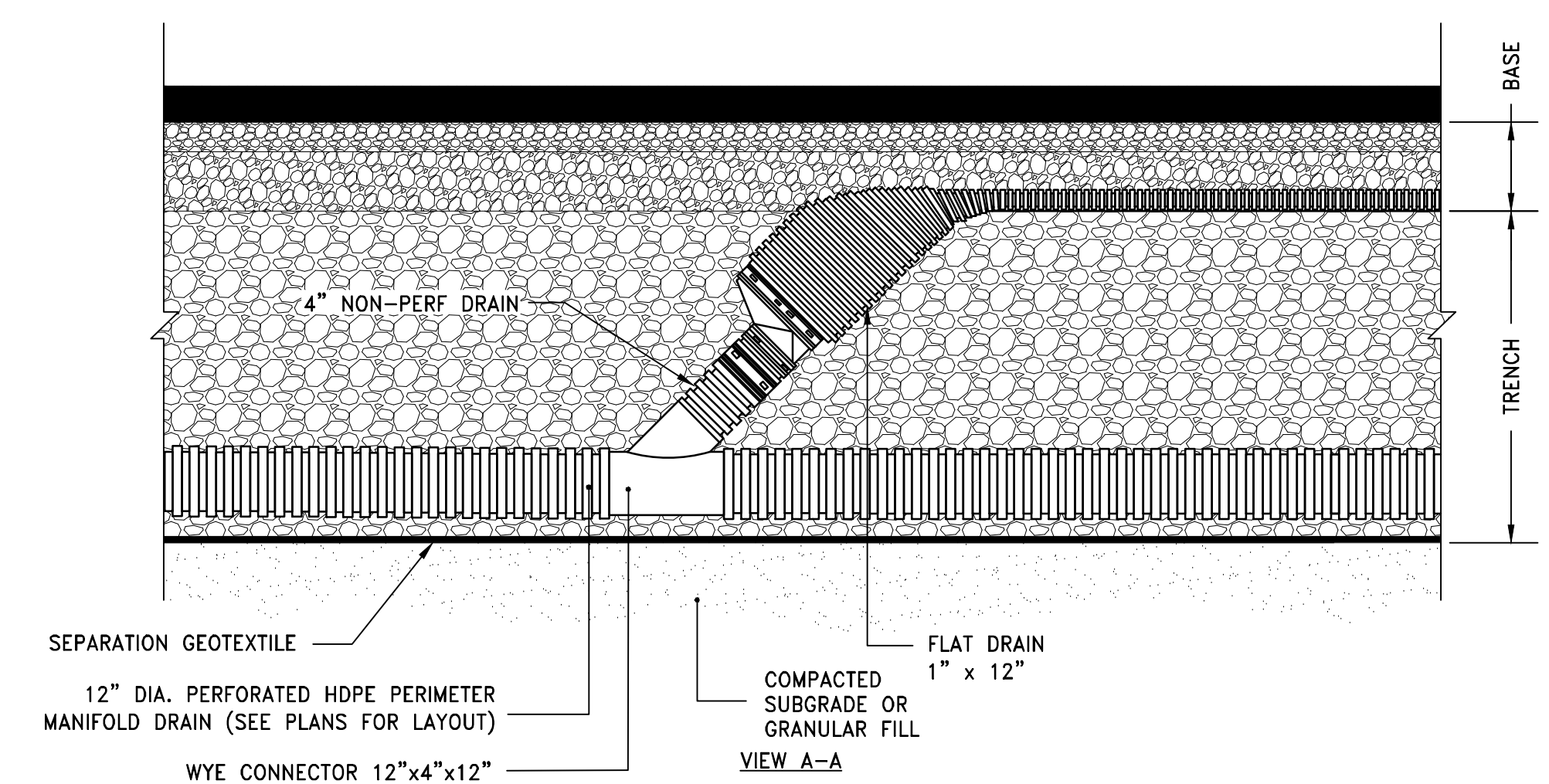
- NOTES:
- WHERE THE DISTANCE BETWEEN THE SAWCUT AND EDGE OF PAVEMENT IS 3' OR LESS, THE CONTRACTOR SHALL REPLACE THE PAVEMENT FROM THE TRENCH EDGE TO THE EXISTING EDGE OF PAVEMENT.
  - 3/4" DIA. CRUSHED STONE SHALL BE USED AS BEDDING WHERE TRENCH IS BELOW THE GROUND WATER TABLE.

**DRAIN TRENCH DETAIL**  
NOT TO SCALE

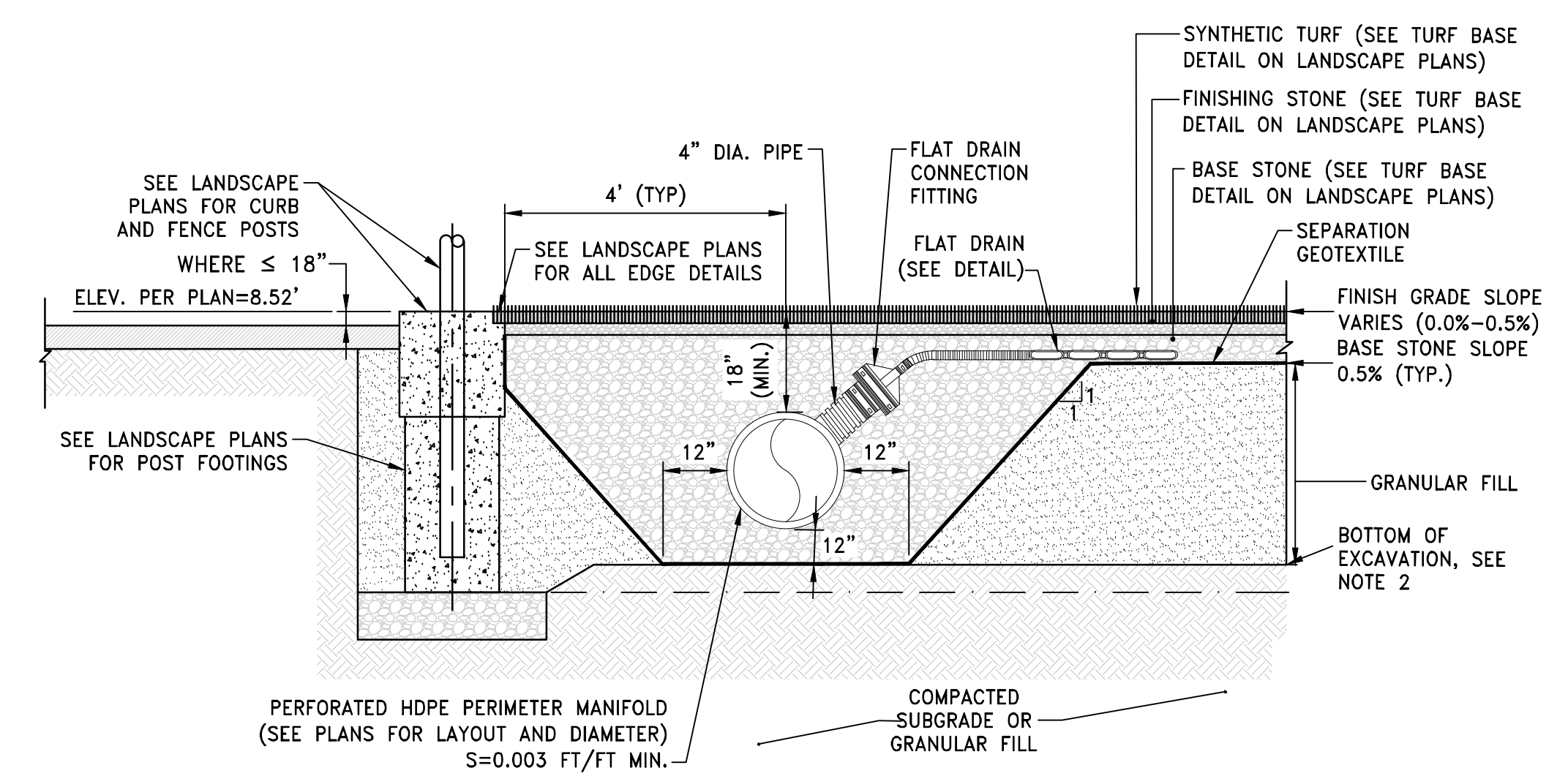


- NOTES:
- ALL FRAMES AND COVERS SHALL MEET H-20 LOADING CRITERIA.
  - PROVIDE:
    - A: 30" DIA. DRAIN MANHOLE FRAME AND COVER SHALL BE NEENAH FOUNDRY, INC. MODEL #R-1557 OR APPROVED EQUIVALENT.
    - B: 24" DIA. DRAIN MANHOLE FRAME AND COVER SHALL BE NEENAH FOUNDRY, INC. MODEL #R-1556 OR APPROVED EQUIVALENT.
  - ALL DRAIN MANHOLES SHALL HAVE 24" DIA. DRAIN MANHOLE COVER UNLESS NOTED OTHERWISE.

**DRAIN MANHOLE FRAME & COVER**  
NOT TO SCALE

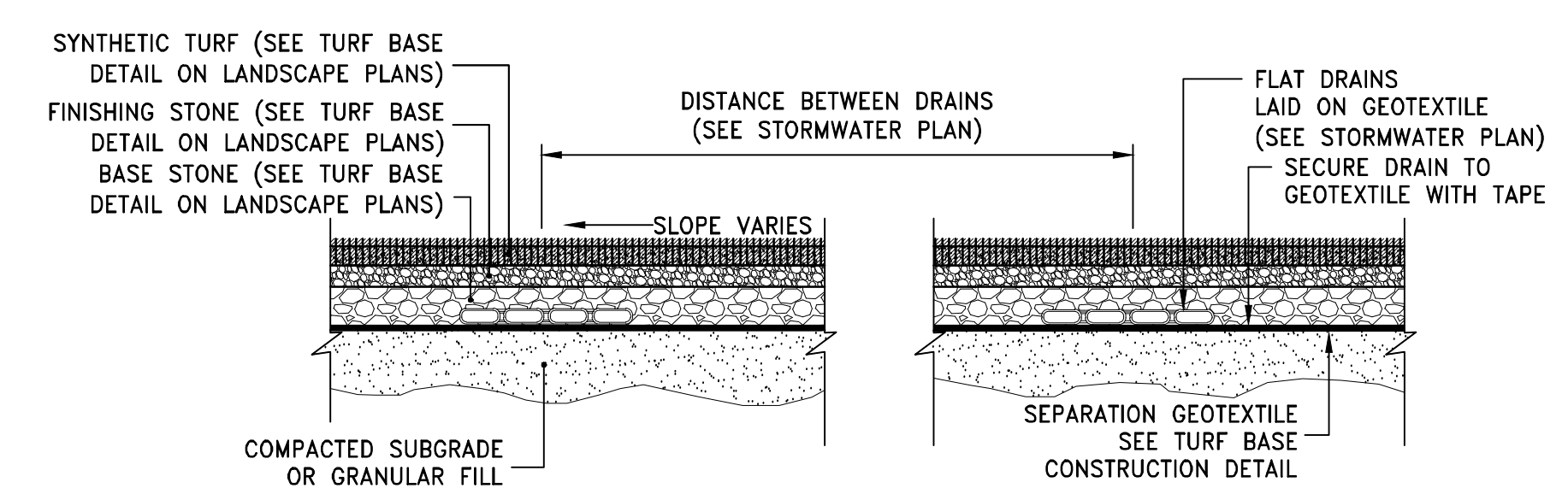


**CONNECTION BETWEEN FLAT DRAIN & PERIMETER OR COLLECTOR DRAIN**  
NOT TO SCALE

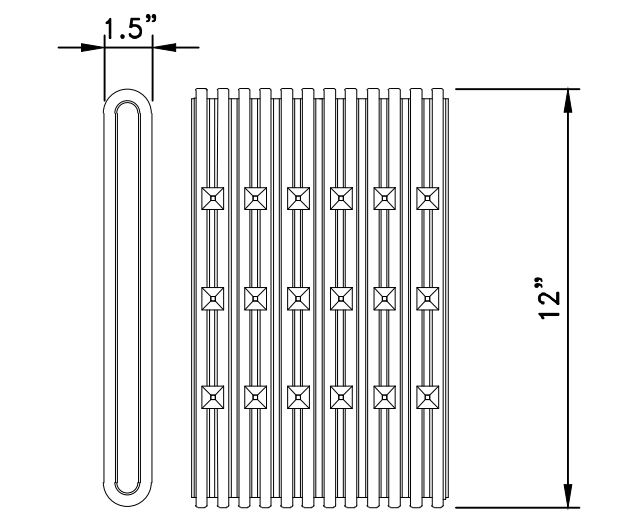


- NOTES:
- SUBGRADE SHALL BE EVALUATED BY A PROFESSIONAL ENGINEER TO DETERMINE SUITABILITY OF THE SUBGRADE. IF THE SOIL IS DETERMINED TO BE UNSUITABLE IT SHALL BE OVEREXCAVATED TO THE BOTTOM OF SILT LAYER.
  - WITHIN ALL SYNTHETIC TURF AREAS THE CONTRACTOR SHALL EXCAVATE TO REMOVE ALL 'A'-LAYER SOILS AND EXISTING FILL MATERIALS AS REPRESENTED IN THE TEST PIT AND BORING LOGS.

**TYPICAL PERIMETER MANIFOLD SECTION**  
NOT TO SCALE



**FLAT DRAINS UNDER SYNTHETIC TURF FIELD**  
NOT TO SCALE



NOTES:

- SLOT LENGTH (AVG), IN.= 1.125
- SLOT WIDTH (AVG), IN.= 0.125
- WATER INLET AREA (APPROX), IN.<sup>2</sup>/FT = 20

- NOTES:
- DRAIN SHALL HAVE ANNULAR INTERIOR AND EXTERIOR CORRUGATIONS AND SHALL MEET ASTM D7001.
  - OUTSIDE DIMENSIONS SHALL BE 1.5" THICK BY 12" WIDE. SHALL HAVE INTERNAL BRACING ADJOINING EACH LONG WALL TO PREVENT CRUSHING UNDER TYPICAL LOADING. SHALL BE MADE WITH GEOTEXTILE WRAP.
  - ALL PIPE AND FITTINGS SHALL BE MADE OF POLYETHYLENE WITH A MINIMUM CELL CLASSIFICATION OF 424420C AS DEFINED AND DESCRIBED IN ASTM D3350.

**FLAT DRAIN DETAIL**  
NOT TO SCALE

NOT FOR CONSTRUCTION

FAIRHAVEN HS ATHLETIC FIELD-SYNTHETIC TURF DESIGN DEVELOPMENT - 03/05/2021



**GENERAL INFORMATION**

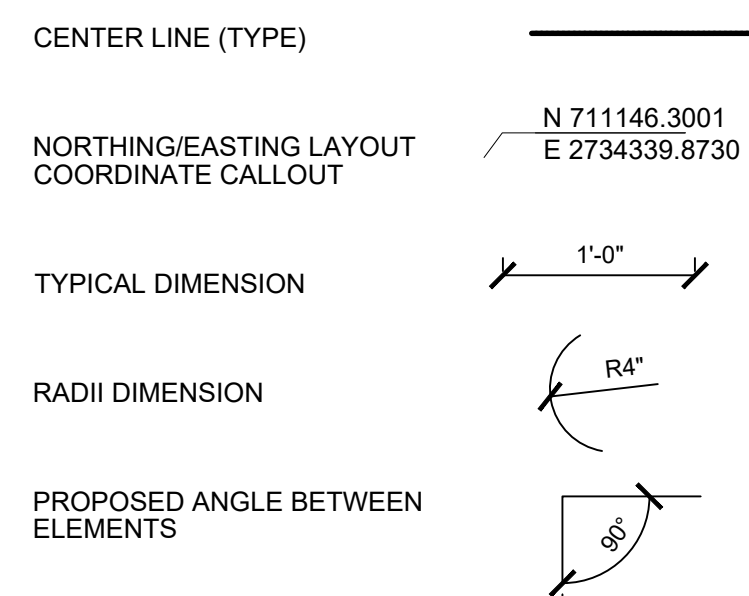
- SITE SAFETY AND PEDESTRIAN SAFETY IS OF EXTREME IMPORTANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXECUTING THE WORK IN A SAFE MANNER AND WILL BE EXPECTED TO WORK OFF HOURS AS REQUIRED TO ACCOMMODATE CAMPUS ACTIVITIES WHILE MAINTAINING THE PROJECT SCHEDULE.
- CONTRACTOR TO COORDINATE WITH PUBLIC SAFETY AND PARKING THROUGH THE CONSTRUCTION MANAGER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLIANCE WITH ALL OSHA REGULATIONS, COMPLIANCE IS MANDATORY.
- SITE FENCING SHALL BE ERECTED BY THE CONTRACTOR AND APPROVED BY THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- VEHICULAR TRAFFIC OR PARKING OF CONSTRUCTION VEHICLES UNDER THE DRIP LINES (IN OR OUT OF THE CONSTRUCTION LIMITS) OF TREES IS STRICTLY PROHIBITED AND VEHICLES MAY BE TOWED.
- UNFORESEEN CONDITIONS ARE INHERENT TO UNDERGROUND WORK AND ARE TO BE EXPECTED WITH THIS PROJECT. THE CONTRACTOR WILL RESPOND TO UNFORESEEN CONDITIONS AND PROVIDE THE NEEDED MANPOWER AND EQUIPMENT NECESSARY TO COMPLETE THE PROJECT BY THE CONTRACT COMPLETION DATE.
- STAKING SHALL BE PROVIDED AND PAID FOR BY THE CONTRACTOR. STAKING TO BE PERFORMED BY LICENSED LAND SURVEYOR.
- SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
- ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SET FORTH AS A SPECIFIC BID ITEM, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
- REPAIR OR REPLACE EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) TO REMAIN, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- IT IS INTENDED THAT ALL COSTS OF MATERIALS, EQUIPMENT, TOOLS, LABOR AND INCIDENTALS BE PAID FOR UNDER THE ITEMS LISTED ON THE BIDDER'S PROPOSAL. BEFORE SUBMITTING A BID ON THIS PROJECT, THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS, SPECIFICATIONS, SPECIAL PROVISIONS AND

- THE JOB SITE. IF ANY DISCREPANCIES OR DELETIONS OCCUR IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPORT SAME TO THE OWNERS REPRESENTATIVE IN WRITING AND OBTAIN WRITTEN CLARIFICATION AND/OR INSTRUCTIONS ON HOW TO PROCEED.
- WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSE, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY THE OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE INSTRUCTIONS ,WORK DONE BEYOND THE LINES SHOWN ON THE PLANS OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.
  - CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE TOTAL SCOPE OF WORK AND ALL REQUIRED COORDINATION PRIOR TO SUBMITTING THEIR BID PROPOSAL, AND PRIOR TO COMMENCING WORK.
  - THE LOCATIONS OF ALL KNOWN UNDERGROUND UTILITIES ARE NOTED ON THE DRAWINGS. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR, PRIOR TO THE START OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES IN THE FIELD. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE EXACT FIELD LOCATION OF UTILITIES. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED, IN WRITING, OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTIONS TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.

**LAYOUT NOTES:**

- ALL LINES ARE PERPENDICULAR OR PARALLEL TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- DIMENSIONS OF PARKING SPACES AND DRIVEWAYS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ACCESSIBLE RAMPS SHALL BE PER THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY AND MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) GUIDELINES AND INCLUDE DETECTABLE WARNING PLATES. SEE CIVIL ENGINEERING PLANS FOR ALL TIP DOWN GRADING AND LOCATIONS
- AUTOCAD PLANS OR ADDITIONAL COORDINATES WILL BE PROVIDED AFTER THE AWARD OF THE BID.

**LAYOUT LEGEND:**



**EXISTING CONDITIONS NOTES**

- UTILITY INFORMATION SHOWN IS BASED ON UTILITY LOCATES BY THE OPERATING AUTHORITY OF EACH UTILITY, SURFACE FEATURES, AND RECORD DRAWINGS. NO SUBSURFACE INVESTIGATION HAS BEEN MADE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES. CALL DIG SAFE 811 FOR UTILITY LOCATES PRIOR TO CONSTRUCTION.
- ALL NEW CONSTRUCTION THAT IS IN CLOSE PROXIMITY TO EXISTING OR NEW UTILITIES SHALL BE PLANNED AND EXECUTED CAREFULLY SO THAT UTILITIES ARE NOT DAMAGED. CONTRACTOR SHALL PHYSICALLY VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCING WORK.

**STAKING CONTROL POINTS**

CP	NORTHING	EASTING	ELEVATION
----	----------	---------	-----------

**STAKING/LAYOUT NOTES**

- ALL STAKING CONTROL POINTS SHALL BE PROTECTED THROUGHOUT THE PROJECT.
- STAKING AND LAYOUT FOR THIS PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- COORDINATES WILL BE PROVIDED FOR THE WORK SHOWN ON THE LANDSCAPE LAYOUT SHEETS. ELECTRONIC AUTOCAD FILES WILL BE PROVIDED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE STAKING AND LAYOUT BASED ON ELECTRONIC DRAWING DATA.
- UNLESS OTHERWISE APPROVED, IT IS EXPECTED THAT UTILITY ELEVATIONS ARE CAREFULLY OBTAINED FROM THE PLANS, AND THAT UTILITIES WILL BE INSTALLED AS CLOSE TO PRECISE PROFILE ELEVATIONS AS CONSTRUCTION METHODS WILL REASONABLY ALLOW.

**ABBREVIATIONS**

ACC ASPHALT	MJ MECHANICAL JOINT
ABAN ABANDONED	OE OVERHEAD ELECTRIC
	PCC PORTLAND CEMENT CONCRETE
	PL PROPERTY LINE
	PVC POLYVINYL CHLORIDE PIPE
	RCP REINFORCED CONCRETE PIPE
	REQD/REQD REQUIRED
DIA DIAMETER	RGS RIGID STEEL
DIP DUCTILE IRON PIPE	RJ RESTRAINED JOINT
DW DOMESTIC WATER	DIP DUCTILE IRON PIPE
FO FIBER OPTIC	ROW RIGHT-OF-WAY
FW FIRE WATER	SAN SANITARY SEWER
HPS HIGH PRESSURE STEAM	SMH SANITARY MANHOLE
IE INVERT ELEVATION	STM STEAM
	STRM STORM SEWER
	TELU TELECOMMUNICATIONS
LF LINEAR FEET	TEMP TEMPORARY
	UE UNDERGROUND ELECTRIC
MH MANHOLE	WAT/W WATER MAIN

**SPOT GRADES ABBREVIATIONS**

FFE FINISHED FLOOR ELEVATION
TC TOP OF CURB
TOW TOP OF WALK
TW TOP OF WALL
BW BOTTOM OF WALL
TS TOP OF STEP
BS BOTTOM OF STEP
EOR END OF RADIUS
HP HIGH POINT
LP LOW POINT
PT POINT OF TANGENCY

FINISHED FLOOR ELEVATION

FFE 568.00

NUMBER OF RISERS + HEIGHT

17R@6"

LEGEND	
SITE	
SYMBOL	DESCRIPTION
	BOLLARD POLE
	HANDICAPPED PARKING
	SLOPE ARROW
	FLOW ARROW
	SINGLE POLE SIGN
	DOUBLE POLE SIGN

**LEGEND UTILITIES**

EXISTING	DESCRIPTION	PROPOSED
	CABLE LINE - OVERHEAD	
	CABLE LINE - UNDERGROUND	
	ELECTRIC LINE - OVERHEAD	
	ELECTRICAL LINE - UNDERGROUND	
	GAS MAIN	
	SANITARY SEWER	
	STEAM	
	STORM SEWER	
	OVERHEAD TELEPHONE	
	FIBER OPTICS	
	UNDERGROUND TELEPHONE	
	WATER MAIN	

**LEGEND FENCE AND CURB**

DESCRIPTION	PROPOSED
CHAIN LINK FENCE 4'	
ORNAMENTAL FENCE	
BALL SAFETY NETTING 12'	
BALL SAFETY NETTING 20'	
ORNAMENTAL FENCE AND NET COMBINATION	
TREE PROTECTION	
14" CURB EXPOSED WITH PT NAILER	
14" FIELD CURB	



STAMP

CONSULTANT

SHEET TITLE

LEGEND SCHEDULE AND GENERAL NOTES

PROJECT NAME

FAIRHAVEN HIGH SCHOOL  
ATHLETIC FIELD-SYNTHETIC TURF

PROJECT ADDRESS

12 HUTTLESTONE AVE  
FAIRHAVEN , MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
PERMITTING	2021/03/22

NO.	REVISIONS	DATE

DRAWN BY: JR CHECKED BY: AE

DATE ISSUED: 03/05/2021 SCALE:

PROJ. NO. A1037

SHEET NO. L0.01

LEGEND SCHEDULES AND GENERAL NOTES

FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF

DESIGN DEVELOPMENT - 03/05/2021



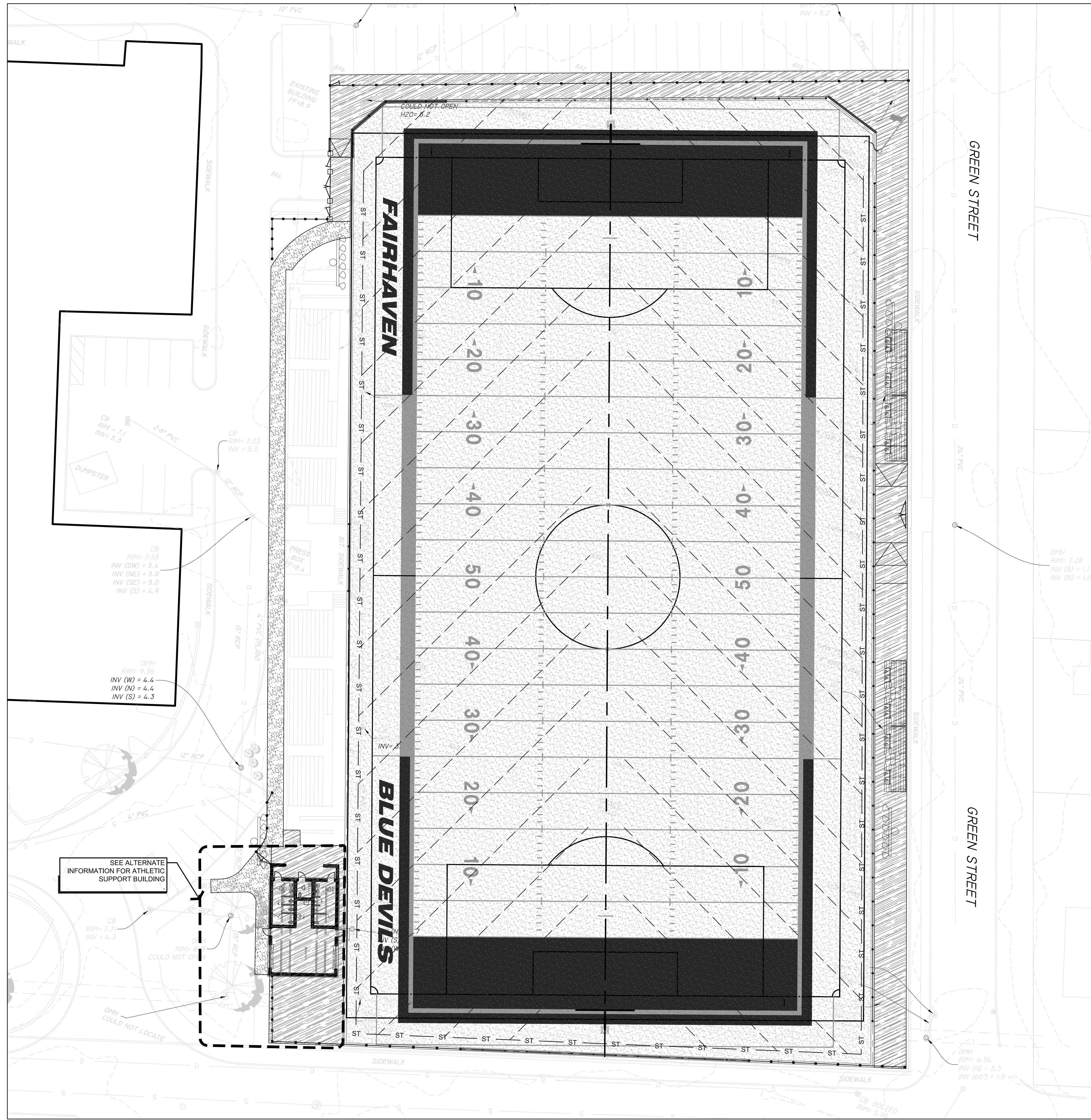


SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
PERMITTING	2021/03/22

NO.	REVISIONS	DATE

DRAWN BY: <b>JR</b>	CHECKED BY: <b>AE</b>
DATE ISSUED: <b>03/22/2021</b>	SCALE: <b>1"=20'</b>
PROJ. NO. <b>A1037</b>	
SHEET NO. <b>L1.01</b>	





STAMP

CONSULTANT

SHEET TITLE  
**OVERALL SITE PLAN**

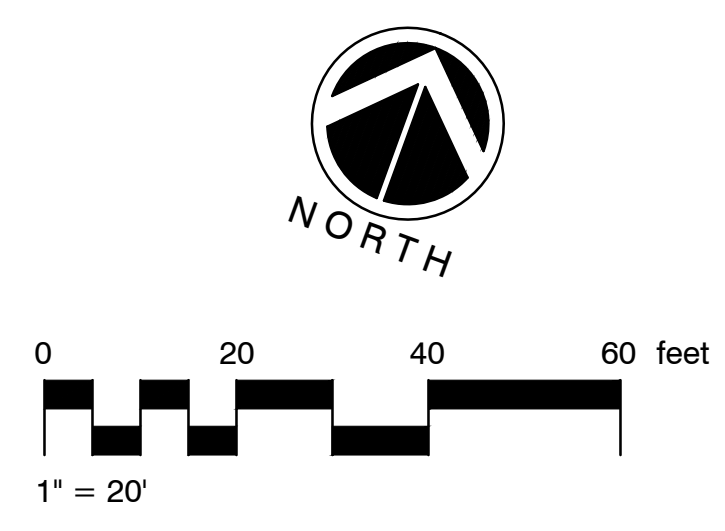
PROJECT NAME  
**FAIRHAVEN HIGH SCHOOL  
ATHLETIC  
FIELD-SYNTHETIC TURF**

PROJECT ADDRESS  
12 HUTTLESTONE AVE  
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021.03.22

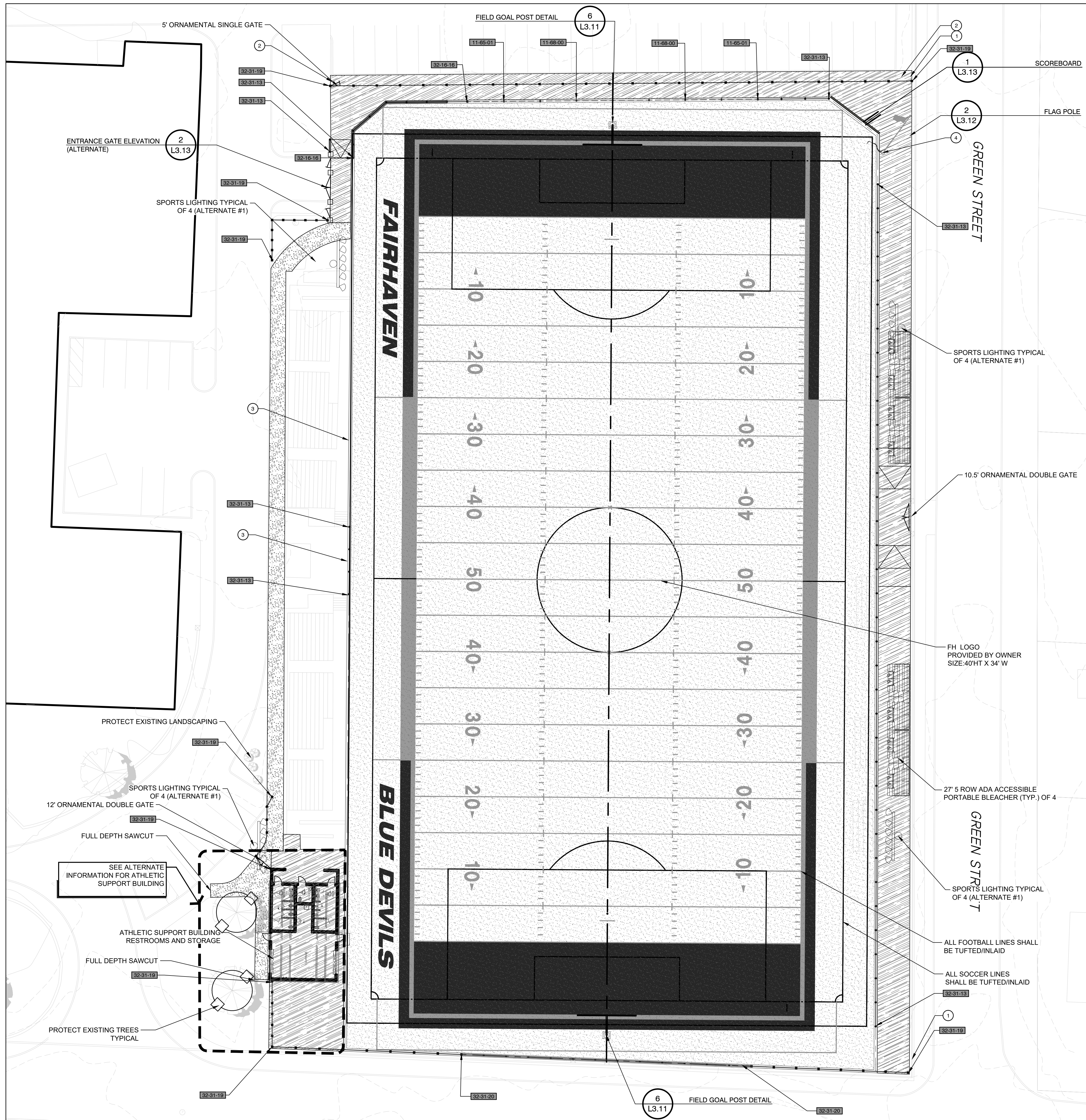
NO.	REVISIONS	DATE

DRAWN BY: <b>JR</b>	CHECKED BY: <b>AE</b>
DATE ISSUED: <b>03/22/2021</b>	SCALE: <b>1"=20'</b>
PROJ. NO. <b>A1037</b>	
SHEET NO. <b>L1.11</b>	



FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF  
PERMITTING - 03/22/2021





**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION	QTY	DETAIL	Alternate #
①	REMOVE FENCE FABRIC (PRIOR TO PAVING) PRESERVE FENCE POSTS AND REPLACE FABRIC (AFTER PAVING)			
②	REMOVE AND DISPOSE OF EXISTING FENCING INCLUDING POSTS.			
③	PLACE 1/2" EXPANSION JNT WITH FOAM BACKER AND SEALAT AT EXISTING CLEAN PAVEMENT EDGE (SAW CUT IF NECESSARY)			
④	REMOVE EXISTING FLAG POLE. PRESERVE AND RELOCATE POLE WITH NEW FOUNDATION PER DETAIL OR MANUFACTURERS DIRECTION			
<b>Play Field Equipment and Structures</b>				
---	11-65-01 12' Ball Safety Netting in Field Curb	60 lf	3/L3.11	
---	11-68-00 20' Ball Safety Netting in Field Curb	60 lf	3/L3.11	
<b>ASPHALT PAVING</b>				
▨	32-12-17 HMA sidewalks	2,354 sf	1/L3.12	#1
<b>CONCRETE PAVING</b>				
▨	32-13-13 Broom Finished Sidewalk	11,214 sf	/	
<b>CURBS AND GUTTERS</b>				
---	32-16-15 Field Curb with shelf	1,151 lf	3/L3.11	
---	32-16-16 Field Curb with PT Nailer Board	63 lf	9/L3.11	
<b>ATHLETIC AND RECREATIONAL SURFACING</b>				
▨	32-18-13 Synthetic Turf	85,681 sf	1/L3.11	
<b>FENCES AND GATES</b>				
---	32-31-13 4' Black Vinyl Chainlink	474 lf	6/L3.12	
---	32-31-19 Ornamental Fence	485 lf	3/L3.12	
---	32-31-20 Combination 20' Ball Safety Netting and Ornamental Fence	120 lf		
<b>STORM DRAINAGE UTILITIES</b>				
---	33-41-00 Storm Collector Drain	937 lf	SEE CIVIL PLANS	
---	33-41-17 Flat Panel Drain	3,780 lf	SEE CIVIL PLANS	



STAMP

CONSULTANT

SHEET TITLE

**LANDSCAPE ATHLETICS MATERIALS PLAN**

PROJECT NAME

**FAIRHAVEN HIGH SCHOOL  
ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS

12 HUTTLESTONE AVE  
FAIRHAVEN, MA 02719

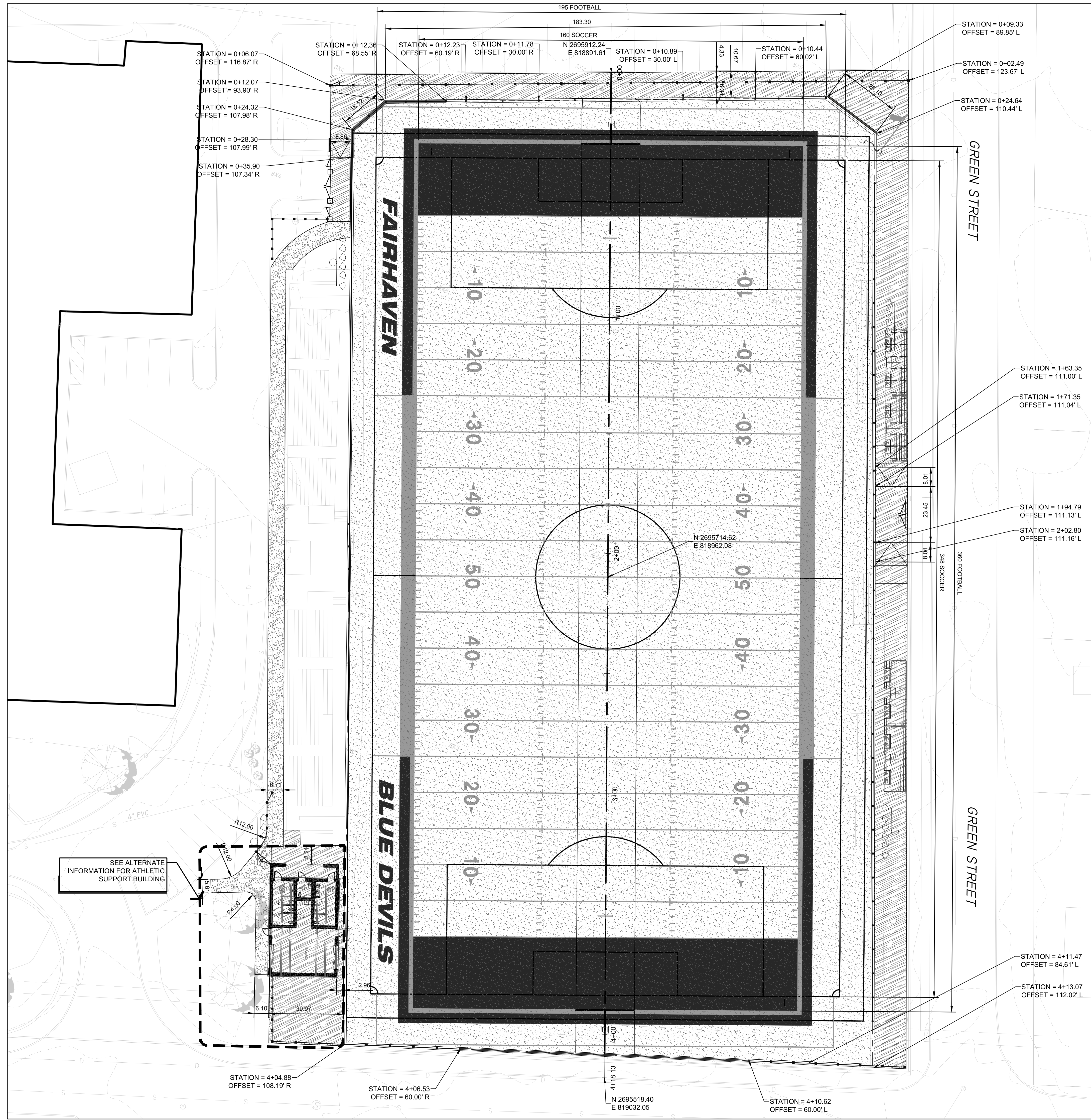
SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

NO.	REVISIONS	DATE

DRAWN BY: <b>JR</b>	CHECKED BY: <b>AE</b>
DATE ISSUED: <b>03/22/2021</b>	SCALE: <b>1"=20'</b>
PROJ. NO. <b>A1037</b>	
SHEET NO. <b>L1.21</b>	

FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF





STAMP

CONSULTANT

SHEET TITLE  
**LANDSCAPE ATHLETICS LAYOUT PLAN**

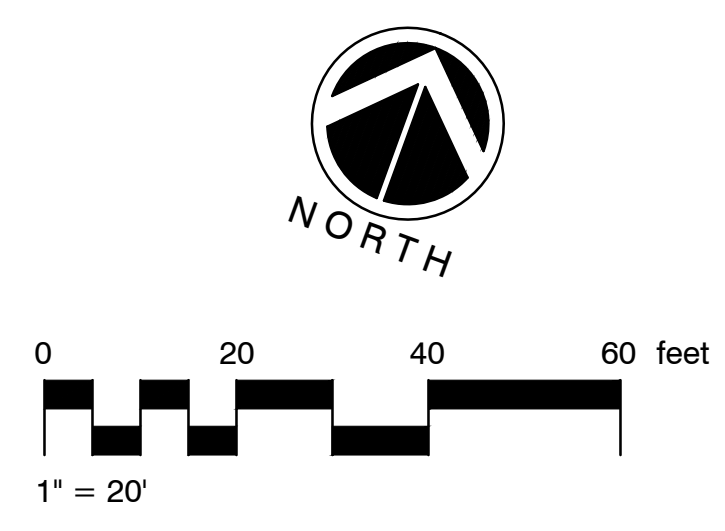
PROJECT NAME  
**FAIRHAVEN HIGH SCHOOL  
ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS  
12 HUTTLESTONE AVE  
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

NO.	REVISIONS	DATE

DRAWN BY: JR  
CHECKED BY: AE  
DATE ISSUED: 03/22/2021  
SCALE: 1"=20'  
PROJ. NO. A1037  
SHEET NO. **L1.31**  
LANDSCAPE ATHLETICS LAYOUT PLAN



FAIRHAVEN HS ATHLETIC FIELD - SYNTHETIC TURF  
PERMITTING - 03/22/2021



STAMP

CONSULTANT

SHEET TITLE

LANDSCAPE ATHLETIC DETAILS

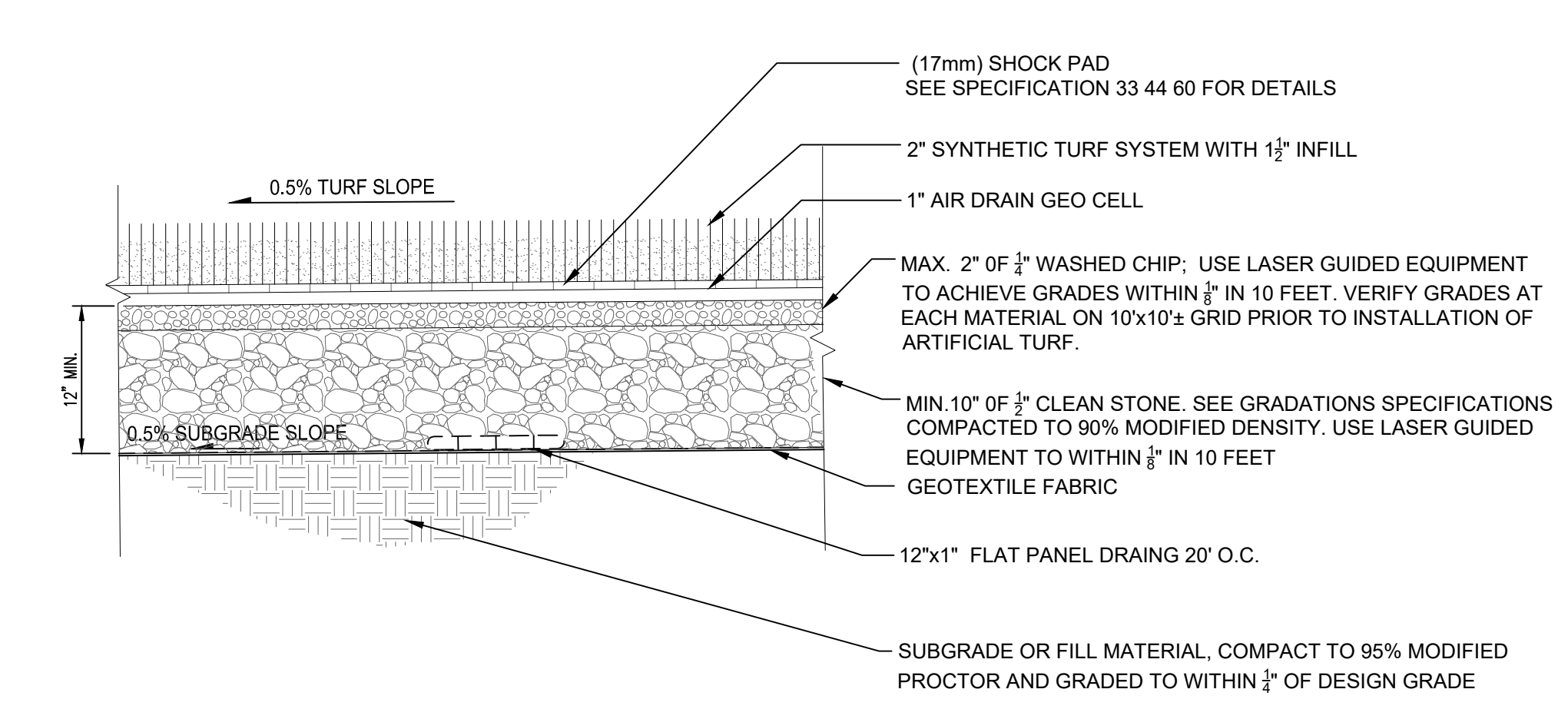
PROJECT NAME  
**FAIRHAVEN HIGH SCHOOL**  
**ATHLETIC FIELD-SYNTHETIC TURF**

PROJECT ADDRESS  
12 HUTTLESTONE AVE  
FAIRHAVEN, MA 02719

SUBMITTAL	DATE
SCHEMATIC DESIGN	2021/01/29
DESIGN DEVELOPMENT	2021/03/05
ISSUED FOR PERMITTING	2021/03/22

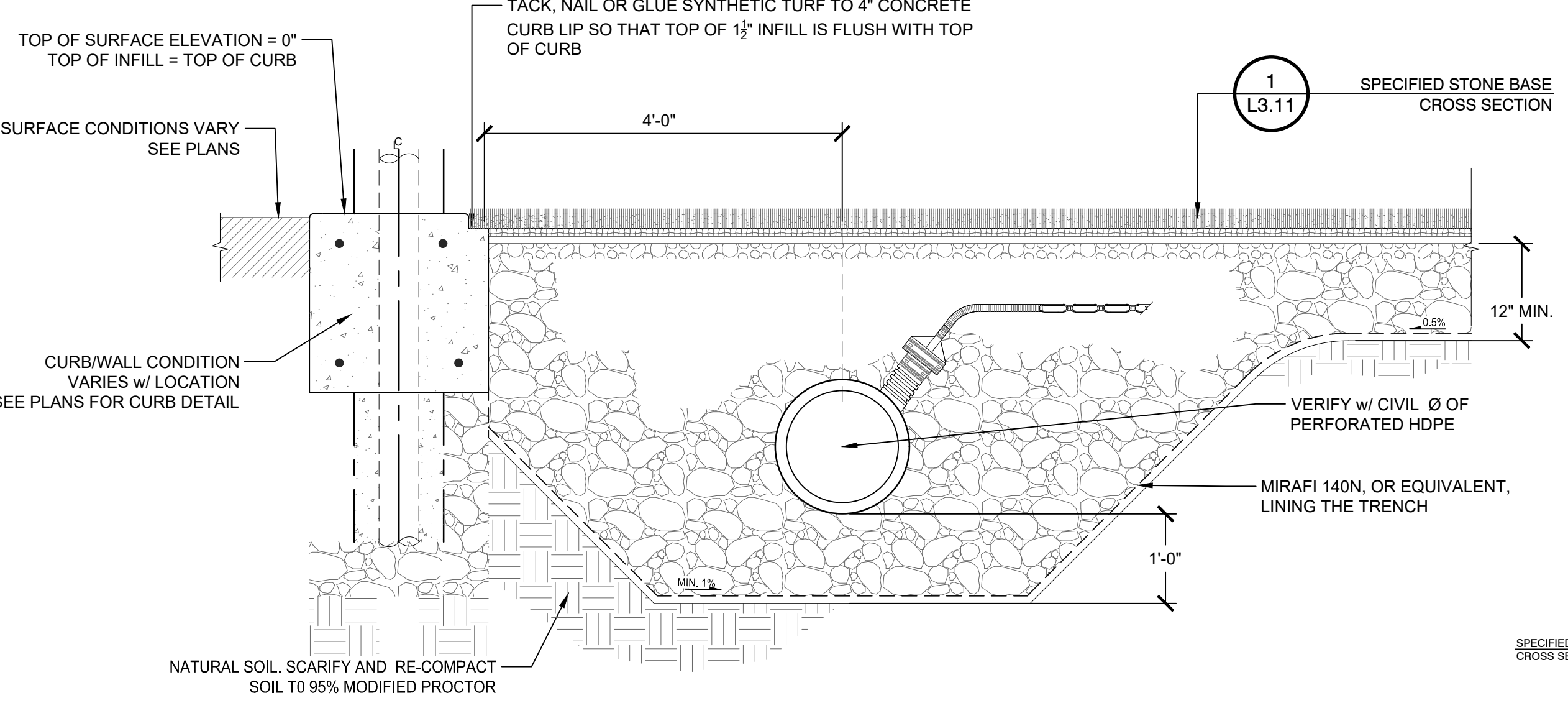
NO.	REVISIONS	DATE

DRAWN BY: <b>JR</b>	CHECKED BY: <b>AE</b>
DATE ISSUED: 03/22/2021	SCALE: 1"=20'
PROJ. NO. A1037	
SHEET NO. <b>L3.11</b>	

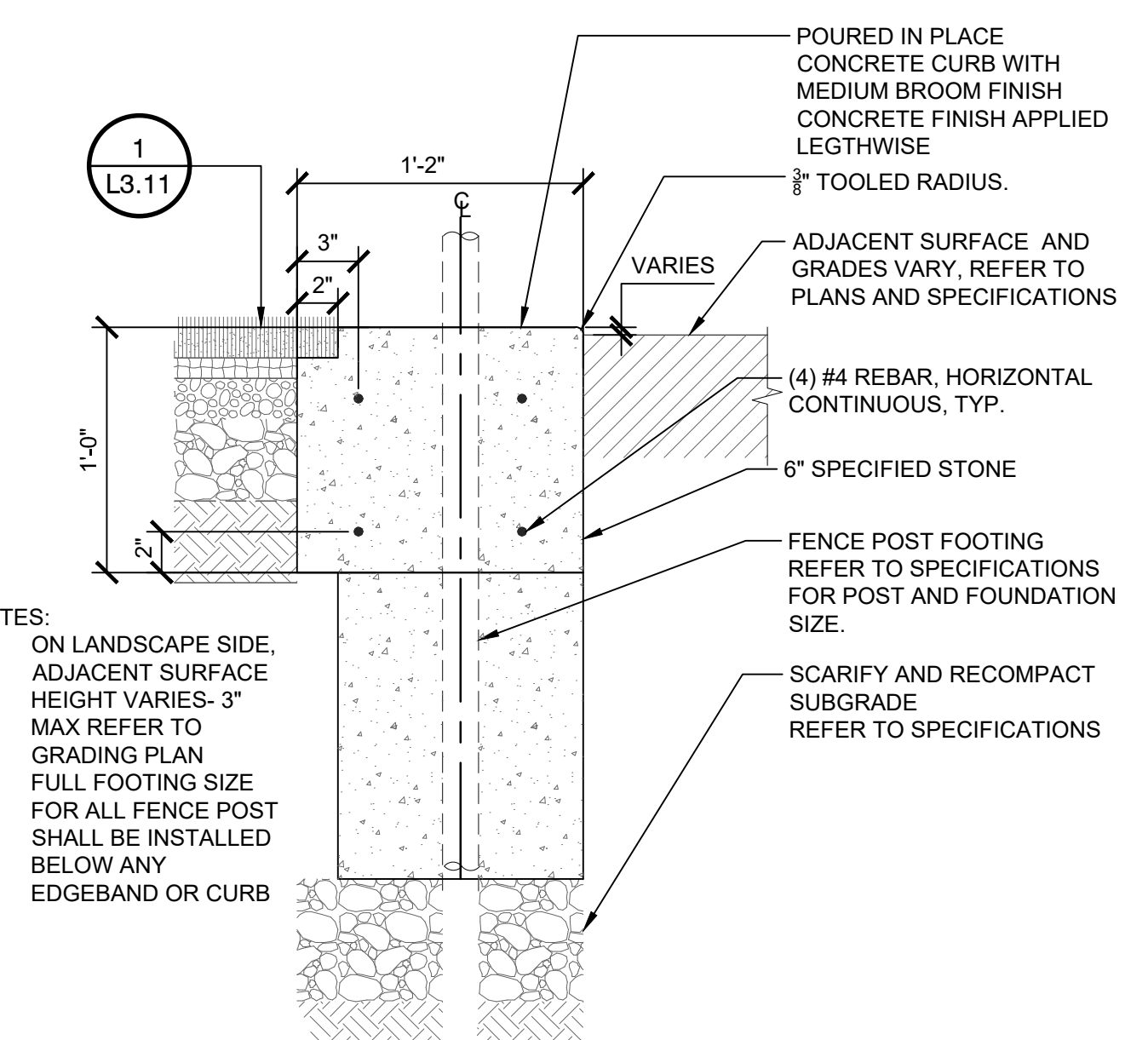


NOTE:  
1. ALL STONES UNDER SYNTHETIC SHALL BE WASHED CLEAN AND FREE OF SEDIMENTS.  
2. CONTRACTOR SHALL PROVIDE STONE SAMPLES FOR LANDSCAPE ARCHITECTS REVIEW AND APPROVAL PRIOR TO STONE BASE INSTALLATION.

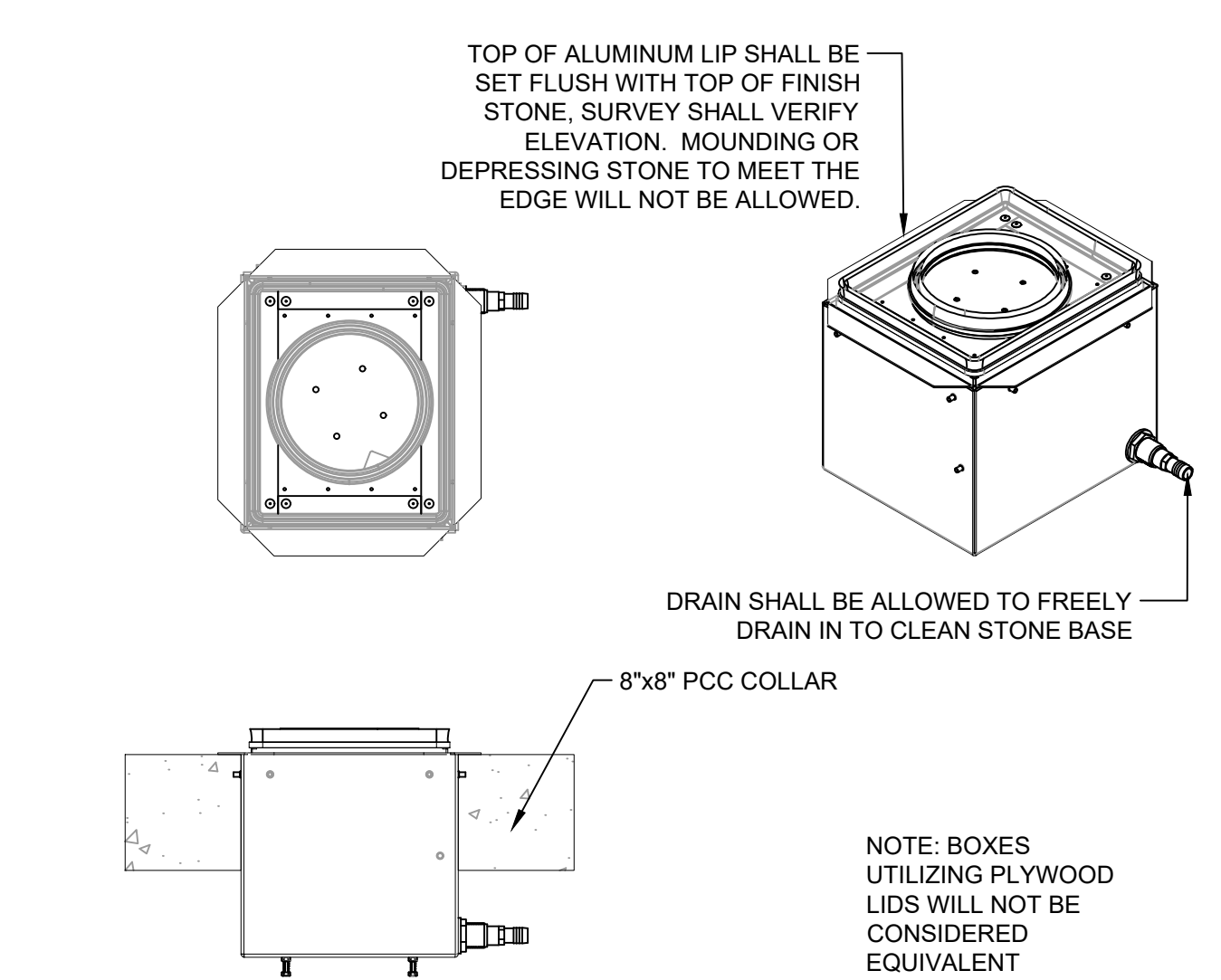
**1 SPECIFIED STONE BASE CROSS SECTION**  
1" = 1'-0"



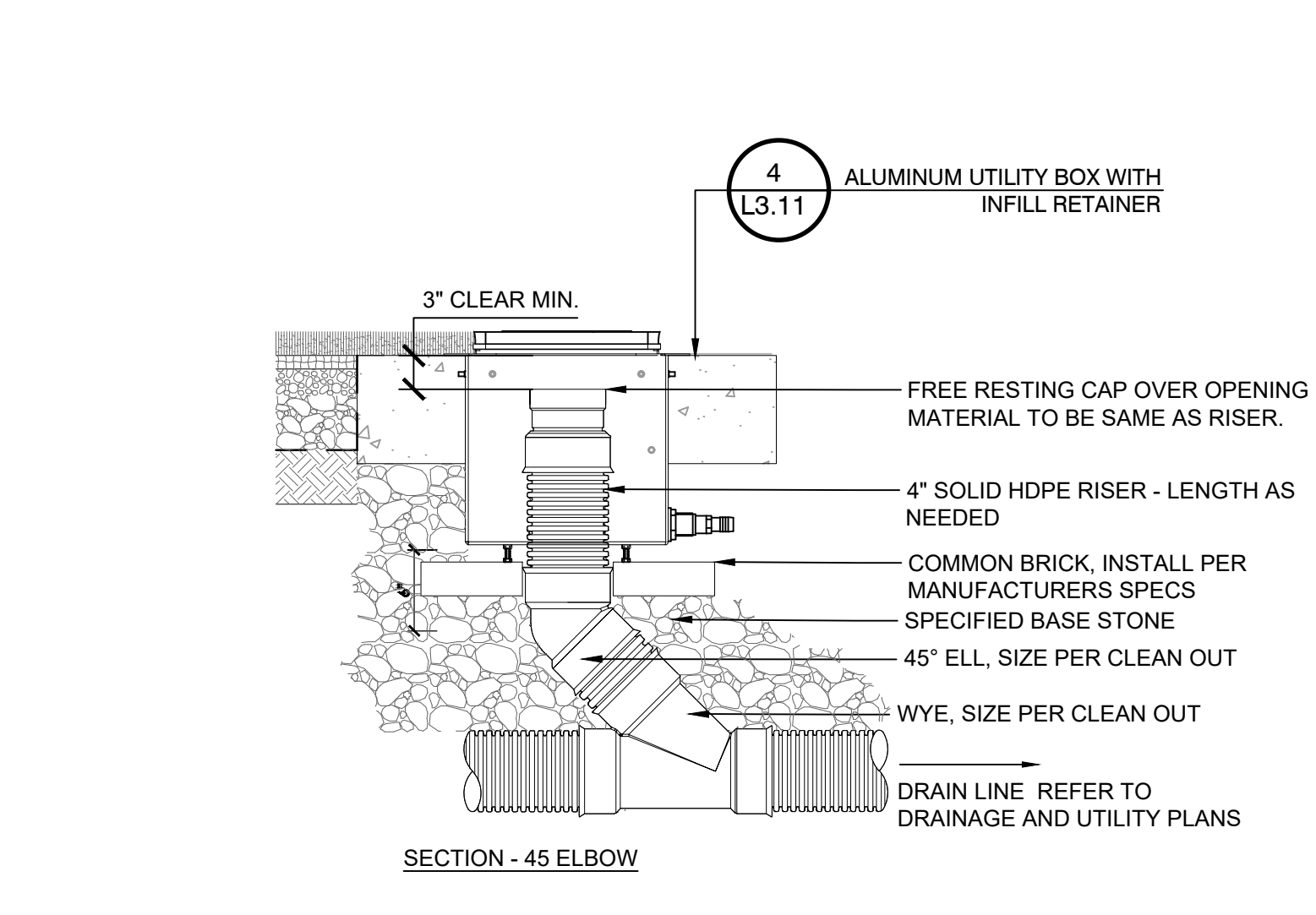
**2 CONCRETE CURB AND PERIMETER DRAINAGE DETAIL**  
3/4" = 1'-0"



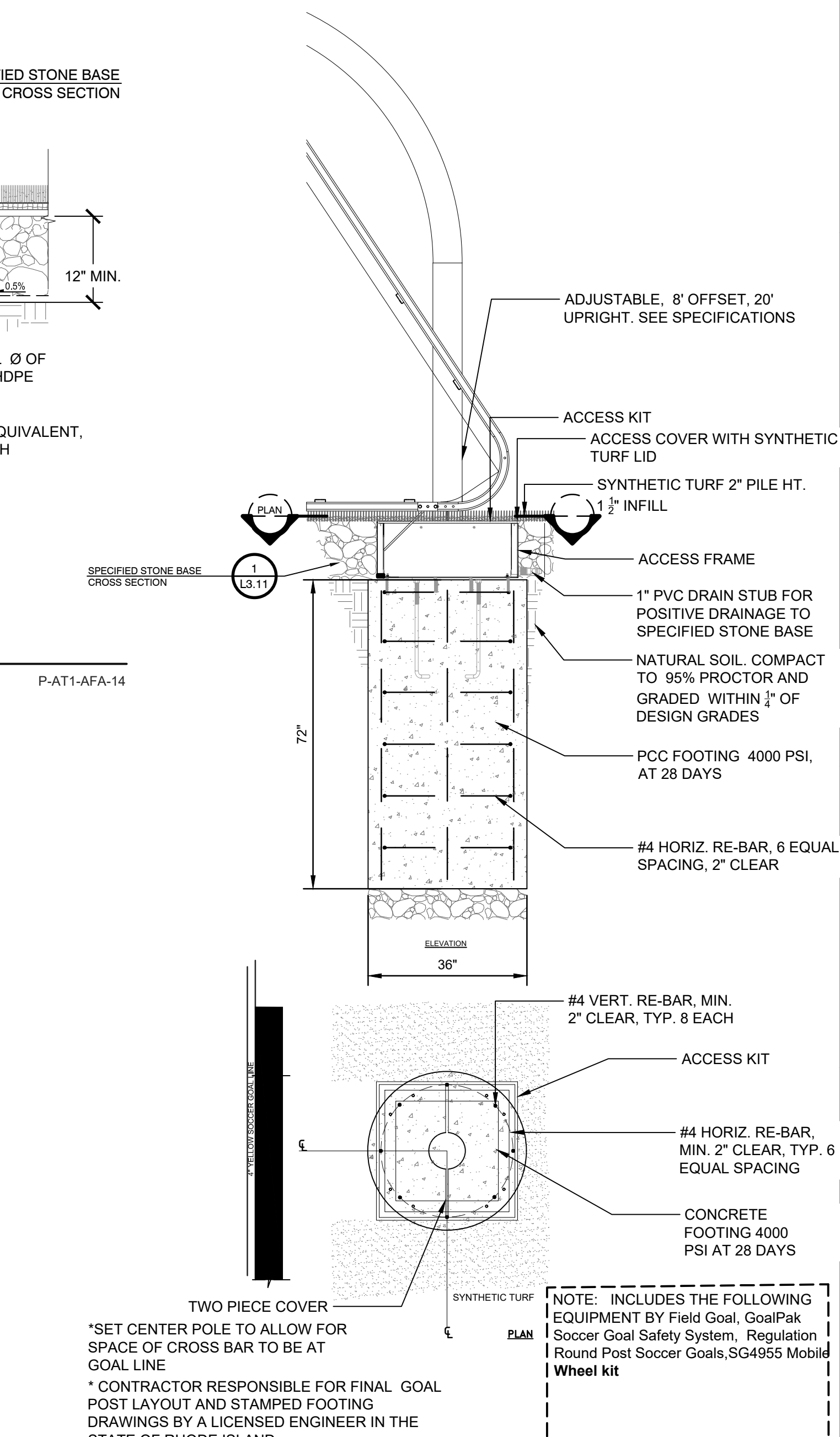
**3 14" TURF CURB WITH FENCE OR NET**  
1 1/2" = 1'-0"



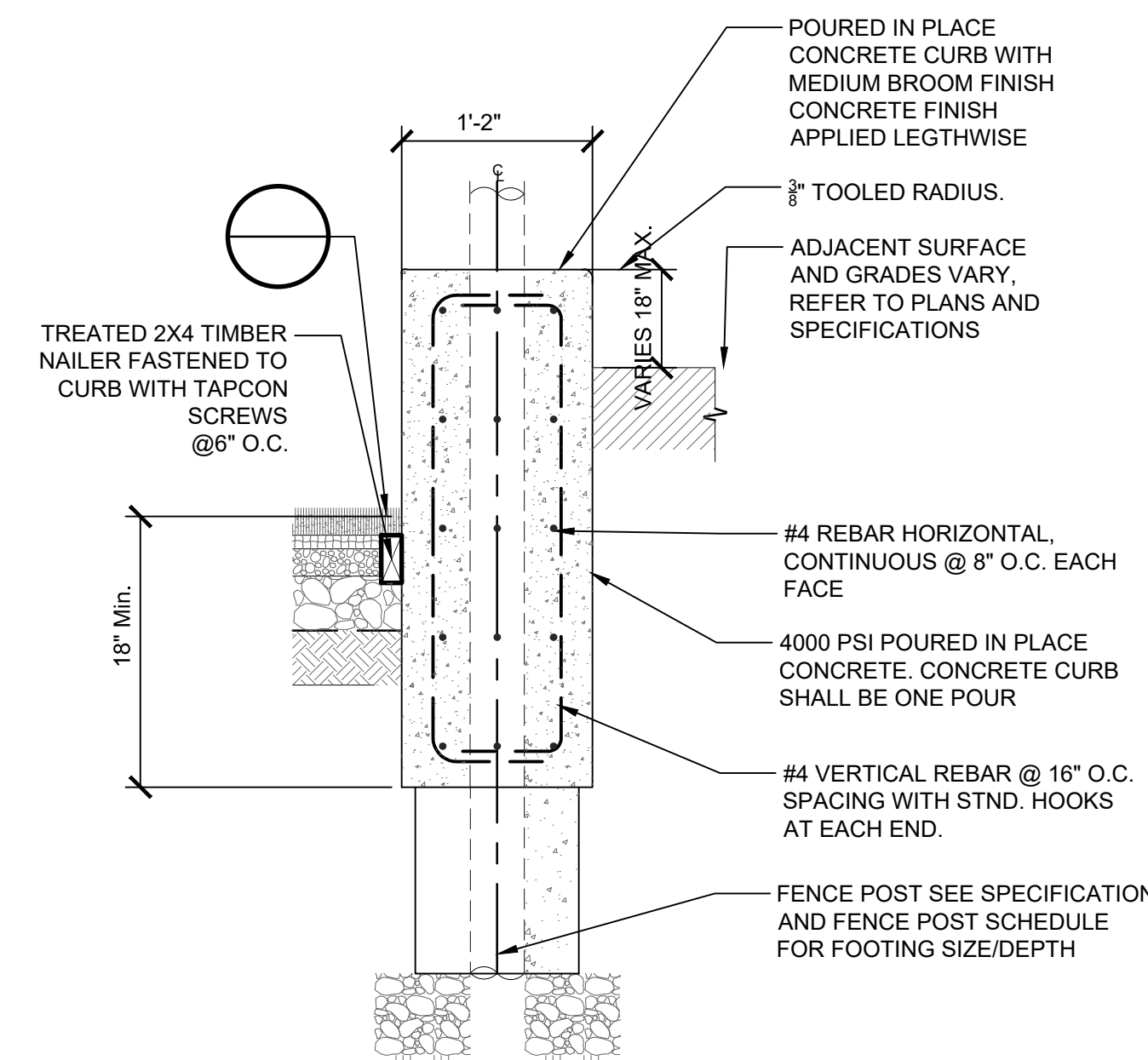
**4 ALUMINUM UTILITY BOX WITH INFILL RETAINER**  
1" = 1'-0"



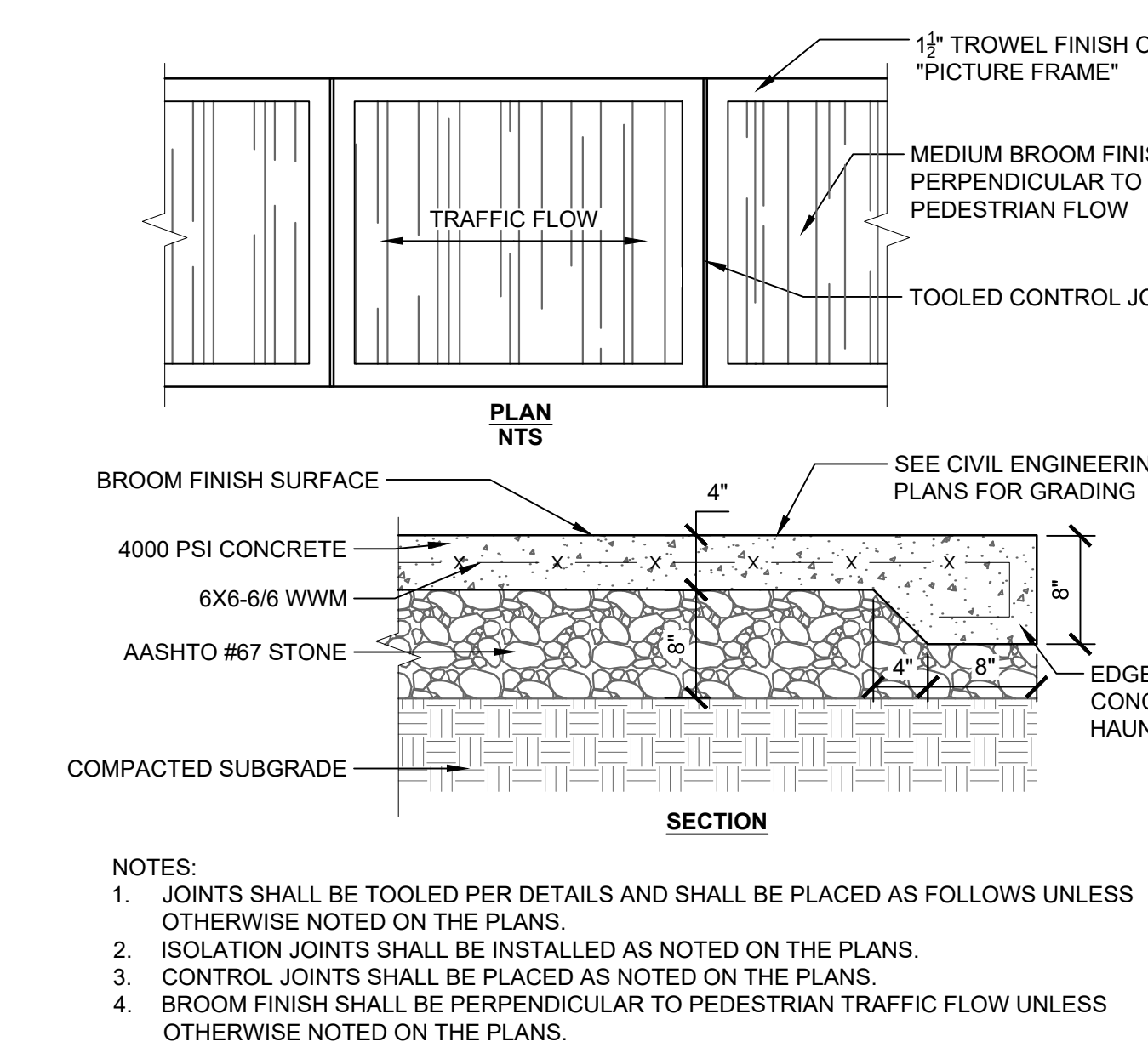
**5 SYNTHETIC TURF STORM CLEANOUT**  
1" = 1'-0"



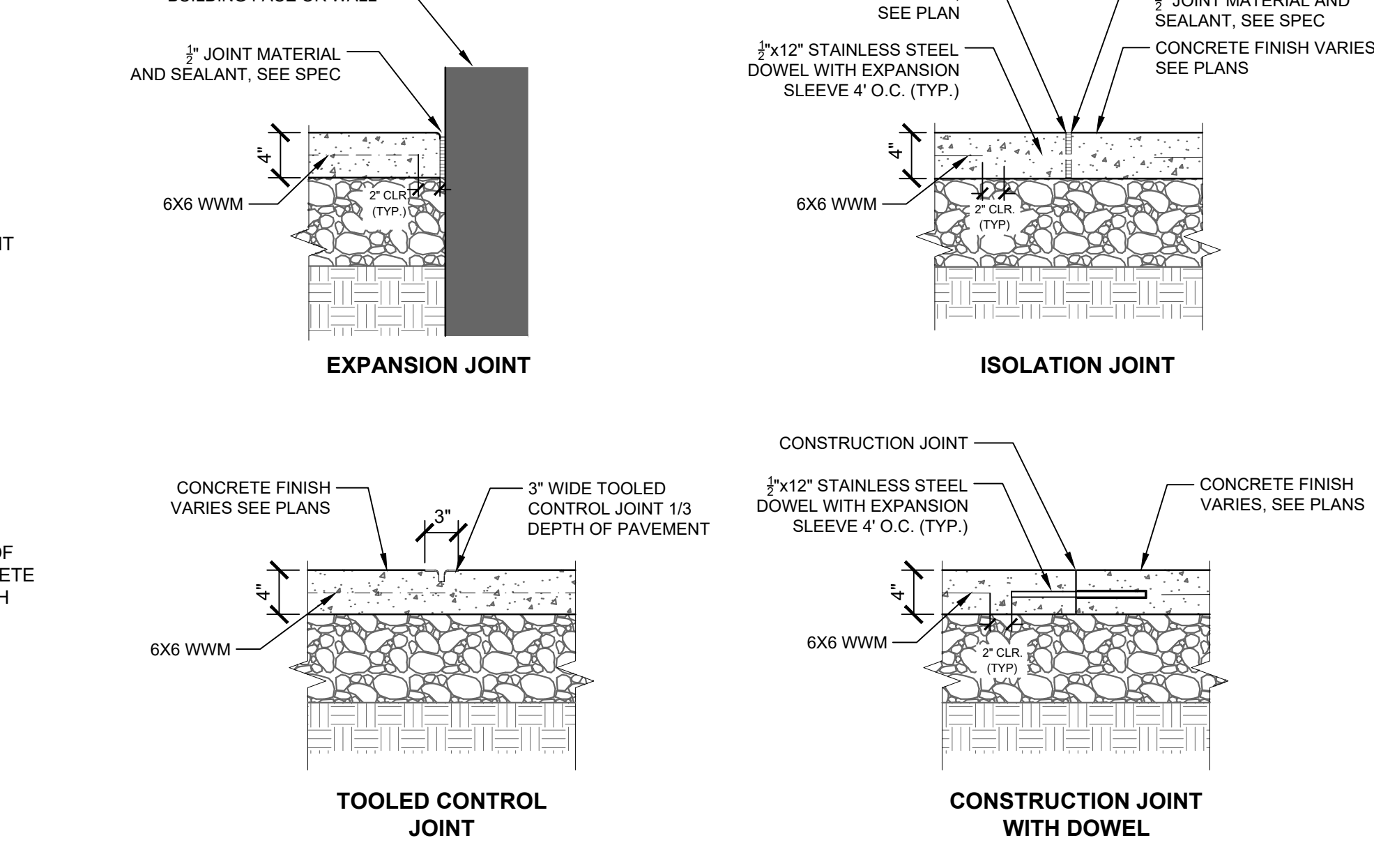
**6 FIELD GOAL POST DETAIL**  
1/2" = 1'-0"



**9 14" TURF CURB EXPOSED WITH NAILER BOARD**  
1" = 1'-0"



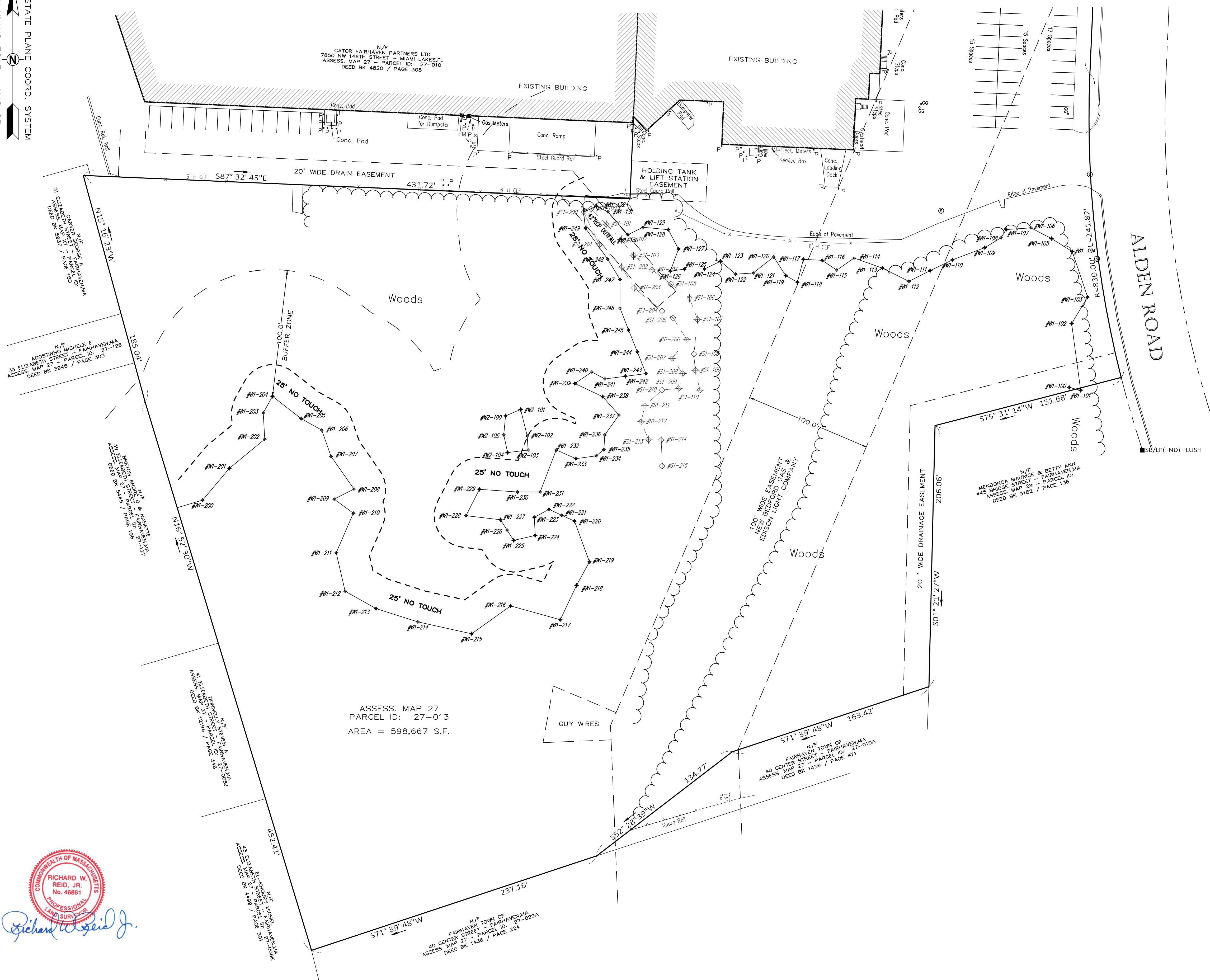
**7 CONCRETE PAVING**  
1" = 1'-0"



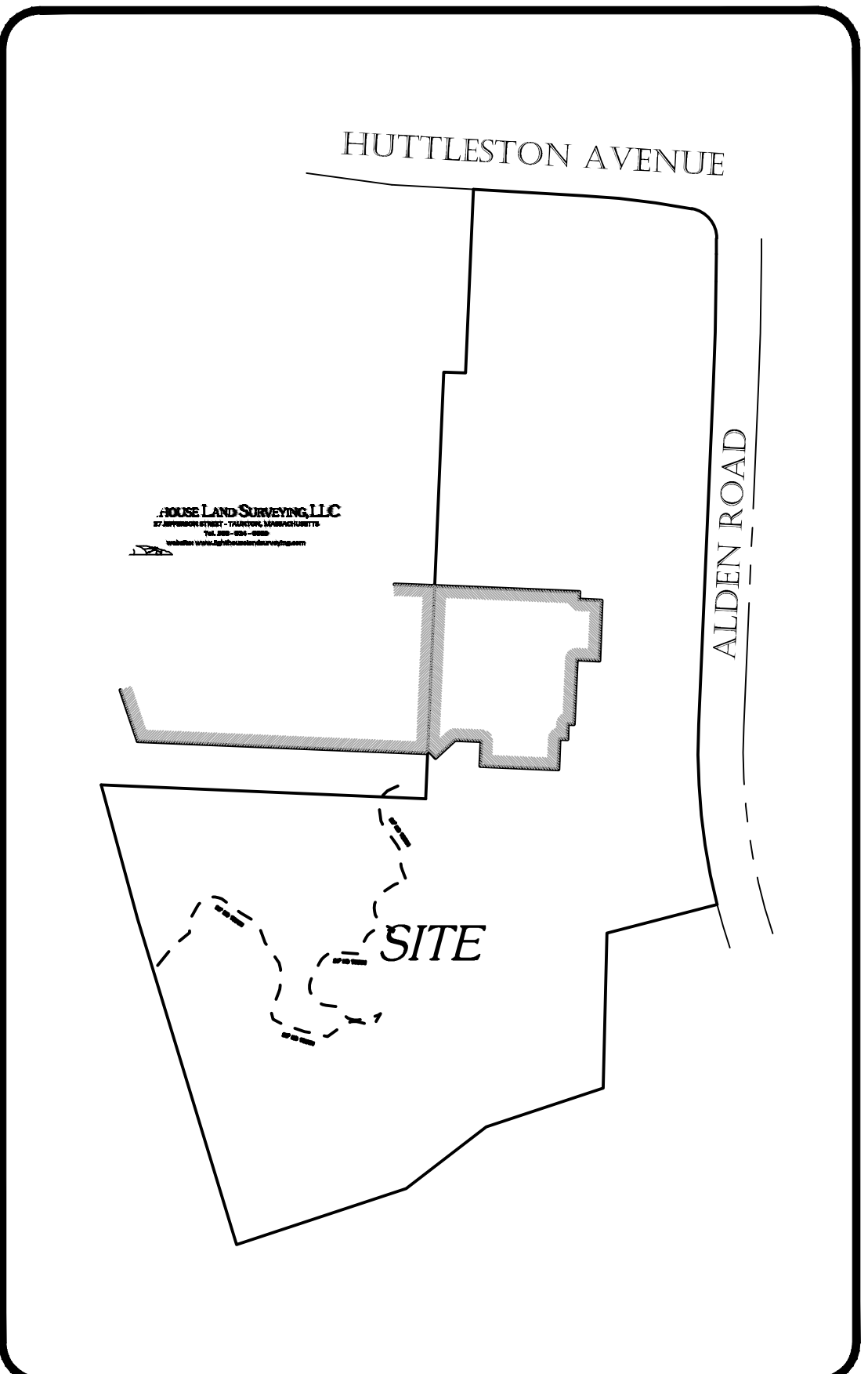
**8 CONCRETE PAVEMENT JOINTS-TOOLED**  
1" = 1'-0"



MA STATE PLANE COORD. SYSTEM  
MAINLAND ZONE - NAD 83



ASSESS. MAP 27  
PARCEL ID: 27-013  
AREA = 598,667 S.F.



LOCUS  
SCALE: 1"=200'

**NOTES**

- HORIZONTAL DATUM:  
MASSACHUSETTS STATE PLANE - MAINLAND ZONE NAD83 (2011) EPOCH 2010.00 - US FEET  
  
VERTICAL DATUM:  
NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOID 12B) - US FEET
- ALL ON-THE-GROUND OBSERVATIONS WERE PERFORMED USING LEICA TS12 (3") ROBOTIC TOTAL STATIONS.
- THIS SURVEY AND PLAN ARE BASED UPON AN ACTUAL ON THE GROUND INSTRUMENT SURVEY PERFORMED FEBRUARY, 2021.
- WETLANDS DELINEATED BY STEPHEN CHMIEL, WETLAND SCIENTIST, IN JANUARY, 2021.

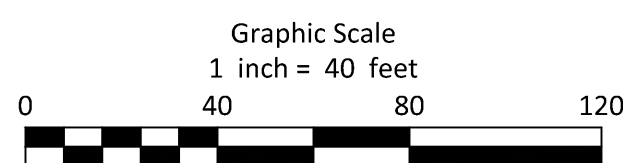
LINETYPE LEGEND	
	EASEMENTS
	PROPERTY LINE
	RIGHT OF WAY
	FENCE - METAL
	GUARDRAIL - STEEL
	WETLAND LINE

LEGEND	
IR/CAP(set)	IRON ROD W/ CAP SET
CB/DH(fnd)	CONCRETE BOUND DRILL HOLE FOUND
STK(set)	WOODEN STAKE SET ON PROPERTY LINE

REFERENCES	
	MCZ REALTY, LLC
	DEED BOOK 11949 PAGE 331
	PLAN BOOK 97 PAGE 112

REVISIONS:	
REV #	DESCRIPTION
0	ISSUED FOR REVIEW

COPYRIGHT ©  
LIGHHOUSE LAND SURVEYING, LLC  
ALL RIGHTS RESERVED  
  
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPIING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF LIGHHOUSE LAND SURVEYING, LLC. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION BY LIGHHOUSE LAND SURVEYING, LLC SHALL RENDER THEM INVALID AND UNUSABLE.



PREPARED BY:  
**LIGHHOUSE LAND SURVEYING, LLC**  
27 JEFFERSON STREET - TAUNTON, MASSACHUSETTS  
Tel. 508 - 824 - 6609  
website: [www.lighthouselandsurveying.com](http://www.lighthouselandsurveying.com)

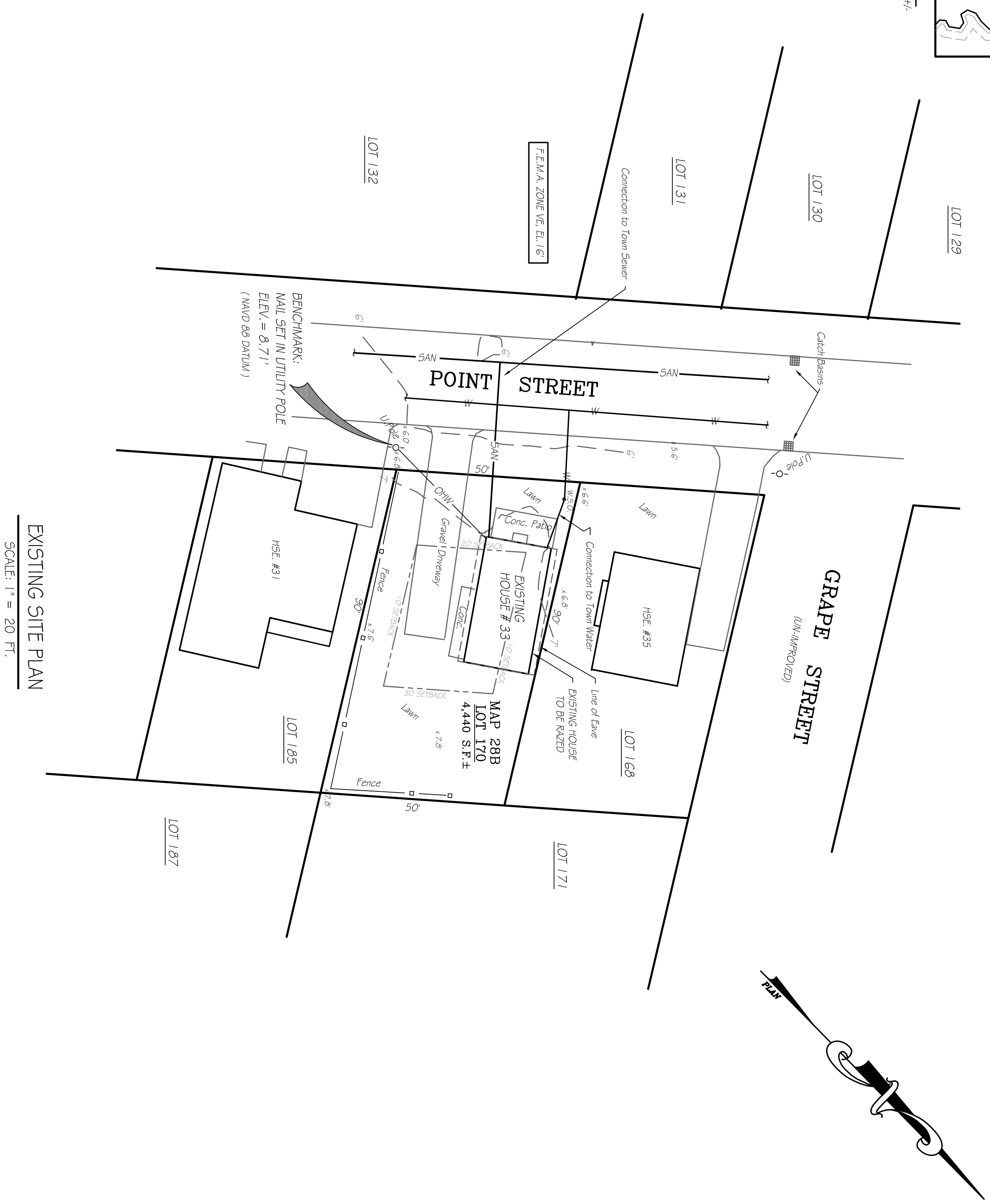
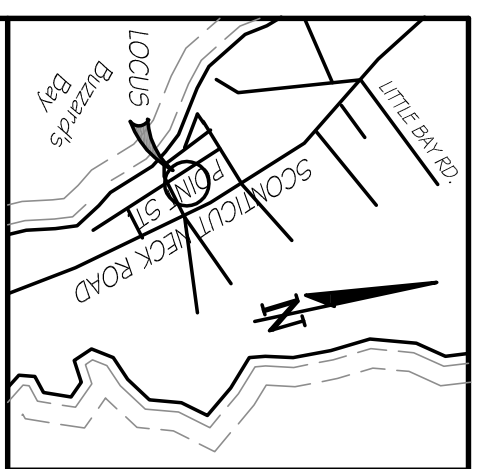
PROJECT:  
**14 PLAZA WAY**  
(BRISTOL COUNTY - NORTH DISTRICT)  
FAIRHAVEN, MASSACHUSETTS

TITLE:  
**WETLAND LOCATION  
PLAN OF LAND**  
  
PREPARED FOR:  
**MCZ REALTY, LLC**  
P.O. BOX 241  
MANHASSET NY, 11030

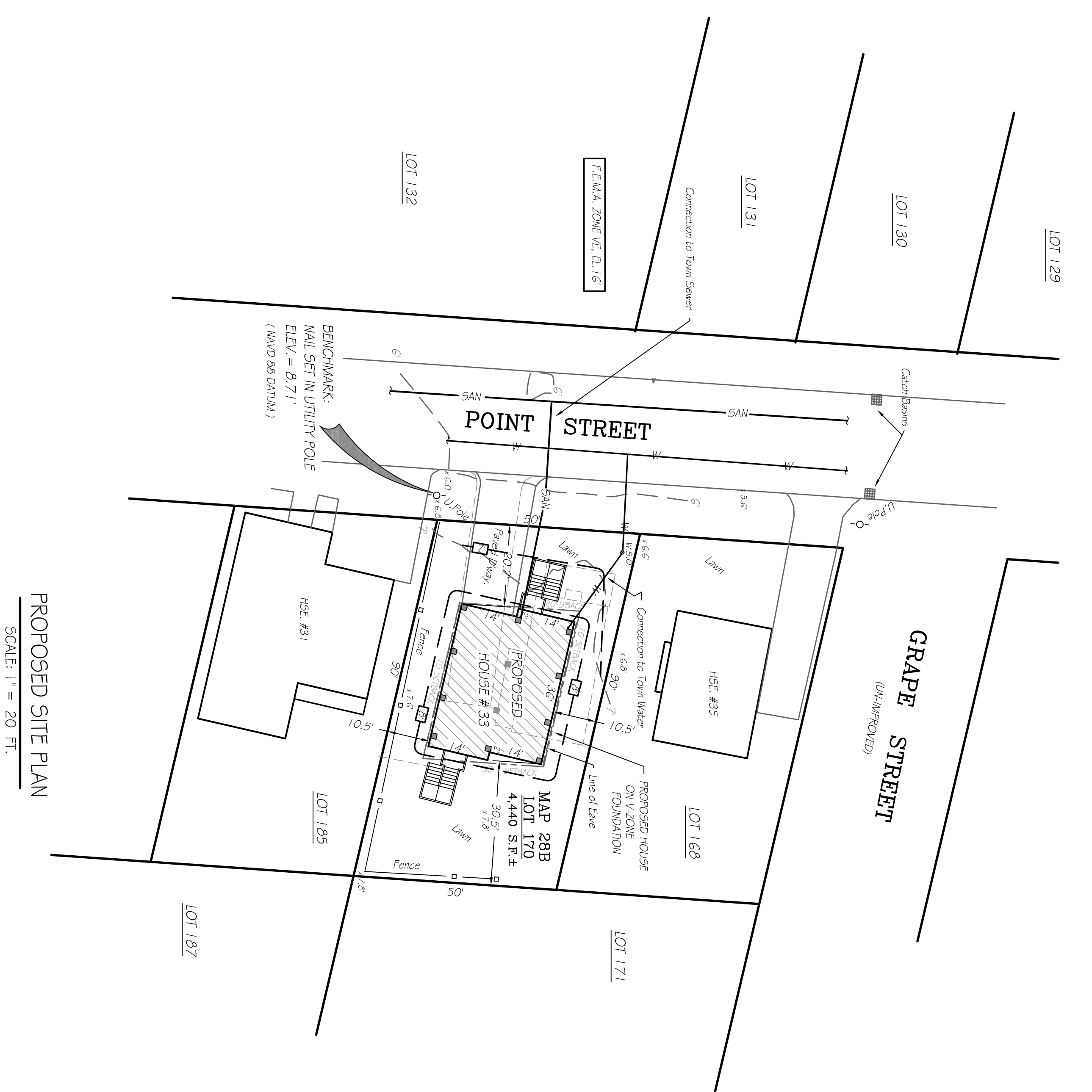
DATE:  
**APRIL 27, 2021**  
  
SHEET NO:  
**1**  
  
OF **1**

MCZ-PLAZA-WAY-WETBASE.DWG





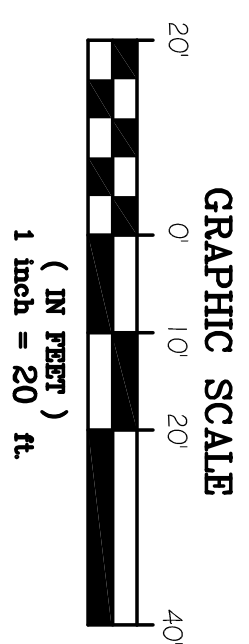
EXISTING SITE PLAN  
SCALE: 1" = 20 FT.



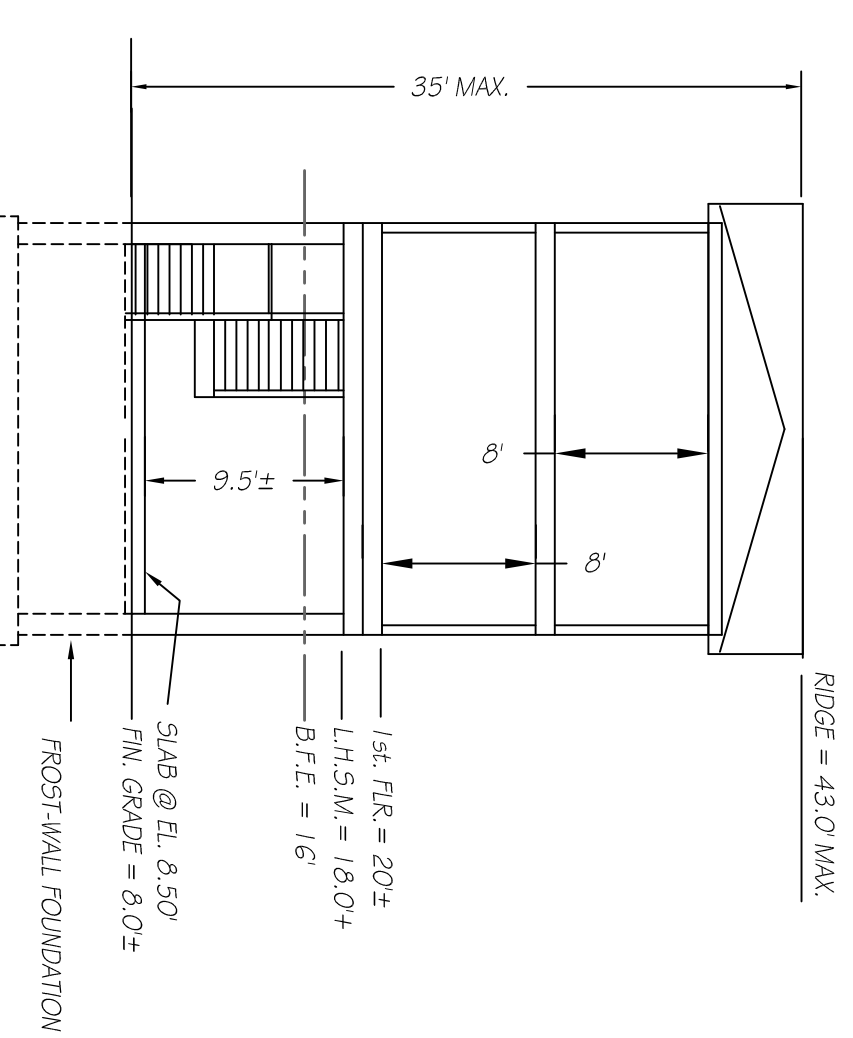
PROPOSED SITE PLAN  
SCALE: 1" = 20 FT.

**GENERAL NOTES:**

- 1/ THE SCOPE OF WORK INCLUDES DEMOLITION OF EXISTING HOUSE #33 AND CONSTRUCTION OF NEW RESIDENCE ON FLOOD ZONE COMPLIANT FOUNDATION, CONNECTIONS TO TOWN SEWER AND TOWN WATER SUPPLY, AND ASSOCIATED SITEWORK, & LANDSCAPING.
- 2/ THIS PARCEL IS SHOWN AS LOT 170 OF ASSESSORS MAP 28.B ZONING: SINGLE RESIDENCE DISTRICT - R4 DEED REFERENCE: BOOK 10797 PAGE 93
- 3/ THE DINGLING SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD ZONE (ZONE VE, EL. 1/6) AS DELINEATED ON F.E.M.A. COMMUNITY PANEL 2500500413F, DATED JULY 7, 2009. THE PROVISIONS OF THE MASS. STATE BUILDING CODE, 9th EDITION,
- 4/ NOTIFY DIG-SAFE AND LOCAL UTILITIES PRIOR TO ANY EXCAVATION.
- 5/ VERIFY LOCATION OF SITE UTILITIES PRIOR TO ANY WORK.
- 6/ MINIMUM LOT REQUIREMENTS: 15,000 S.F. WITH 100 FT. FRONTAGE
- 7/ FRONT SETBACK = 20 FT.
- 8/ SIDE SETBACK = 30 FT.
- 9/ MAXIMUM LOT COVERAGE = 50%
- 10/ MAXIMUM BUILDING COVERAGE = 30%
- 11/ EXISTING HOUSE = 636 S.F.
- 12/ EXISTING BUILDING COVERAGE = 636 S.F. / 4,440 S.F. = 14.3%
- 13/ PROPOSED HOUSE = 1,009 S.F.
- 14/ PROPOSED BUILDING COVERAGE = 1,009 S.F. / 4,440 S.F. = 22.7%



- LEGEND:**
- EXISTING CONTOURS:
  - PROPOSED CONTOURS:
  - EDGE OF WETLANDS:
  - LIMITS OF BUFFER ZONE:
  - LIMITS OF F.E.M.A. ZONES:
  - MEAN HIGH WATER LINE:
  - LIMIT OF WORK:
  - OVERHEAD WIRES:
  - WATER LINE:
  - SANITARY SEWER:
  - SPOT ELEVATIONS:
  - TEST PIT LOCATION:
  - DELIMITATION FLAG:



PROPOSED HOUSE ELEVATIONS  
NOT TO SCALE

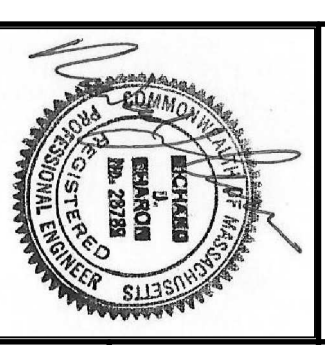
**D.E.P. FILE NO.:**

**SITE PLAN OF  
PROPOSED HOUSE & UTILITIES  
PREPARED FOR  
WADE AND WANDA CABANA  
33 POINT STREET  
FAIRHAVEN, MASS.**

**CAI**  
Charon Associates, Inc.  
Consulting Engineers  
323 Natick Road, Andover, MA 02770  
Tel: 508-765-5262 Fax: 508-765-5982

**SCALE:** AS NOTED  
**DATE:** APRIL 29, 2021

**DWG. NO.**  
**L-1**





# BUILDING 3 EXPANSION PROJECT

## NYE LUBRICANTS, INC.

### 12-16 RIO WAY FAIRHAVEN, MA



ROCKVILLE, MD  
WATERTOWN, MA  
NEW BEDFORD, MA  
SOUTH WINDSOR, CT  
124 WATERTOWN ST, SUITE 3F  
WATERTOWN, MA  
1213 PURCHASE STREET SUITE 301  
NEW BEDFORD, MA  
58H CONNECTICUT AVENUE  
SOUTH WINDSOR, CT

The drawings prepared by Apex for this project are instruments of Apex's services for use solely with respect to the project and shall not be deemed the act of the drawing professional in any other capacity. The drawings shall not be used on other projects, for additions to the project or for completion of the project by others, except by agreement in writing and with appropriate compensation to Apex.



PROJECT  
NYE LUBRICANTS  
BUILDING 3 EXPANSION  
PROJECT

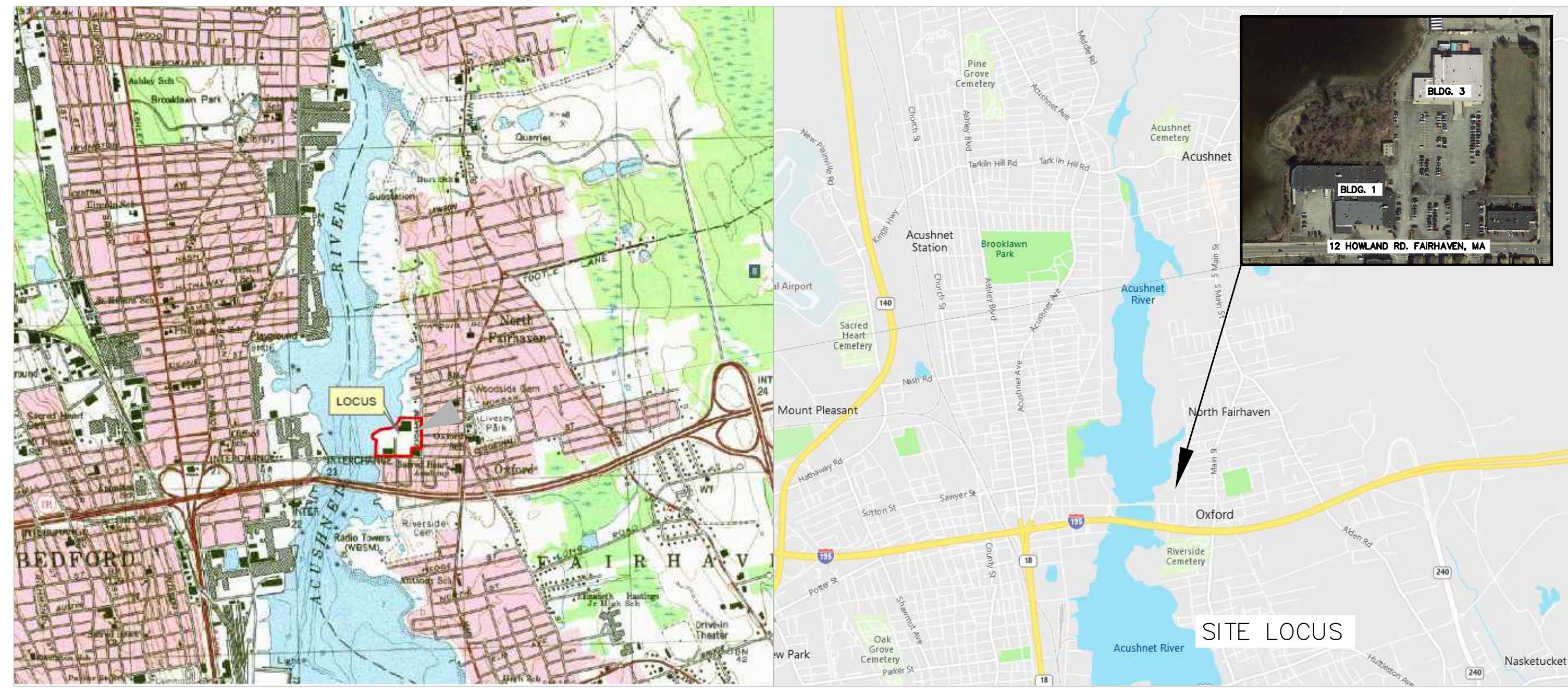
OWNER  
NYE LUBRICANTS, INC.  
12 HOWLAND RD.  
FAIRHAVEN, MA

PROJECT OWNER:  
NYE LUBRICANTS, INC.  
12 HOWLAND ROAD  
FAIRHAVEN, MA 02719

DESIGN TEAM:  
APEX COMPANIES, LLC  
58H CONNECTICUT AVE.  
SOUTH WINDSOR, CT 06074

HARRIMAN  
19 KINGSTON STREET, SUITE 4  
BOSTON, MA 02110

LEC ENVIRONMENTAL CONSULTANTS, INC.  
12 RESNIK ROAD, SUITE 1  
PLYMOUTH, MA 02360



**LIST OF DRAWINGS:**

- T-1 TITLE SHEET
- E-1 EXISTING CONDITIONS
- E-2 EXISTING WATERSHED PLAN
- P-1 PROPOSED CONDITIONS
- P-2 PROPOSED PARKING LAYOUT
- P-3 PROPOSED GRADING AND DRAINAGE PLAN
- P-4 PROPOSED CHAPTER 91 PUBLIC ACCESS
- P-5 PROPOSED WATERSHED PLAN
- ER-1 EROSION CONTROL
- D-1 DETAIL SHEET
- D-2 DETAIL SHEET
- D-3 DETAIL SHEET
- D-4 DETAIL SHEET
- L40-1 LANDSCAPING PLAN
- L40-2 LANDSCAPING PLAN
- L40-3 LANDSCAPING PLAN
- L40-4 LANDSCAPING PLAN

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING CONTOUR LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING VERTICAL GRANITE CURB
	EXISTING VERTICAL CONCRETE CURB
	EXISTING CAPE COD BERM
	EXISTING OVERHEAD WIRES
	EXISTING CHAINLINK FENCE
	EXISTING WOOD GUARD RAIL
	EXISTING HYDRANT
	EXISTING WATER GATE
	EXISTING GAS GATE
	EXISTING SIGN
	EXISTING BOLLARD
	EXISTING LIGHT
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	EXISTING CATCH BASIN
	EXISTING DRAIN MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING GAS METER
	EXISTING ELECTRIC HAND HOLE
	EXISTING CLEAN OUT
	EXISTING MONITORING WELL
	EXISTING EVERGREEN TREE
	EXISTING DECIDUOUS TREE
	EXISTING BUSH
	EXISTING SALT MARSH
	EXISTING COASTAL BEACH
	EXISTING 100 FT BUFFER
	EXISTING 200 FT RIVERFRONT
	EXISTING FLOOD ZONE
	EXISTING CHAPTER 91 JURISDICTION
	EXISTING ZONING SETBACKS
	PROPOSED CHAINLINK FENCE
	PROPOSED BUILDING EXPANSION AREA
	PROPOSED LANDSCAPED STORMWATER AREA
	PROPOSED NEW ASPHALT AREA
	PROPOSED ENHANCED LANDSCAPED AREA
	SOIL BORING LOCATION
	PROPOSED REINFORCED PERMEABLE AREA

**GENERAL NOTES:**

- EXISTING CONDITIONS ARE INTENDED TO PROVIDE GENERAL OVERVIEW OF PROJECT SITE CONDITIONS.
- NOTES BELOW ARE NOT INTENDED TO REPLACE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES.
- THE CONTRACTOR IS ADVISED THAT THE DRAWINGS AND SPECIFICATIONS FORM A PART OF THE CONTRACT DOCUMENTS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL KEEP A COPY OF THE DRAWINGS AND SPECIFICATIONS ON SITE AT ALL TIMES DURING THE PROJECT.
- CONTRACTOR SHALL MAINTAIN ADEQUATE SURVEY CONTROL AT ALL TIMES TO ESTABLISH AND MAINTAIN ALL LINES AND ELEVATIONS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND AND SUBMERGED UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO COMMENCING ANY EXCAVATION OR GROUND PENETRATING WORK. THE CONTRACTOR SHALL NOTIFY "DIG SAFE" (1-888-344-7223) AT LEAST 3 BUSINESS DAYS PRIOR TO THE COMMENCEMENT OF THE EXCAVATION OR GROUND PENETRATING ACTIVITY.
- EXISTING UTILITIES WITHIN OR SURROUNDING THE PORTIONS OF THE SITE HAVE NOT BEEN IDENTIFIED. IDENTIFICATION AND PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOTIFY DIGSAFE 72 HOURS PRIOR TO START OF ANY ON SITE WORK.
- ALL DIMENSIONS AND DETAILS OF THE EXISTING CONDITIONS AND THE PROPOSED CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND MAINTAIN ENVIRONMENTAL CONTROLS AS REQUIRED BY STATE, LOCAL, AND FEDERAL REGULATIONS AND LAW, AS WELL AS REQUIRED WITHIN EXISTING PERMITS AND APPROVALS.
- ALL APPLICABLE FEDERAL AND STATE REGULATIONS AND PERMITS SHALL BE FOLLOWED, INCLUDING, BUT NOT LIMITED TO, THE CLEAN WATER ACT, THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY, HEALTH ACT, AS WELL AS THE ORDER OF CONDITIONS AND SPECIAL PERMITS ISSUED BY THE TOWN OF FAIRHAVEN.

**SURVEY NOTES:**

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP., IN JANUARY 2021.
- TOPOGRAPHIC SURVEY DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) IN FEET.
- TO OBTAIN VALUES IN NGVD29 SUBTRACT 1.49 FEET FROM THE INDICATED VALUE AT ANY POINT. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.

**FLOOD NOTE:**

BY GRAPHIC PLOTTING ONLY, THE PROPERTY DEPICTED ON THIS PLAN FALLS IN ZONE AE AND ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP, JULY 16, 2014, COMMUNITY PANEL 25005 C 0391G.

**NOTES:**

- WASH STATION TO BE UTILIZED AS NECESSARY TO CLEAN WHEELS OF TRUCK PRIOR TO LEAVING SITE.
- ALL CATCH BASINS ADJACENT TO THE WORK SITES SHALL BE PROTECTED AS DEPICTED ON THE EROSION AND SEDIMENTATION CONTROL PLAN.
- PRIOR TO THE START OF CONSTRUCTION, FILTER FABRIC BARRIERS AND STRAW WATTLE SHALL BE INSTALLED AS SHOWN ON THESE PLANS AND REQUIRED BY REGULATORY AUTHORITIES.
- ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED OR REPLACED DURING CONSTRUCTION AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE PROPER AGENCY.
- ANTI-TRACKING APRON SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE TO BE ADDED TO OR REPLACED AS REQUIRED, AND CONTRACTOR WILL BE RESPONSIBLE FOR SWEEPING EXISTING ROADS AS REQUIRED.
- OFF SITE FILL TO BE LEFT BARE FOR MORE THAN 14 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIPS, MULCH, OR SEEDED WITH PERENNIAL FESCUE-GRASS UNTIL FINAL GRADING AND STABILIZATION IS TO TAKE PLACE.
- AREAS TO BE LEFT BARE FOR MORE THAN 7 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIPS, MULCH OR SEEDED WITH PERENNIAL FESCUE-GRASS UNTIL FINAL GRADING AND STABILIZATION IS TO TAKE PLACE.
- ALL DISTURBED SLOPE AREAS IN EXCESS OF 3:1 SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING RECOMMENDED APPLICATION RATES:  

MULCH:	RATE:
CERTIFIED WEED-FREE STRAW	90# / 1000 S.F.

TEMPORARY SEEDING:	RATE:
PERENNIAL FESCUE-GRASS	1.0# / 1000 S.F.
- CONTRACTOR SHALL PERIODICALLY CLEAN CATCH BASIN SUMPS AS REQUIRED DURING CONSTRUCTION.
- CONTRACTOR SHALL PREVENT SEDIMENT FROM ENTERING THE WATERWAY VIA DISCHARGES THROUGH ANY DRAINAGE STRUCTURES OR RUNOFF FROM WITHIN THE LIMITS OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING, RESTORING AND REPAIRING ALL DAMAGE AS A RESULT OF UNAUTHORIZED WORTH OR DISCHARGES AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL BARRIERS SHALL BE MODIFIED OR EXPANDED AS FIELD CONDITIONS WARRANT. ALL EROSION CONTROL BARRIERS SHALL BE INSPECTED AT LEAST ONCE PER WEEK. ANY DAMAGED AREAS OF THE EROSION CONTROL BARRIER SHALL BE REPAIRED WITHIN 24 HOURS OF DISCOVERY.
- DEWATERING BASINS SHALL CONSIST OF HAY BALE ENCLOSURES, TANKS, PERMEABLE BLADDERS, OR OTHER APPROPRIATE METHOD. DEWATERING WASTE WATERS SHALL BE PUMPED TO THE DEWATERING BASINS AND TREATED PRIOR TO DISCHARGE.
- DISCHARGE OF TURBID WATER TO THE WATERWAY SHALL BE PROHIBITED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL PROJECT DEMOLITION AND EXCESS MATERIAL IN ACCORDANCE WITH MASSACHUSETTS, LOCAL, AND FEDERAL LAWS.

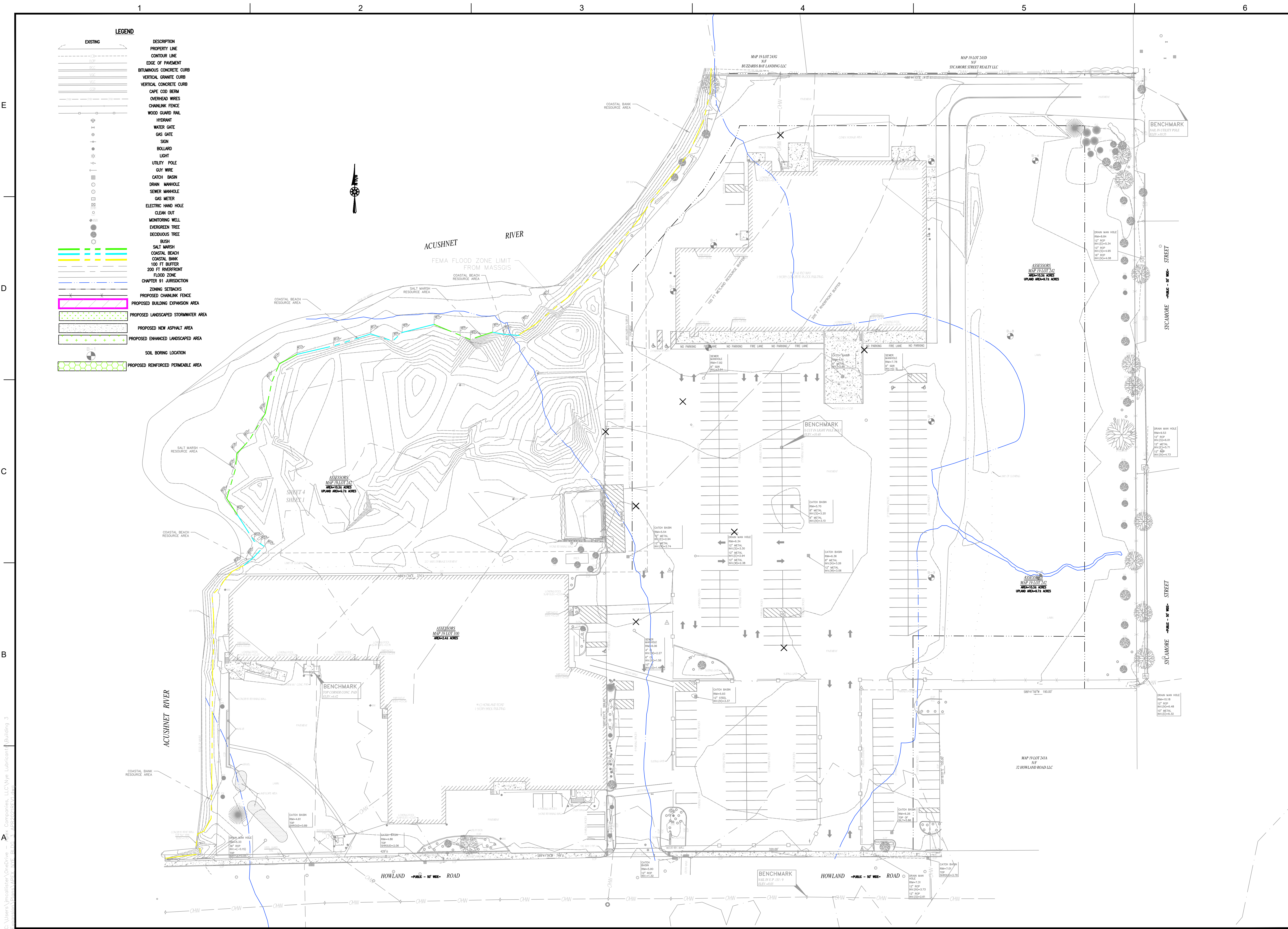
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ALL DAMAGE TO ADJACENT STRUCTURES AND UTILITIES AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL ENSURE THAT ADEQUATE SHORING AND FALSEWORK ARE PROVIDED TO THE EXISTING STRUCTURE(S) RESULTING IN A STABLE AND SAFE STRUCTURE AT ALL TIMES.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, AND SAFETY OF WORK.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VISIT THE SITE AND SHALL NOTIFY THE ENGINEER OF ANY ADDITIONAL UTILITIES, STRUCTURES, OR ANY OTHER ELEMENTS WHICH MAY IMPED WORK. UTILITY AND/OR STRUCTURE RELOCATIONS, IF NECESSARY, SHALL BE COORDINATED THROUGH THE OWNER'S ENGINEER.
- ALL CONSTRUCTION ACTIVITIES SHALL BE CONFINED TO THE LIMITS OF WORK AND TEMPORARY EASEMENTS DEFINED HEREIN.
- THE CONTRACTOR WILL BE REQUIRED TO SUBMIT A CONSTRUCTION SCHEDULE TO THE OWNER WITH 5 DAYS OF THE NOTICE OF AWARD. THE CONTRACTOR SHALL UPDATE SCHEDULE AS NEEDED THROUGHOUT THE COURSE OF WORK.
- THE CONTRACTOR SHALL STAGE ALL EQUIPMENT IN THE DESIGNATED STAGING AREA. ALL GREASING AND FUELING ACTIVITIES SHALL OCCUR IN THE STAGING AREA. ALL NECESSARY MEASURES SHALL BE TAKE TO PREVENT BY ANY METHOD, OIL, CONSTRUCTION DEBRIS, STOCKPILED MATERIALS, AND OTHER MATERIALS ON THE SITE, FROM ENTERING THE WATERWAY. STAGING/LAYDOWN AREAS, AS APPROVED BY THE ENGINEER, SHALL BE RESTORED BY THE CONTRACTOR TO THE EXISTING CONDITION. IN ADDITION, THE CONTRACTOR SHALL REPLACE ALL DAMAGED MATERIALS AS A RESULT OF HIS OPERATIONS, TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ALL CONSTRUCTION DEBRIS OR WASTE FROM FALLING INTO THE WATER. ANY DEBRIS FALLING INTO THE WATER SHALL BE REMOVED AND PROPERLY DISPOSED OF.
- THE CONTRACTOR SHALL MAINTAIN A SECURE SITE AND PROVIDE APPROPRIATE SAFETY MEASURES TO PREVENT ACCIDENTS. THE SAFETY MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FENCES, FLASHING WARNING LIGHTS, AND POLICING IF NECESSARY.
- IN CASE OF CONTRADICTION BETWEEN THE DRAWINGS, THE SPECIFICATIONS, AND THE CODES, OR IF ANY CHANGE IS REQUIRED, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY. NO CHANGE SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
- UPON COMPLETION OF THE PROJECT, CONTRACTOR IS TO PROVIDE TWO AS-BUILT PLAN SETS TO THE OWNER DEPICTING ANY FIELD CHANGES OF DIMENSION OR DETAIL, LOCATION OF UNDERGROUND STRUCTURES AND/OR UTILITIES, CONSTRUCTION DEVIATIONS, CHANGES TO DUE TO FIELD OR CHANGE ORDER, AND DETAILS NOT ON THE ORIGINAL DRAWINGS.

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	6893-003		
CADD FILE			
DESIGNED BY	JBM		
DRAWN BY	ANC		
CHECKED BY	JBM		
DATE	4/30/21		
DRAWING SCALE	AS NOTED		
GRAPHIC SCALE			
SHEET TITLE			
<b>TITLE SHEET</b>			
DRAWING NO.			
<b>T-1</b>			
1 OF 13			

PLOT SCALE 1/16"=1'-0"

C:\Users\Nye\Documents\Projects\Nye\_Lubricants\_LLC\Nye\_Lubricants\_Building\_3





**LEGEND**

EXISTING	DESCRIPTION
---	PROPERTY LINE
---	CONTOUR LINE
---	EDGE OF PAVEMENT
---	BITUMINOUS CONCRETE CURB
---	VERTICAL GRANITE CURB
---	VERTICAL CONCRETE CURB
---	CAPE COD BERM
---	OVERHEAD WIRES
---	CHAINLINK FENCE
---	WOOD GUARD RAIL
---	HYDRANT
---	WATER GATE
---	GAS GATE
---	SIGN
---	BOLLARD
---	LIGHT
---	UTILITY POLE
---	CLAY WIRE
---	CATCH BASIN
---	DRAIN MANHOLE
---	SEWER MANHOLE
---	GAS METER
---	ELECTRIC HAND HOLE
---	CLEAN OUT
---	MONITORING WELL
---	EVERGREEN TREE
---	DECIDUOUS TREE
---	BUSH
---	SALT MARSH
---	COASTAL BEACH
---	COASTAL BANK
---	100 FT BUFFER
---	200 FT RIVERFRONT
---	FLOOD ZONE
---	CHAPTER 91 JURISDICTION
---	ZONING SETBACKS
---	PROPOSED CHAINLINK FENCE
---	PROPOSED BUILDING EXPANSION AREA
---	PROPOSED LANDSCAPED STORMWATER AREA
---	PROPOSED NEW ASPHALT AREA
---	PROPOSED ENHANCED LANDSCAPED AREA
---	SOIL BORING LOCATION
---	PROPOSED REINFORCED PERMEABLE AREA

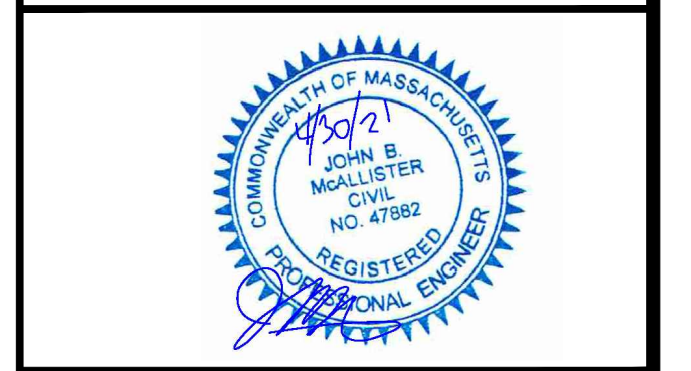
**APEX**

ROCKVILLE, MD  
WATERTOWN, MA  
NEW BEDFORD, MA  
SOUTH WINDSOR, CT  
124 WATERTOWN ST, SUITE 3F  
WATERTOWN, MA

1213 PURCHASE STREET SUITE 301  
NEW BEDFORD, MA

58H CONNECTICUT AVENUE  
SOUTH WINDSOR, CT

The drawings prepared by Apex for this project are instruments of Apex's service for use solely with respect to this project, and Apex shall be deemed the author of the Drawings and shall retain all copyright, patent, and other reserved rights with respect thereto, including the copyright. The Documents shall not be used on other projects, for addition to the project or for completion of the project by others, except by agreement in writing and with appropriate compensation to Apex.



**PROJECT**  
NYE LUBRICANTS  
BUILDING 3 EXPANSION  
PROJECT

**OWNER**  
NYE LUBRICANTS, INC.  
12 HOWLAND RD.  
FAIRHAVEN, MA

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	6893-003		
CADD FILE			
DESIGNED BY	JBM		
DRAWN BY	ANC		
CHECKED BY	JBM		
DATE	4/30/21		
DRAWING SCALE	1" = 60'		

GRAPHIC SCALE

SHEET TITLE  
**EXISTING  
CONDITIONS**

DRAWING NO.  
**E-1**

C:\Users\jmcaldwin\OneDrive - Apex Companies, LLC\Nye Lubricants\Building 3

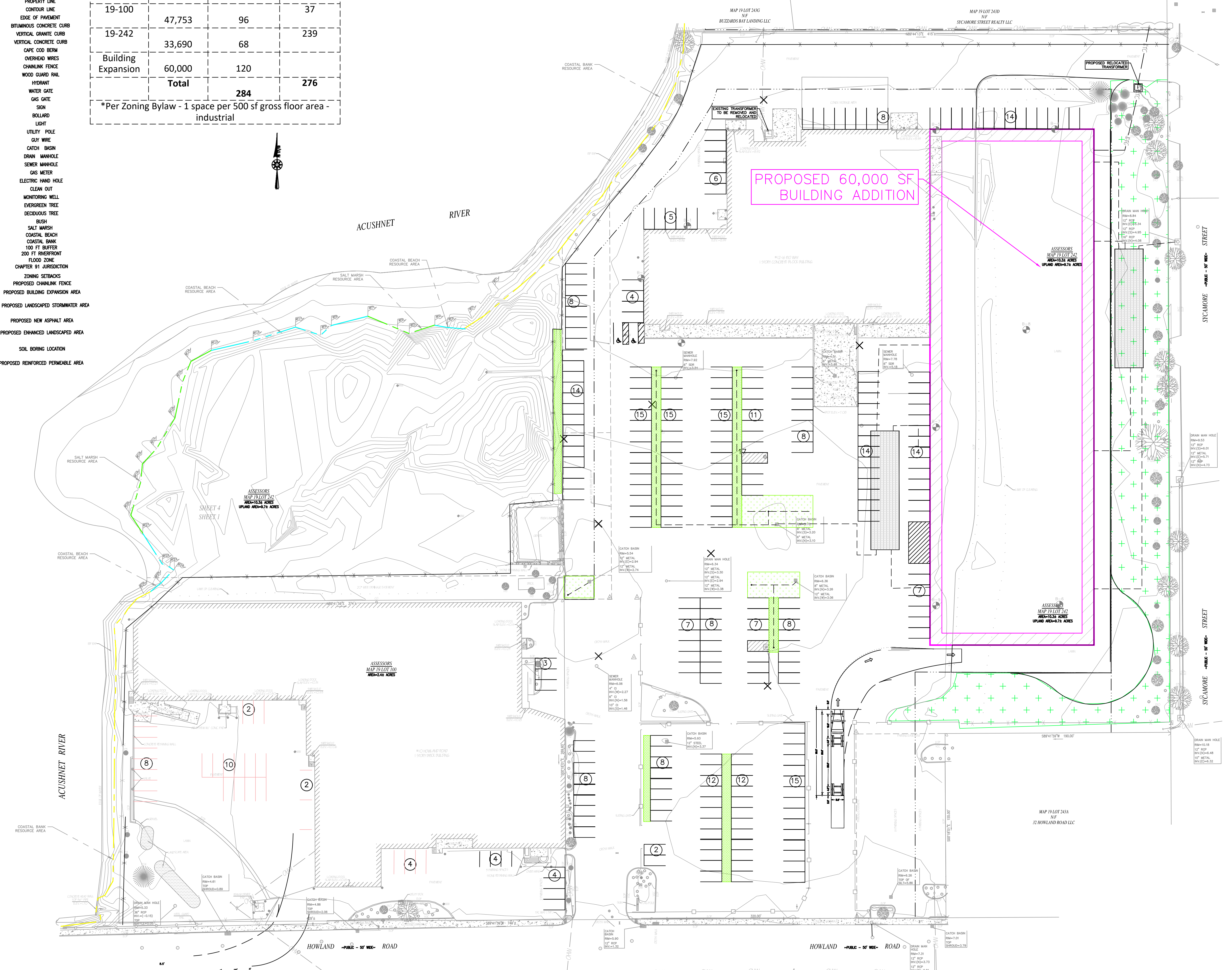


Nye Building Parking Layout			
Parcel	Building Size	Parking Spaces Required	Parking Spaces Provided
19-100	47,753	96	37
19-242	33,690	68	239
Building Expansion	60,000	120	
<b>Total</b>		<b>284</b>	<b>276</b>

\*Per Zoning Bylaw - 1 space per 500 sf gross floor area - industrial

NOTE:  
PARKING SPACES ARE SHOWN AS POTENTIAL CAPACITY, NOT ALL SPACES WILL BE STRIPED, AS PARKING DEMAND IS NOT ANTICIPATED TO MEET THE LOADING REQUIREMENTS.

LEGEND	
	EXISTING
	DESCRIPTION
	PROPERTY LINE
	CONTOUR LINE
	EDGE OF PAVEMENT
	BITUMINOUS CONCRETE CURB
	VERTICAL CONCRETE CURB
	CAFE COD BERM
	OVERHEAD WIRES
	CHAINLINK FENCE
	WOOD GUARD RAIL
	HYDRANT
	WATER GATE
	GAS GATE
	SIGN
	BOLLARD
	LIGHT
	UTILITY POLE
	GUY WIRE
	CATCH BASIN
	DRAIN MANHOLE
	SEWER MANHOLE
	GAS METER
	ELECTRIC HAND HOLE
	CLEAN OUT
	MONITORING WELL
	EVERGREEN TREE
	DECIDUOUS TREE
	BUSH
	SALT MARSH
	COASTAL BEACH
	COASTAL BANK
	100 FT BUFFER
	200 FT BUFFER
	FLOOD ZONE
	CHAPTER 91 JURISDICTION
	ZONING SETBACKS
	PROPOSED CHAINLINK FENCE
	PROPOSED BUILDING EXPANSION AREA
	PROPOSED LANDSCAPED STORMWATER AREA
	PROPOSED NEW ASPHALT AREA
	PROPOSED ENHANCED LANDSCAPED AREA
	SOIL BORING LOCATION
	PROPOSED REINFORCED PERMEABLE AREA



**APEX**

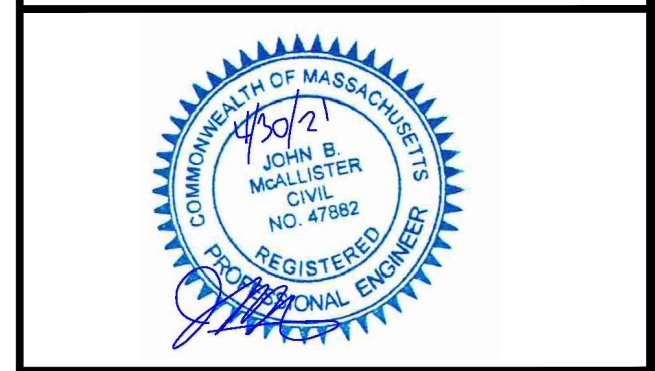
ROCKVILLE, MD  
WATERTOWN, MA  
NEW BEDFORD, MA  
SOUTH WINDSOR, CT

124 WATERTOWN ST, SUITE 3F  
WATERTOWN, MA

1213 PURCHASE STREET SUITE 301  
NEW BEDFORD, MA

58H CONNECTICUT AVENUE  
SOUTH WINDSOR, CT

The drawings prepared by Apex for this project are instruments of Apex's service for use solely with respect to this project, and Apex shall be deemed the author of the Drawings and shall retain all copyright, title, and other reserved rights with respect thereto, including the copyright. The Documents shall not be used on other projects, for addition to the project or for completion of the project by others, except by agreement in writing and with appropriate compensation to Apex.



PROJECT  
**NYE LUBRICANTS BUILDING 3 EXPANSION PROJECT**

OWNER  
**NYE LUBRICANTS, INC.  
12 HOWLAND RD.  
FAIRHAVEN, MA**

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	6893-003		
CADD FILE			
DESIGNED BY	JBM		
DRAWN BY	ANC		
CHECKED BY	JBM		
DATE	4/30/21		
DRAWING SCALE	1" = 60'		

GRAPHIC SCALE

SHEET TITLE  
**PROPOSED PARKING CONDITIONS**

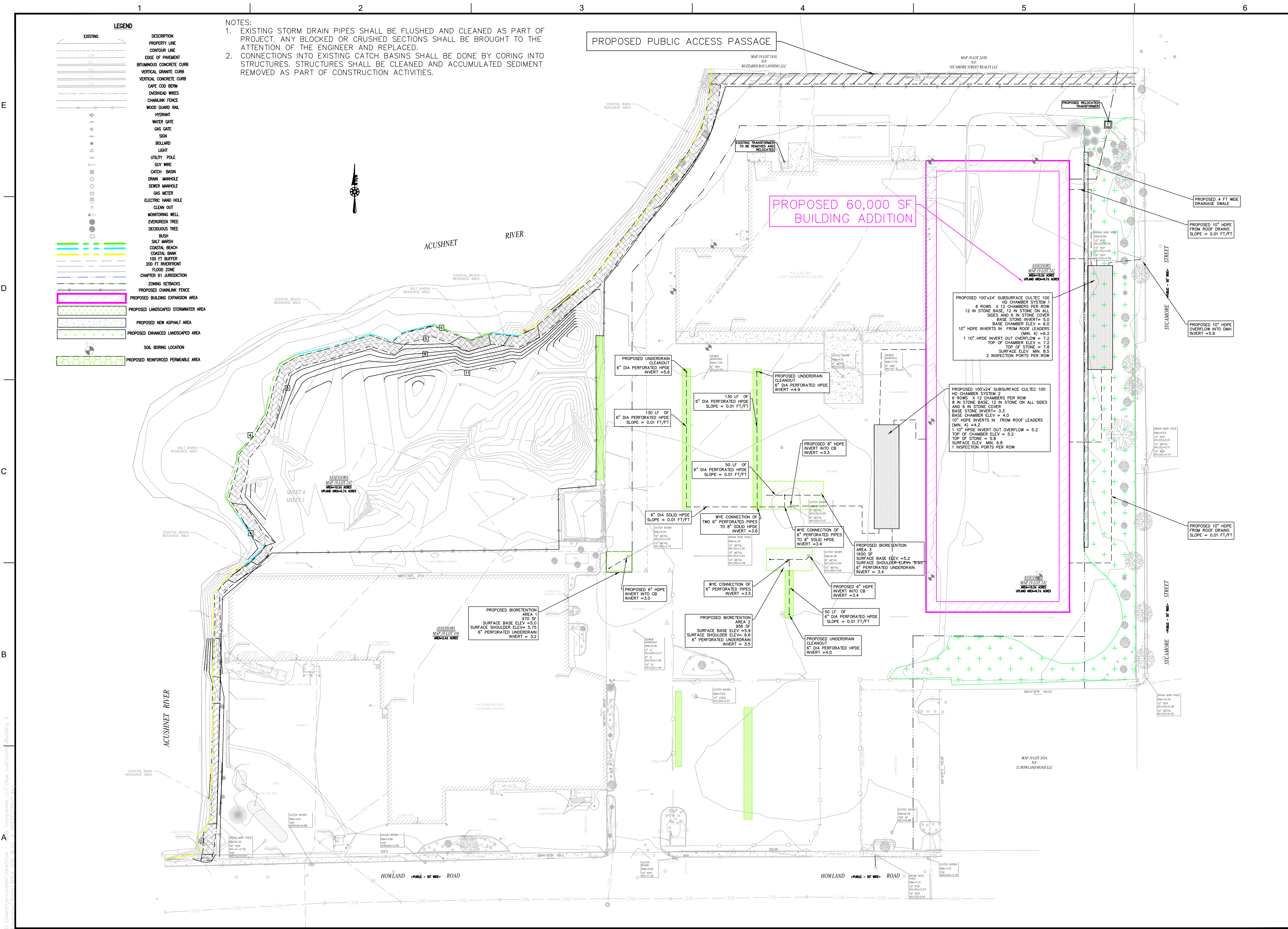
DRAWING NO.  
**P-2**

5 OF 13

PLOT SCALE 1/16"=1'-0"

C:\Users\jmollier\OneDrive - Apex Companies, LLC\Nye Lubricants\Building 3





- NOTES:
- EXISTING STORM DRAIN PIPES SHALL BE FLUSHED AND CLEANED AS PART OF PROJECT. ANY BLOCKED OR CRUSHED SECTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND REPLACED.
  - CONNECTIONS INTO EXISTING CATCH BASINS SHALL BE DONE BY CORING INTO STRUCTURES. STRUCTURES SHALL BE CLEANED AND ACCUMULATED SEDIMENT REMOVED AS PART OF CONSTRUCTION ACTIVITIES.

**LEGEND**

EXISTING	DESCRIPTION
[Symbol]	PROPERTY LINE
[Symbol]	CONTOUR LINE
[Symbol]	EDGE OF PAVEMENT
[Symbol]	BITUMINOUS CONCRETE CURB
[Symbol]	VERTICAL GRANITE CURB
[Symbol]	VERTICAL CONCRETE CURB
[Symbol]	CAPE COD BERM
[Symbol]	OVERHEAD WIRING
[Symbol]	CHAINLINK FENCE
[Symbol]	WOOD GUARD RAIL
[Symbol]	HYDRANT
[Symbol]	WATER GATE
[Symbol]	GAS GATE
[Symbol]	SIGN
[Symbol]	BOLLARD
[Symbol]	LIGHT
[Symbol]	UTILITY POLE
[Symbol]	GUY WIRE
[Symbol]	CATCH BASIN
[Symbol]	DRAIN MANHOLE
[Symbol]	SEWER MANHOLE
[Symbol]	GAS METER
[Symbol]	ELECTRIC HAND HOLE
[Symbol]	CLEAN OUT
[Symbol]	MONITORING WELL
[Symbol]	EVERGREEN TREE
[Symbol]	DECIDUOUS TREE
[Symbol]	BUSH
[Symbol]	SALT MARSH
[Symbol]	COASTAL BEACH
[Symbol]	COASTAL BANK
[Symbol]	100 FT BUFFER
[Symbol]	200 FT BUFFER
[Symbol]	FLOOD ZONE
[Symbol]	CHAPTER 91 JURISDICTION
[Symbol]	ZONING SETBACKS
[Symbol]	PROPOSED CHAINLINK FENCE
[Symbol]	PROPOSED BUILDING EXPANSION AREA
[Symbol]	PROPOSED LANDSCAPED STORMWATER AREA
[Symbol]	PROPOSED NEW ASPHALT AREA
[Symbol]	PROPOSED ENHANCED LANDSCAPED AREA
[Symbol]	SOIL BORING LOCATION
[Symbol]	PROPOSED REINFORCED PERMEABLE AREA

**APEX**

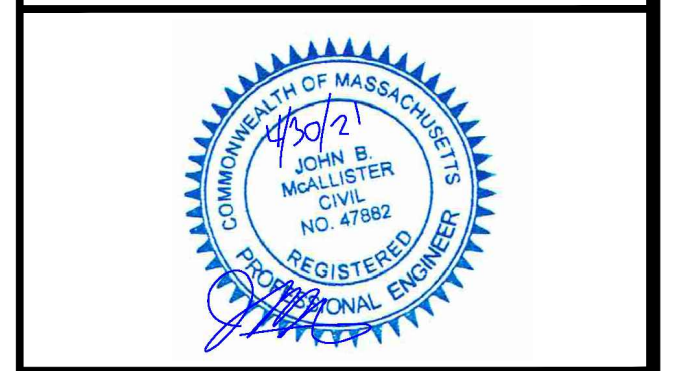
ROCKVILLE, MD  
WATERTOWN, MA  
NEW BEDFORD, MA  
SOUTH WINDSOR, CT

124 WATERTOWN ST, SUITE 3F  
WATERTOWN, MA

1213 PURCHASE STREET SUITE 301  
NEW BEDFORD, MA

58H CONNECTICUT AVENUE  
SOUTH WINDSOR, CT

The drawings prepared by Apex for the project are instruments of Apex's service for use solely with respect to this project, and Apex shall be deemed the author of the Drawings and shall retain all copyright, patent, and other reserved rights with respect thereto, including the copyright. The Documents shall not be used on other projects, for addition to the project or for completion of the project by others, except by agreement in writing and with appropriate compensation to Apex.



**PROJECT**  
NYE LUBRICANTS  
BUILDING 3 EXPANSION  
PROJECT

**OWNER**  
NYE LUBRICANTS, INC.  
12 HOWLAND RD.  
FAIRHAVEN, MA

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	6893-003		
CADD FILE			
DESIGNED BY	JBM		
DRAWN BY	ANC		
CHECKED BY	JBM		
DATE	4/30/21		
DRAWING SCALE	1" = 60'		

GRAPHIC SCALE

SHEET TITLE  
**PROPOSED GRADING & DRAINAGE PLAN**

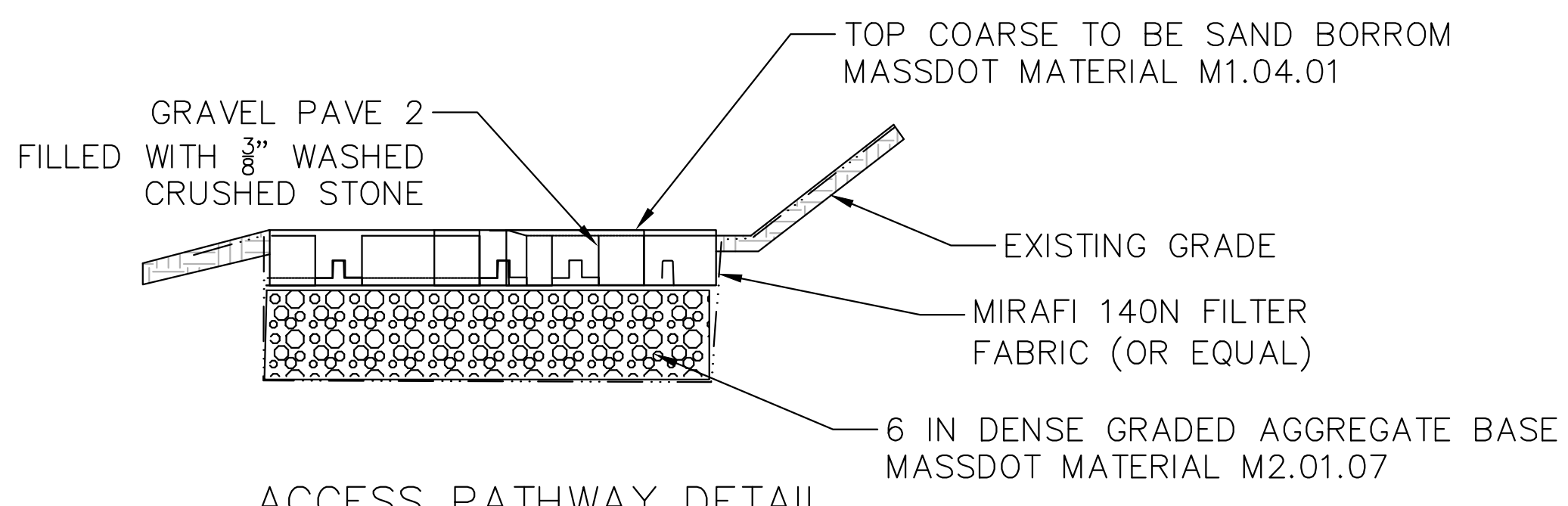
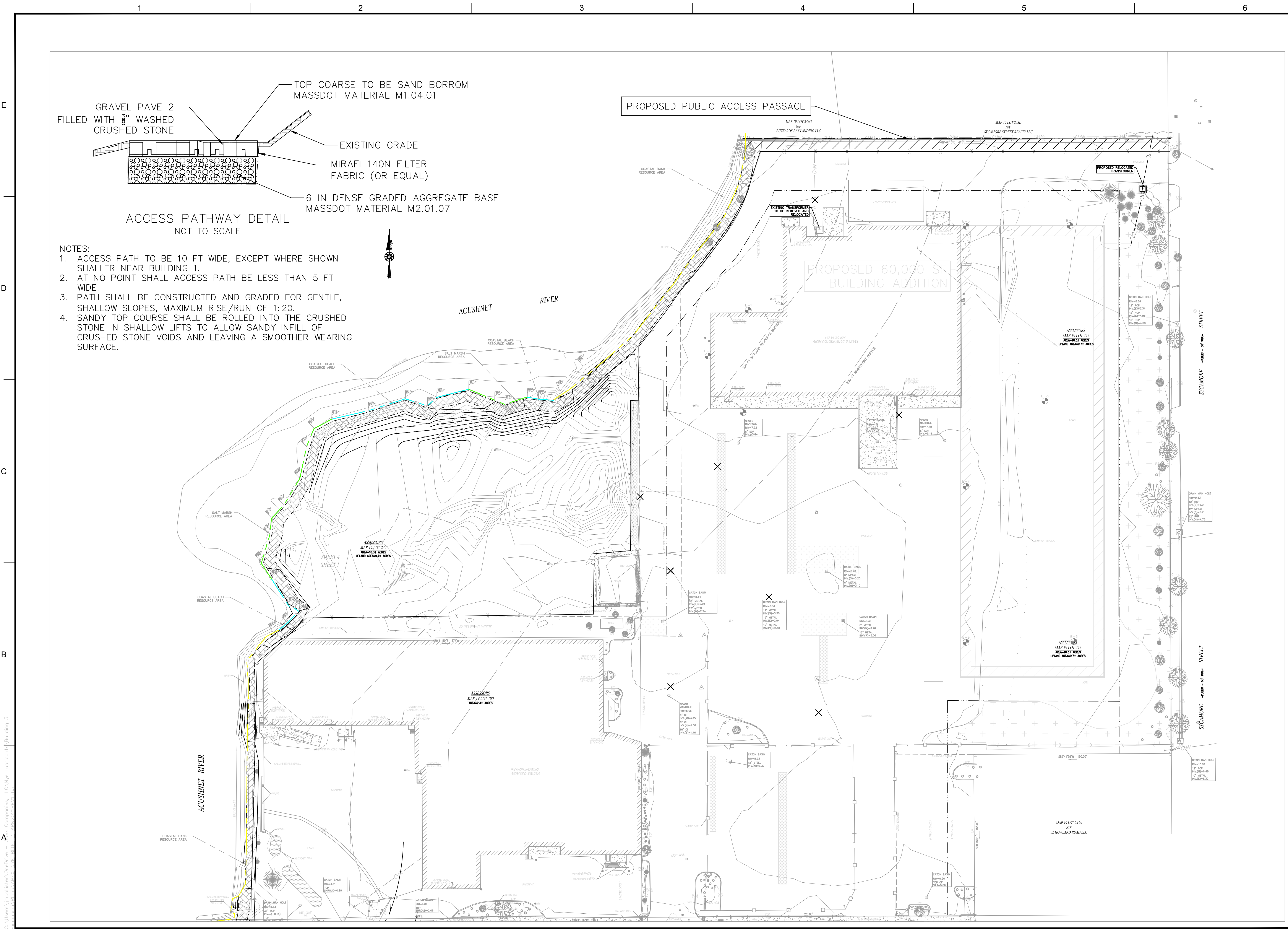
DRAWING NO.  
**P-3**

6 OF 13

PLOT SCALE 1/16"=1'-0"

C:\Users\jmcallister\OneDrive - Apex Companies, LLC\Mye Lubricants\Building 3





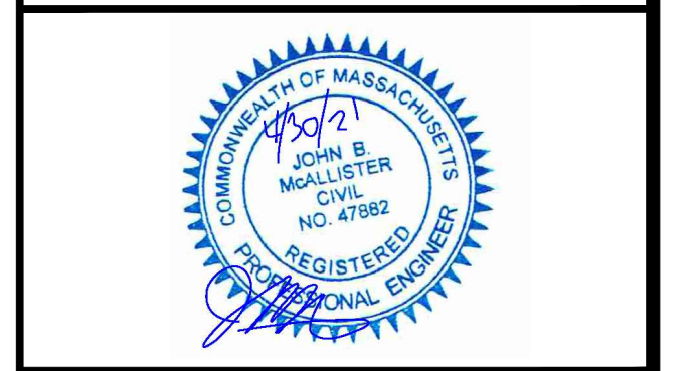
- NOTES:
1. ACCESS PATH TO BE 10 FT WIDE, EXCEPT WHERE SHOWN SHALLER NEAR BUILDING 1.
  2. AT NO POINT SHALL ACCESS PATH BE LESS THAN 5 FT WIDE.
  3. PATH SHALL BE CONSTRUCTED AND GRADED FOR GENTLE, SHALLOW SLOPES, MAXIMUM RISE/RUN OF 1:20.
  4. SANDY TOP COURSE SHALL BE ROLLED INTO THE CRUSHED STONE IN SHALLOW LIFTS TO ALLOW SANDY INFILL OF CRUSHED STONE VOIDS AND LEAVING A SMOOTHER WEARING SURFACE.

ROCKVILLE, MD  
WATERTOWN, MA  
NEW BEDFORD, MA  
SOUTH WINDSOR, CT  
124 WATERTOWN ST, SUITE 3F  
WATERTOWN, MA

1213 PURCHASE STREET SUITE 301  
NEW BEDFORD, MA

58H CONNECTICUT AVENUE  
SOUTH WINDSOR, CT

The drawings prepared by Apex for the project are instruments of Apex's service for use solely with respect to this project, and Apex shall be deemed the author of the drawings and shall retain all copyright, title, and other reserved rights with respect thereto, including the copyright. The Documents shall not be used on other projects, for addition to the project or for completion of the project by others, except by agreement in writing and with appropriate compensation to Apex.



PROJECT	OWNER
<b>NYE LUBRICANTS BUILDING 3 EXPANSION PROJECT</b>	<b>NYE LUBRICANTS, INC. 12 HOWLAND RD. FAIRHAVEN, MA</b>

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	6893-003		
CADD FILE			
DESIGNED BY	JBM		
DRAWN BY	ANC		
CHECKED BY	JBM		
DATE	4/30/21		
DRAWING SCALE	1" = 60'		
GRAPHIC SCALE			

SHEET TITLE

**PROPOSED  
CHAPTER 91  
PUBLIC ACCESS**

DRAWING NO.

**P-4**

7 OF 13

PLOT SCALE 1/16"=1'-0"

C:\Users\jwallister\OneDrive - Apex Companies, LLC\Mye Lubricants\Building 3

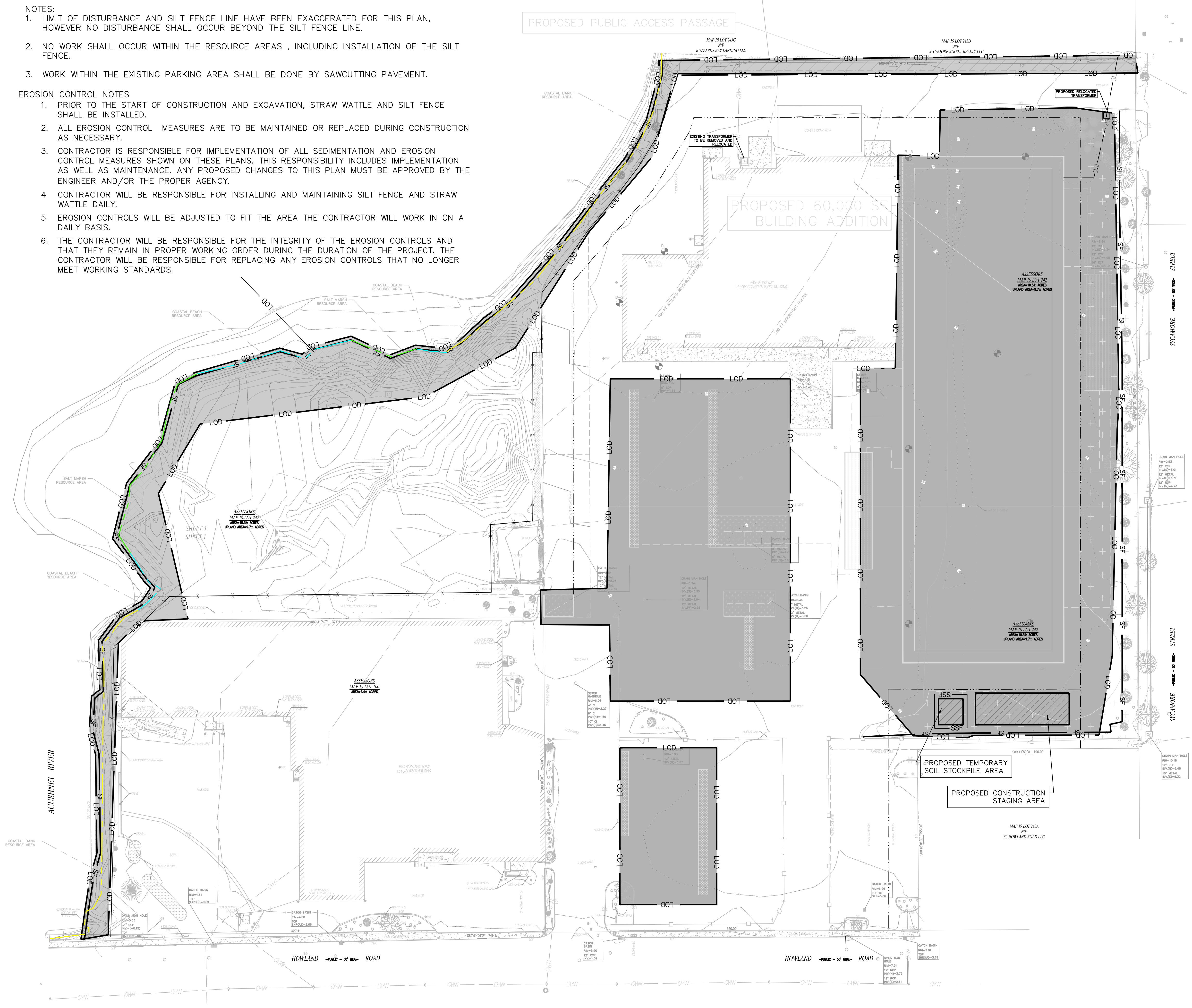


**LEGEND**

EXISTING	DESCRIPTION
[Symbol]	PROPERTY LINE
[Symbol]	CONTOUR LINE
[Symbol]	EDGE OF PAVEMENT
[Symbol]	BITUMINOUS CONCRETE CURB
[Symbol]	VERTICAL GRANITE CURB
[Symbol]	VERTICAL CONCRETE CURB
[Symbol]	CAPE COD BERM
[Symbol]	OVERHEAD WIRES
[Symbol]	CHAINLINK FENCE
[Symbol]	WOOD GUARD RAIL
[Symbol]	HYDRANT
[Symbol]	WATER GATE
[Symbol]	GAS GATE
[Symbol]	SIGN
[Symbol]	BOLLARD
[Symbol]	LIGHT
[Symbol]	UTILITY POLE
[Symbol]	CUT WIRE
[Symbol]	CATCH BASIN
[Symbol]	DRAIN MANHOLE
[Symbol]	SEWER MANHOLE
[Symbol]	GAS METER
[Symbol]	ELECTRIC HAND HOLE
[Symbol]	CLEAN OUT
[Symbol]	MONITORING WELL
[Symbol]	EVERGREEN TREE
[Symbol]	DECIDUOUS TREE
[Symbol]	BUSH
[Symbol]	SALT MARSH
[Symbol]	COASTAL BEACH
[Symbol]	COASTAL BANK
[Symbol]	100 FT BUFFER
[Symbol]	200 FT BUFFER
[Symbol]	FLOOD ZONE
[Symbol]	CHAPTER 91 JURISDICTION
[Symbol]	ZONING SETBACKS
[Symbol]	PROPOSED CHAINLINK FENCE
[Symbol]	PROPOSED BUILDING EXPANSION AREA
[Symbol]	PROPOSED LANDSCAPED STORMWATER AREA
[Symbol]	PROPOSED NEW ASPHALT AREA
[Symbol]	PROPOSED ENHANCED LANDSCAPED AREA
[Symbol]	SOIL BORING LOCATION
[Symbol]	PROPOSED REINFORCED PERMEABLE AREA

- NOTES:**
- LIMIT OF DISTURBANCE AND SILT FENCE LINE HAVE BEEN EXAGGERATED FOR THIS PLAN, HOWEVER NO DISTURBANCE SHALL OCCUR BEYOND THE SILT FENCE LINE.
  - NO WORK SHALL OCCUR WITHIN THE RESOURCE AREAS, INCLUDING INSTALLATION OF THE SILT FENCE.
  - WORK WITHIN THE EXISTING PARKING AREA SHALL BE DONE BY SAWCUTTING PAVEMENT.

- EROSION CONTROL NOTES**
- PRIOR TO THE START OF CONSTRUCTION AND EXCAVATION, STRAW WATTLE AND SILT FENCE SHALL BE INSTALLED.
  - ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED OR REPLACED DURING CONSTRUCTION AS NECESSARY.
  - CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE PROPER AGENCY.
  - CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING SILT FENCE AND STRAW WATTLE DAILY.
  - EROSION CONTROLS WILL BE ADJUSTED TO FIT THE AREA THE CONTRACTOR WILL WORK IN ON A DAILY BASIS.
  - THE CONTRACTOR WILL BE RESPONSIBLE FOR THE INTEGRITY OF THE EROSION CONTROLS AND THAT THEY REMAIN IN PROPER WORKING ORDER DURING THE DURATION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY EROSION CONTROLS THAT NO LONGER MEET WORKING STANDARDS.



ROCKVILLE, MD  
WATERTOWN, MA  
NEW BEDFORD, MA  
SOUTH WINDSOR, CT  
124 WATERTOWN ST, SUITE 3F  
WATERTOWN, MA  
1213 PURCHASE STREET SUITE 301  
NEW BEDFORD, MA  
58H CONNECTICUT AVENUE  
SOUTH WINDSOR, CT

The drawings prepared by Apex for this project are instruments of Apex's service for use solely with respect to this project, and Apex shall not be deemed the author of the Design and Installation Manual, Specifications and other reserved rights with respect thereto, including the copyright. The Documents shall not be used on other projects, for addition to the project or for completion of the project by others, except by agreement in writing and with appropriate compensation to Apex.



**PROJECT**  
NYE LUBRICANTS  
BUILDING 3 EXPANSION  
PROJECT

**OWNER**  
NYE LUBRICANTS, INC.  
12 HOWLAND RD.  
FAIRHAVEN, MA

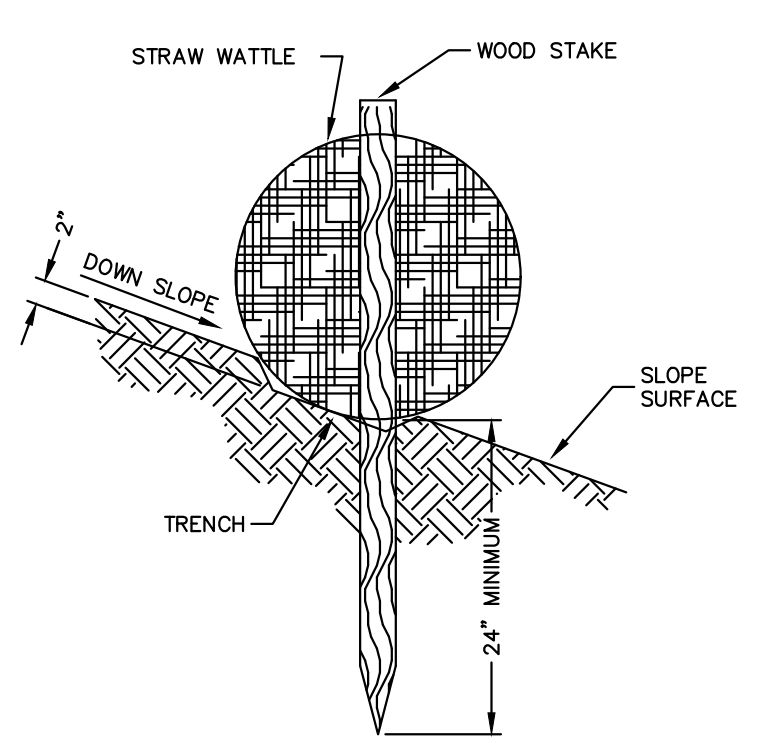
NO.	DATE	DESCRIPTION	BY
PROJECT NO.	6893-003		
CADD FILE			
DESIGNED BY	JBM		
DRAWN BY	ANC		
CHECKED BY	JBM		
DATE	4/30/21		
DRAWING SCALE	1" = 60'		

GRAPHIC SCALE

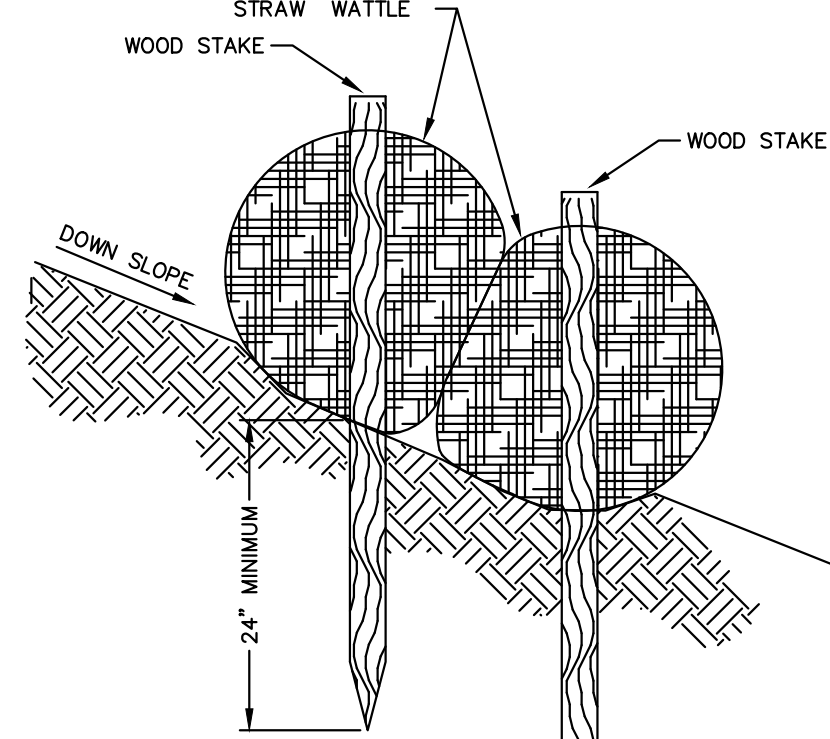
SHEET TITLE  
**PROPOSED EROSION AND SEDIMENTATION CONTROLS PLAN**

DRAWING NO.  
**ER-1**

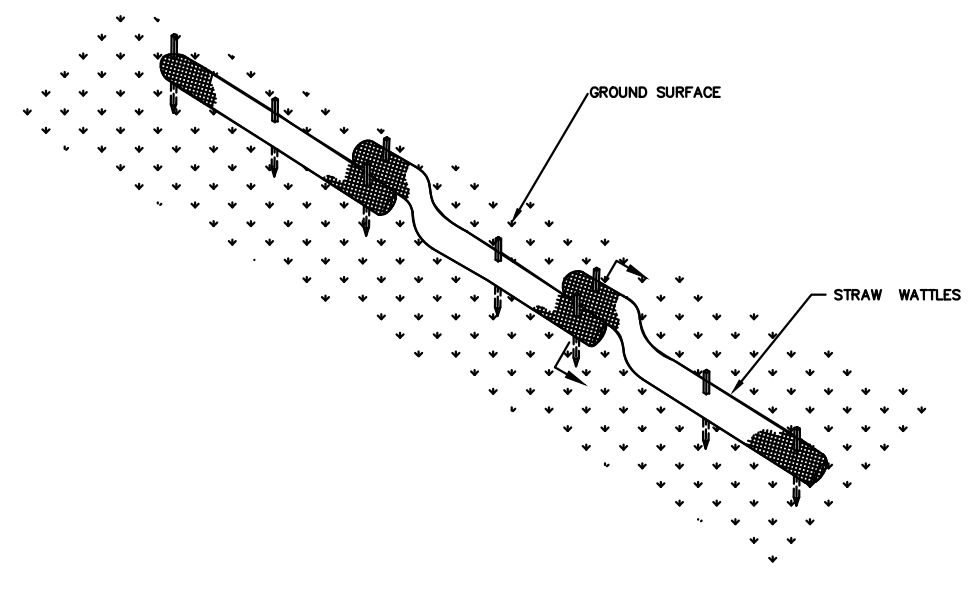




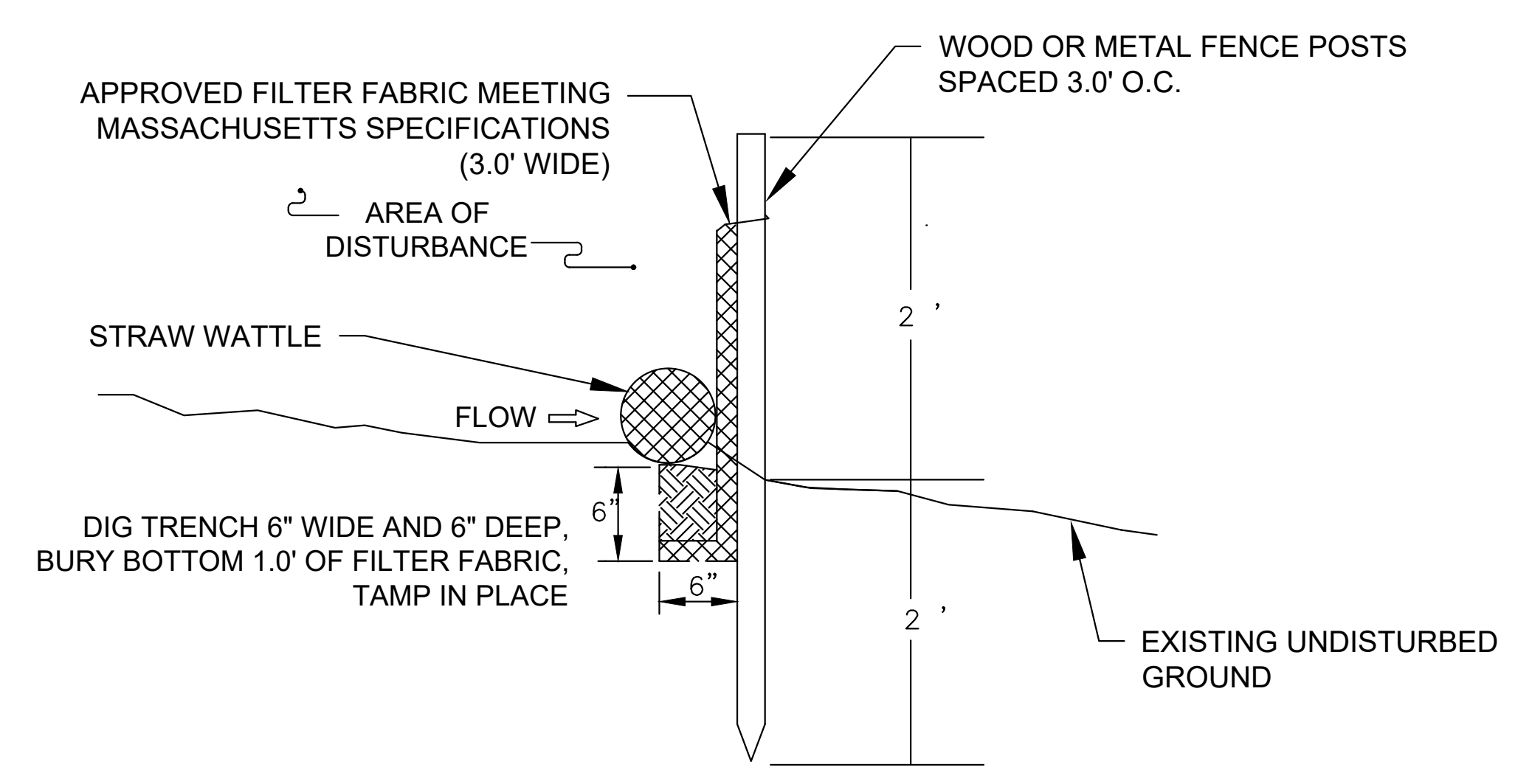
STAKE DETAIL ON BARE SOIL  
NO SCALE



STAKE DETAIL  
NO SCALE

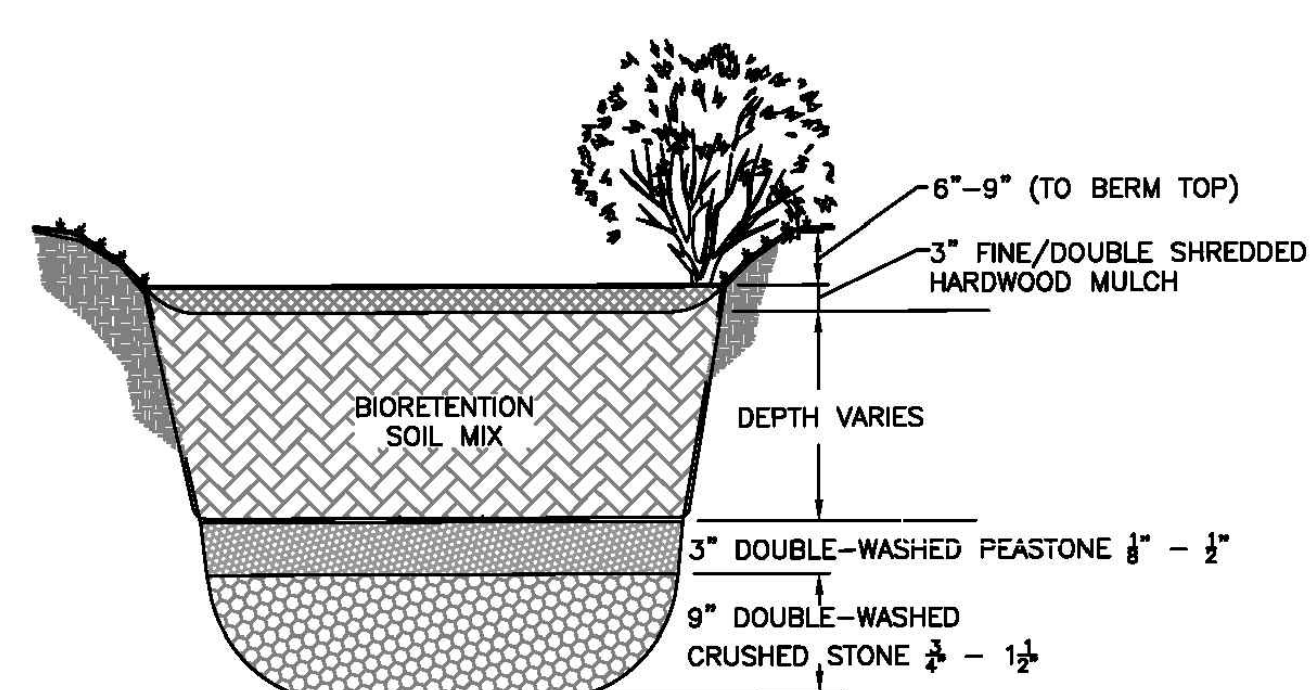


STRAW WATTLE  
NO SCALE



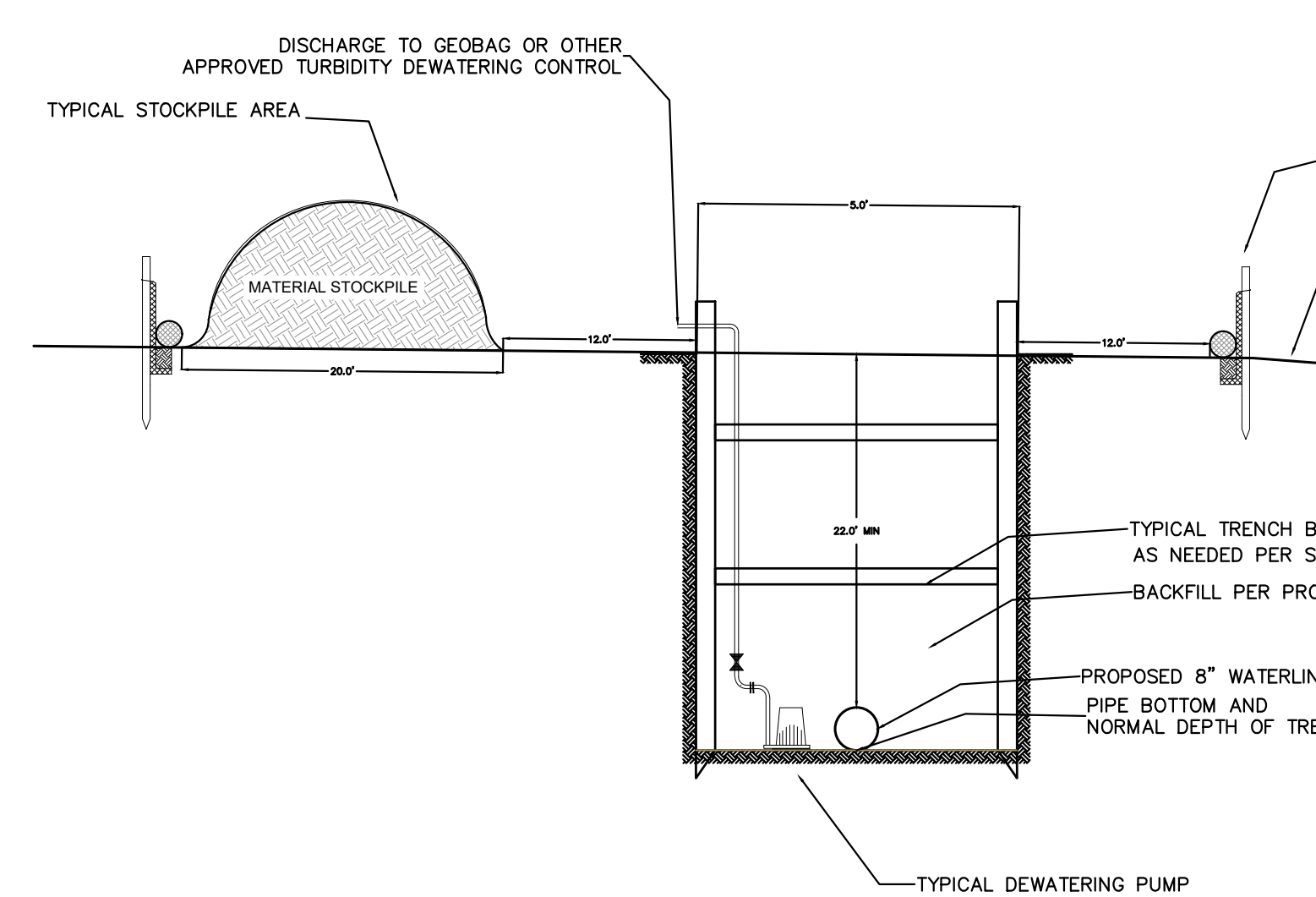
- NOTES:
- SILT FENCING SHALL BE PLACED AS SHOWN ON PROJECT DRAWINGS.
  - BOTTOM 1 FOOT OF SILT FENCING SHALL BE BURIED IN 6" X 6" TRENCH DUG AT BASE OF FENCING.
  - SILT FENCING SHALL BE ANCHORED IN PLACE WITH WOODEN OR METAL FENCE POSTS SPACED AT 3 FT. O.C.
  - INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE PROMPT (WHEN NEEDED).
  - SILT FENCING SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS.
  - SILT FENCING TO BE PLACED DOWN-GRADIENT OF HAY BALES.

- NOTES:
- CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING WATER IN THE EXCAVATION AREA AND MEETING THE PERFORMANCE STANDARDS OF THE CONTRACT, PARTICULARLY FOR WATER QUALITY. CONTRACTOR TO SUBMIT A TRENCH DEWATERING PLAN THAT WILL ADDRESS, AT A MINIMUM, SOME FORM OF SEDIMENTATION/TURBIDITY REDUCTION BEST MANAGEMENT PRACTICE AS TO COMPLY WITH THE WATER QUALITY REQUIREMENTS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING SILT FENCE/STRAW WATTLE THROUGHOUT THE CONTRACT AND ENSURING IT IS PLACED IN A MANNER TO PROTECT THE SENSITIVE DOWNSTREAM RECEPTORS AND OFF-SITE AREAS.
  - EROSION AND SEDIMENTATION CONTROL SHALL REMAIN IN PLACE AND IN PROPER WORKING ORDER THROUGHOUT THE DURATION OF THE CONTRACT. IF INITIAL CONTROLS DO NOT PROVE TO BE SUFFICIENT, THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS.

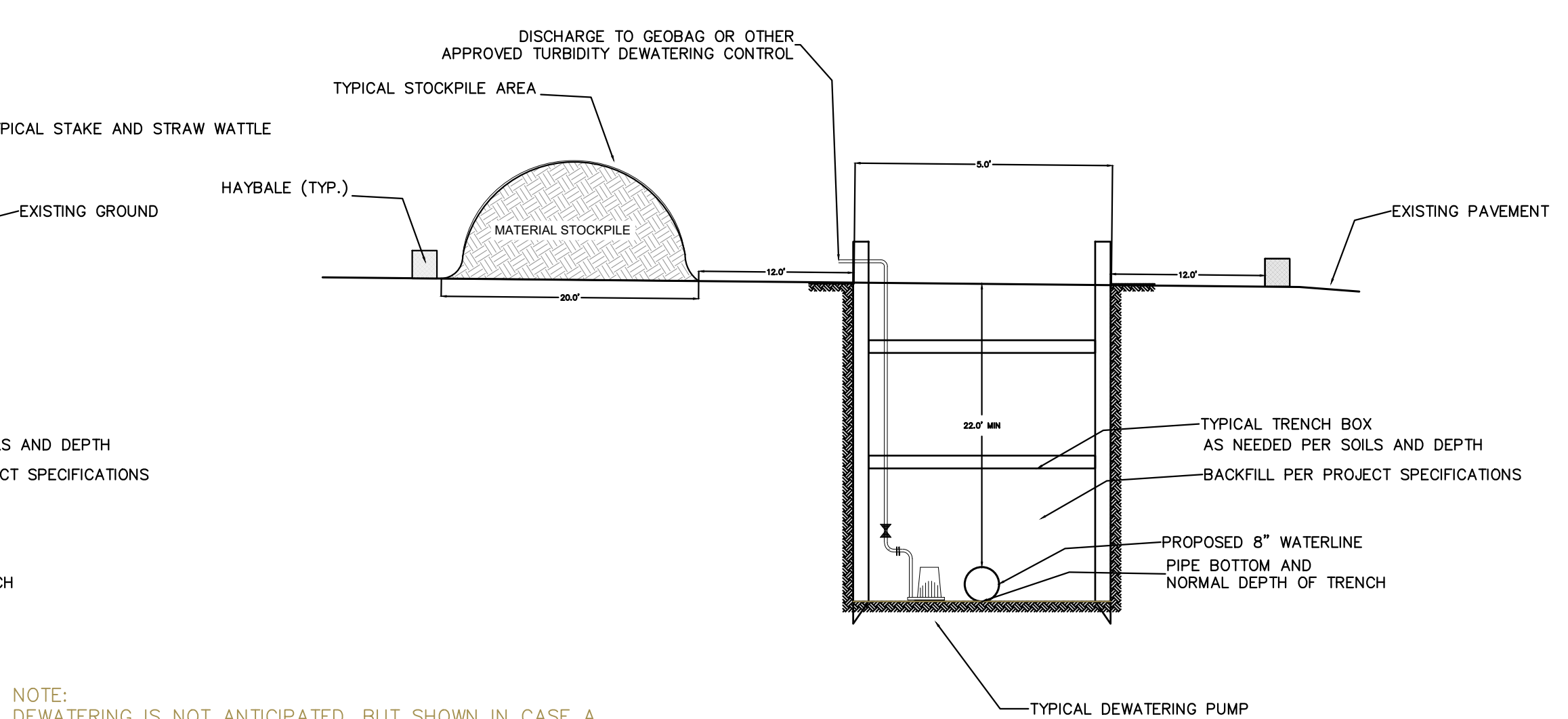


EXFILTRATING BIORETENTION CELL DETAIL  
NO SCALE

- NOTES:
- ALL A & B HORIZON SOILS, AS WELL AS OTHER UNSUITABLE SOILS, UNDERLYING THE BMPs SHALL BE REMOVED AND REPLACED.
  - EXCAVATION FOR ALL BMPs SHALL INCLUDE AN OVERDIG OF 25% OF THE WIDTH OF THE BMP UP TO A MAXIMUM OF 3 FT TO ENSURE SUITABLE SOILS FOR THE BMP.
  - EXCAVATION AND INSTALLATION OF THE BMPs SHALL BE INSPECTED BY THE ENGINEER.
  - UNDERLYING SOILS FOR THE BMPs SHALL NOT BE COMPACTED PRIOR TO PLACEMENT OF THE BMPs.
  - ALL INFILTRATION PRACTICES SHALL BE PROTECTED DURING CONSTRUCTION.
  - THE BIORETENTION SOIL MIX SHALL CONSIST OF A UNIFORM MIXTURE OF TWO PARTS (40% BY VOLUME) COARSE SAND (MASS HIGHWAY DEPARTMENT MATERIAL SPECIFICATION M1.04.0 TYPE A), TWO PARTS (40% BY VOLUME) TOPSOIL (MHD SPECIFICATION M1.05.0 OR M1.06.1) AND ONE PART (20% BY VOLUME) SHREDDED HARDWOOD BARK MULCH.
  - THE LARGEST STONE SIZE SHALL BE 1/2" DIAMETER IN THE TOPSOIL.
  - FINAL PLANTING MATERIALS SHALL BE AS PRESCRIBED BY LANDSCAPE ARCHITECT



TRENCH EXCAVATION WITH SILT FENCE DETAIL  
NO SCALE



TRENCH EXCAVATION IN PAVEMENT DETAIL  
NO SCALE

NOTE:  
DEWATERING IS NOT ANTICIPATED, BUT SHOWN IN CASE A SITUATION ARISES WHERE IT IS NEEDED.  
TRENCH BOXES AND TRENCH SHORING TO BE DETERMINED BY SOIL CONDITIONS AND EXCAVATION DEPTHS.



ROCKVILLE, MD  
WATERTOWN, MA  
NEW BEDFORD, MA  
SOUTH WINDSOR, CT  
124 WATERTOWN ST, SUITE 3F  
WATERTOWN, MA

1213 PURCHASE STREET SUITE 301  
NEW BEDFORD, MA

58H CONNECTICUT AVENUE  
SOUTH WINDSOR, CT

The drawings prepared by Apex for the project are instruments of service for use solely with respect to the project, and Apex shall be deemed the author of the drawings and shall retain all copyright, liability and other reserved rights with respect thereto, including the copyright. The Documents shall not be used on other projects, for addition to the project or for completion of the project by others, except by agreement in writing and with appropriate compensation to Apex.



PROJECT  
**NYE LUBRICANTS BUILDING 3 EXPANSION PROJECT**

OWNER  
NYE LUBRICANTS, INC.  
12 HOWLAND RD.  
FAIRHAVEN, MA

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	6893-003		
CADD FILE			
DESIGNED BY	JBM		
DRAWN BY	ANC		
CHECKED BY	JBM		
DATE	4/30/21		
DRAWING SCALE	AS NOTED		

GRAPHIC SCALE

SHEET TITLE  
**DETAIL SHEET**

DRAWING NO.  
**D-1**

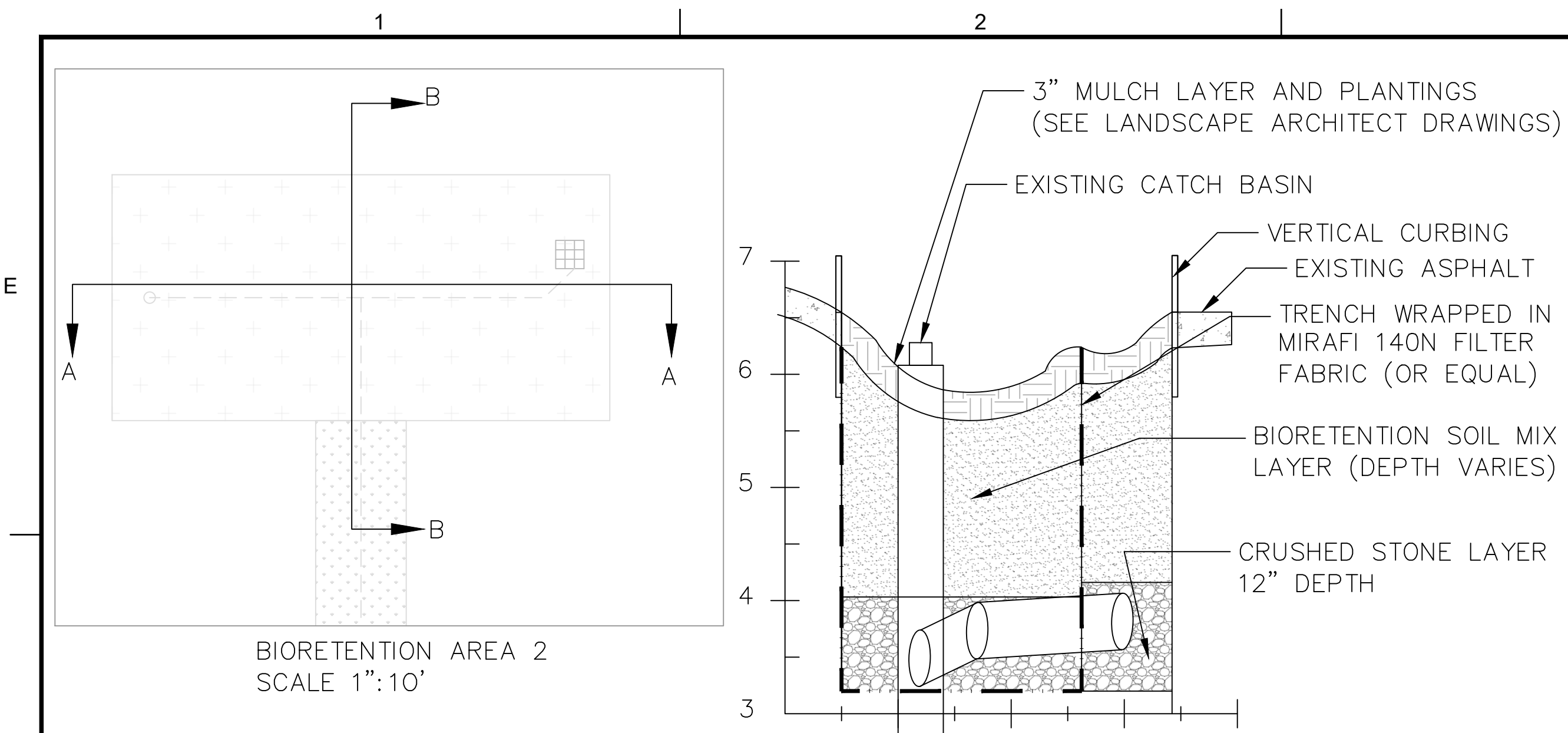
10 OF 13  
PLOT SCALE 1/16"=1'-0"

C:\Users\jwallster\OneDrive - Apex Companies, LLC\Mye Lubricants\Building 3

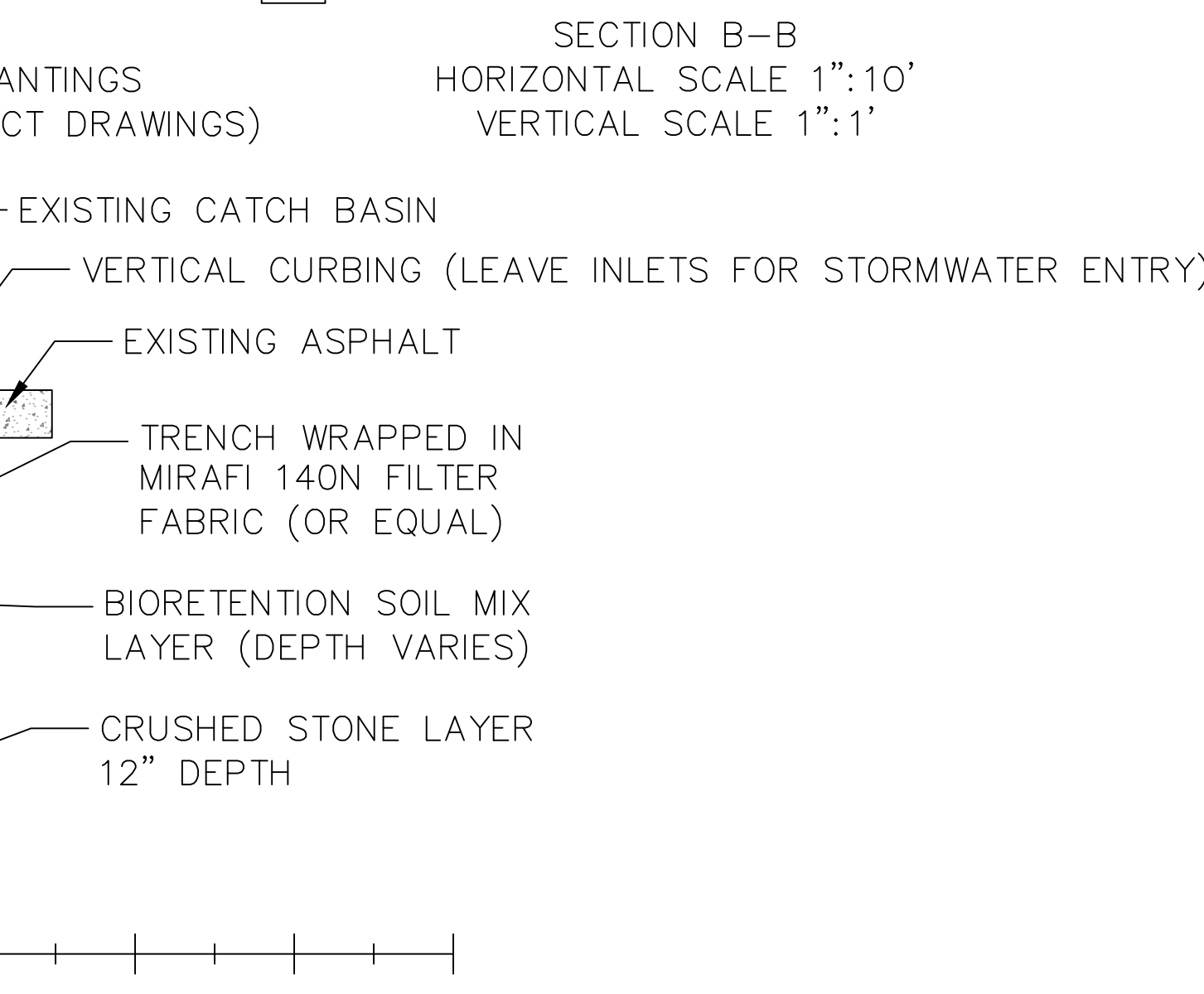




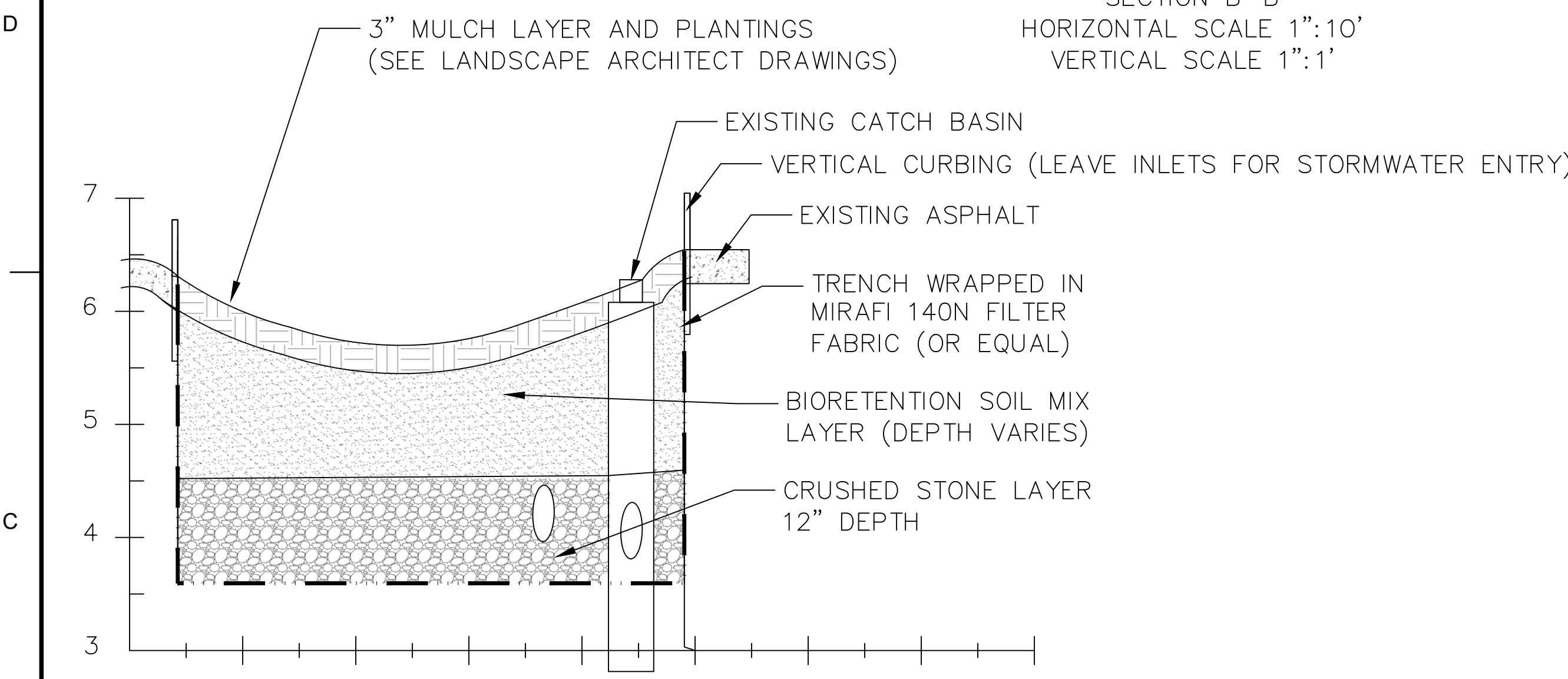




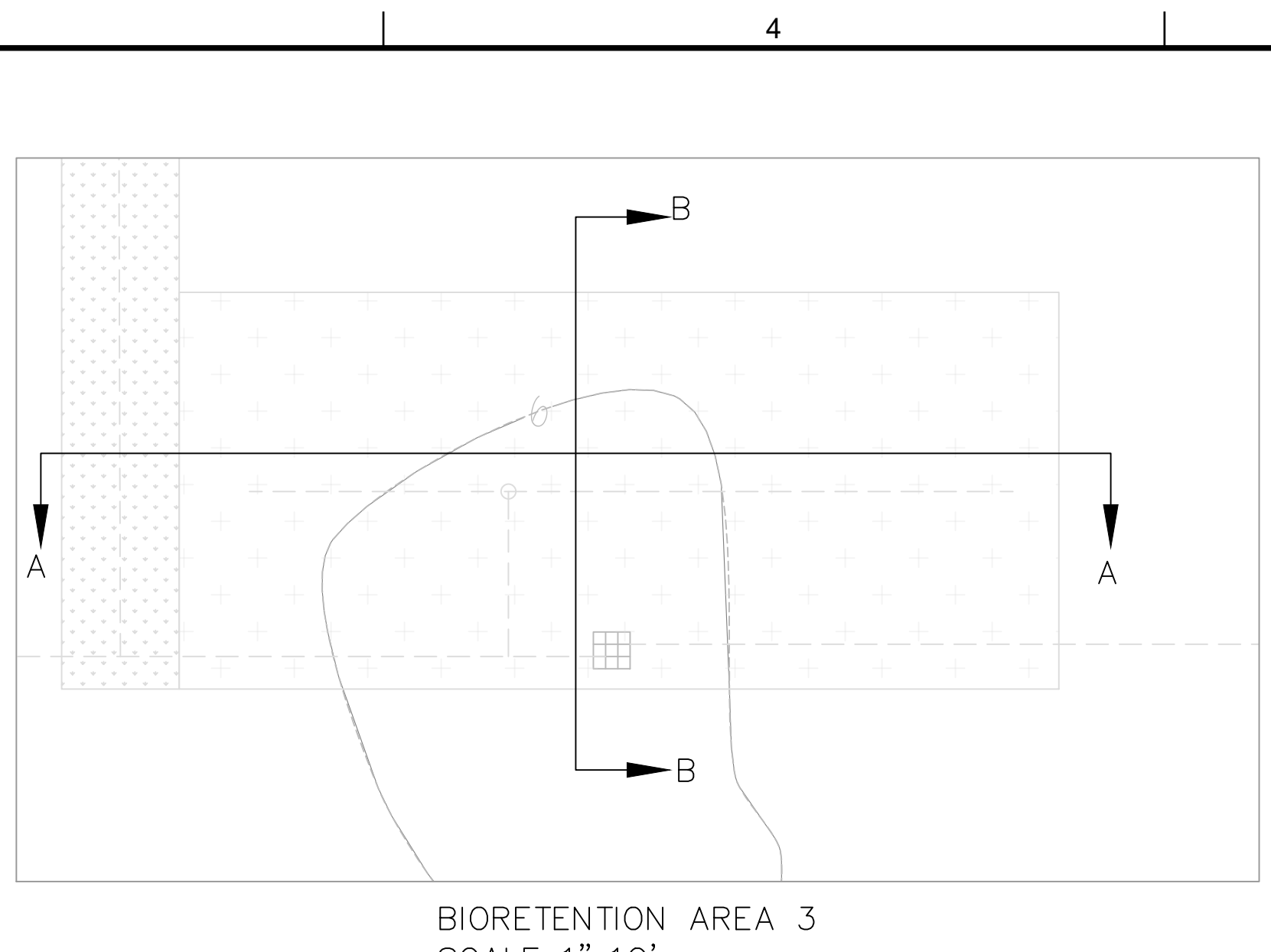
BIORETENTION AREA 2  
SCALE 1":10'



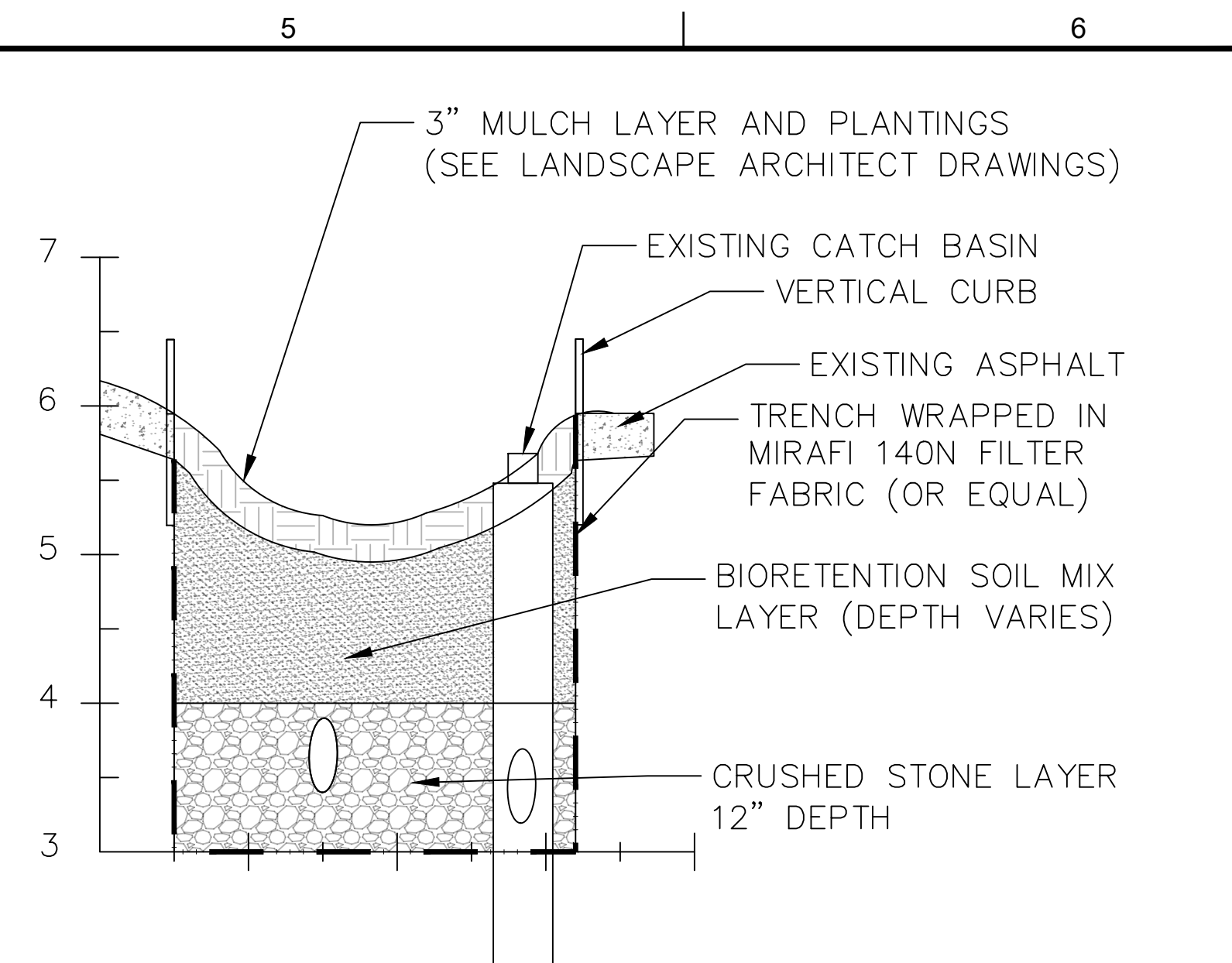
SECTION B-B  
HORIZONTAL SCALE 1":10'  
VERTICAL SCALE 1":1'



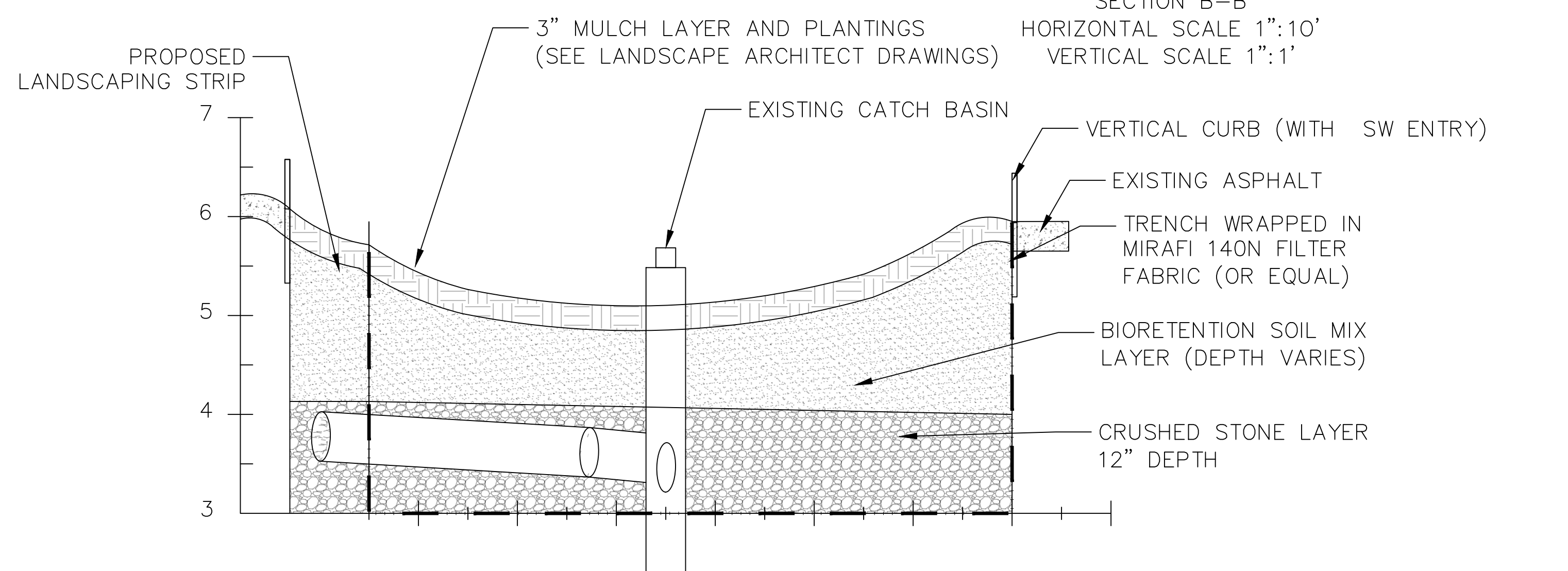
SECTION A-A  
HORIZONTAL SCALE 1":10'  
VERTICAL SCALE 1":1'



BIORETENTION AREA 3  
SCALE 1":10'

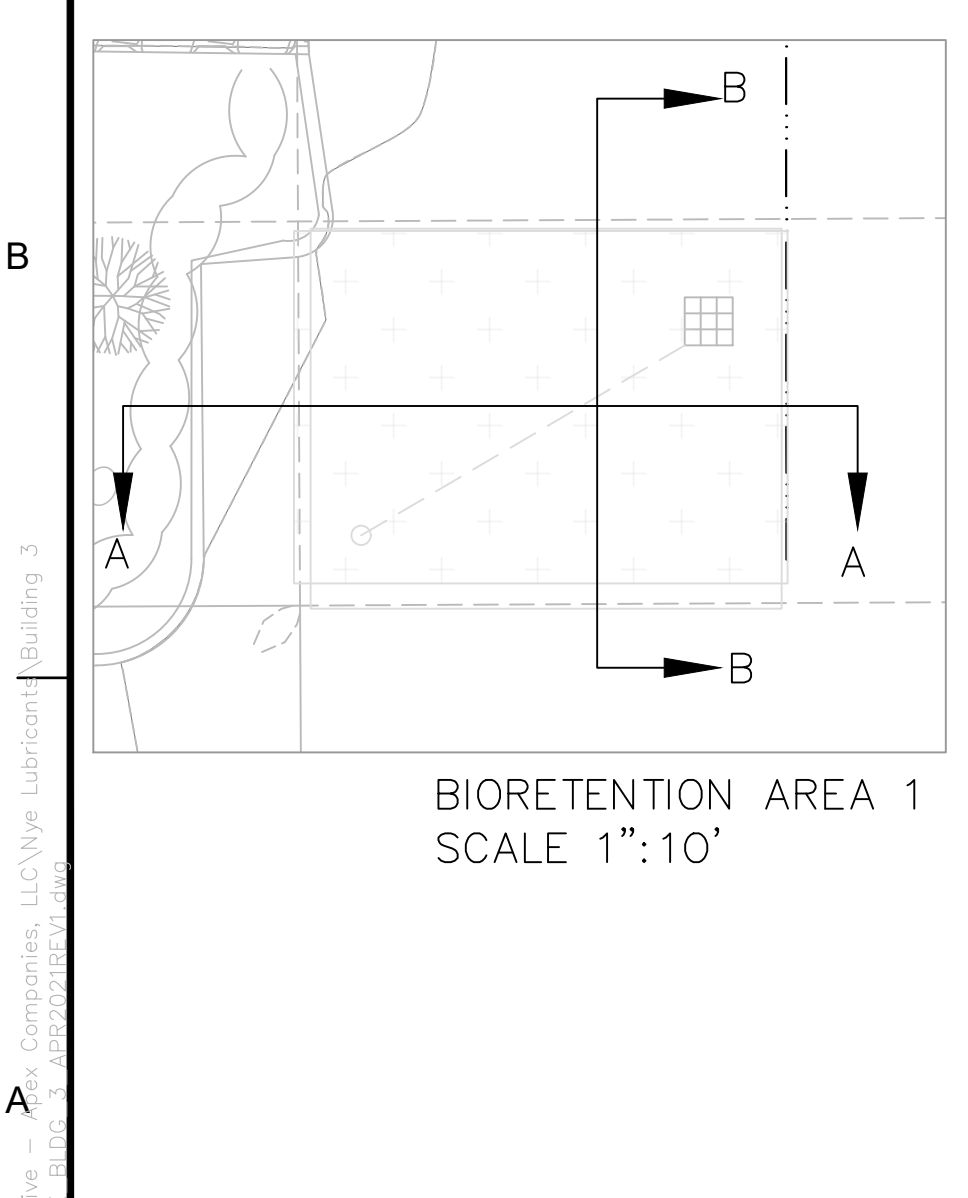


SECTION B-B  
HORIZONTAL SCALE 1":10'  
VERTICAL SCALE 1":1'

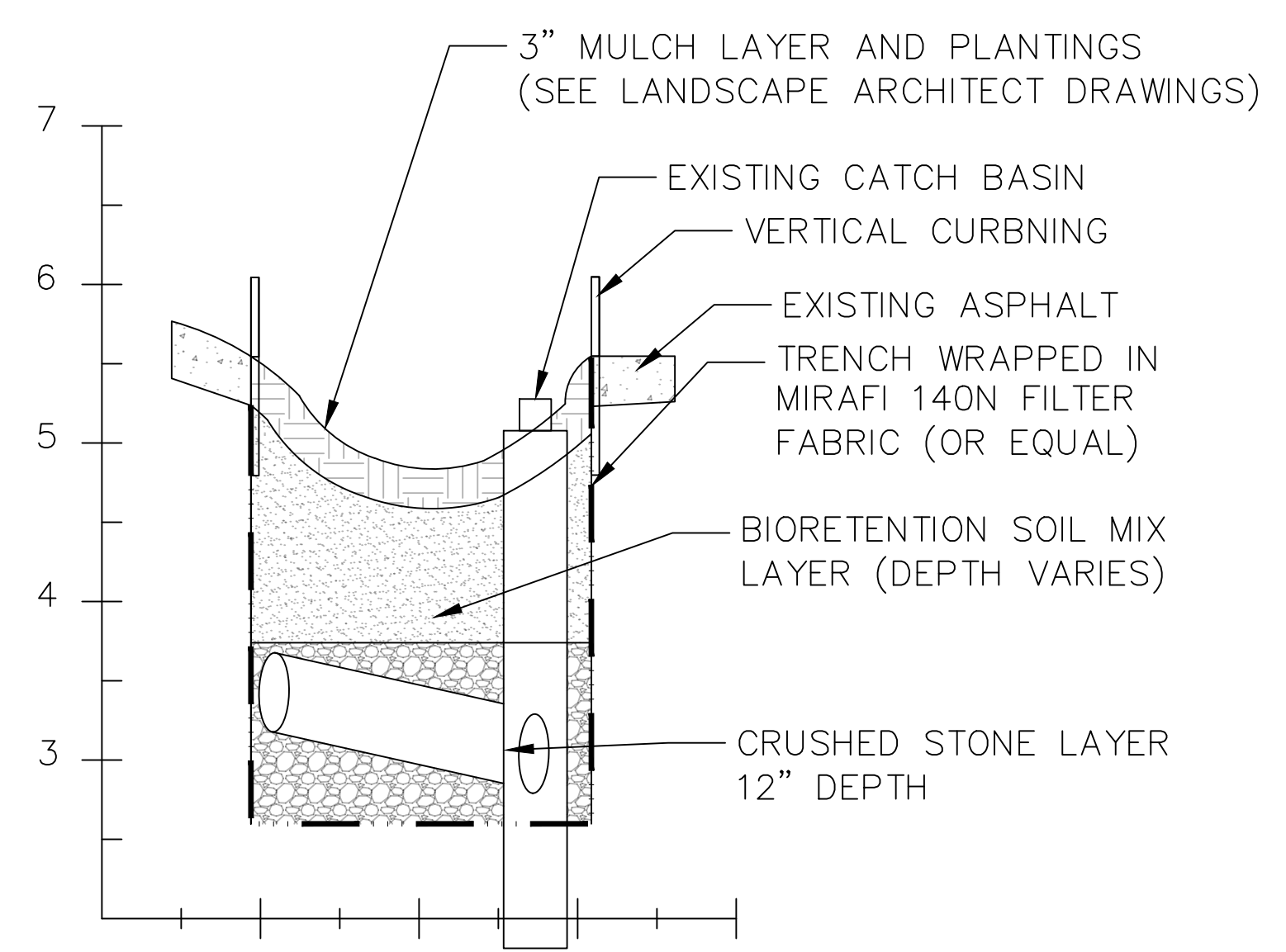


SECTION A-A  
HORIZONTAL SCALE 1":10'  
VERTICAL SCALE 1":1'

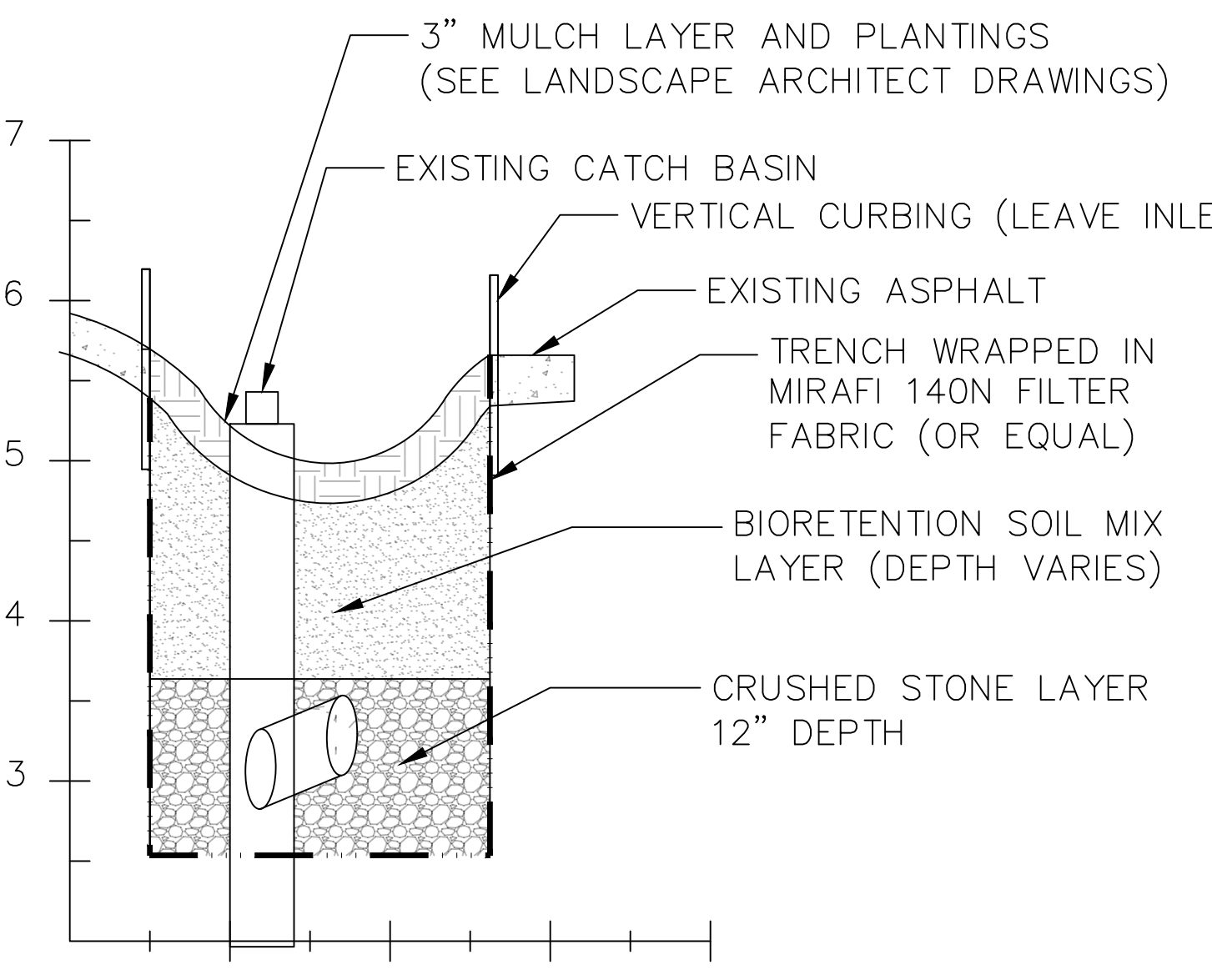
BIORETENTION AREA 3  
PLAN AND PROFILES



BIORETENTION AREA 1  
SCALE 1":10'



SECTION A-A  
HORIZONTAL SCALE 1":10'  
VERTICAL SCALE 1":1'



SECTION B-B  
HORIZONTAL SCALE 1":10'  
VERTICAL SCALE 1":1'

- NOTES:
1. VERTICAL CURBING SHALL BE SPACED 6 INCHES EVERY 6 FEET TO ALLOW FOR STORMWATER INFLOW INTO STORMWATER FEATURES.
  2. LANDSCAPE ARCHITECTURE DRAWINGS SHALL TAKE PRECEDENCE ON FINAL LANDSCAPE FEATURES.
  3. CLEANOUTS SHALL BE PROVIDED FOR EACH UNDERDRAIN PIPE.
  4. CATCH BASINS SHALL BE PROTECTED DURING IMPLEMENTATION.



ROCKVILLE, MD  
WATERTOWN, MA  
NEW BEDFORD, MA  
SOUTH WINDSOR, CT  
124 WATERTOWN ST, SUITE 3F  
WATERTOWN, MA  
1213 PURCHASE STREET SUITE 301  
NEW BEDFORD, MA  
58H CONNECTICUT AVENUE  
SOUTH WINDSOR, CT



PROJECT  
**NYE LUBRICANTS  
BUILDING 3 EXPANSION  
PROJECT**

OWNER  
NYE LUBRICANTS, INC.  
12 HOWLAND RD.  
FAIRHAVEN, MA

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	6893-003		
CADD FILE			
DESIGNED BY	JBM		
DRAWN BY	ANC		
CHECKED BY	JBM		
DATE	4/30/21		
DRAWING SCALE	AS NOTED		

GRAPHIC SCALE

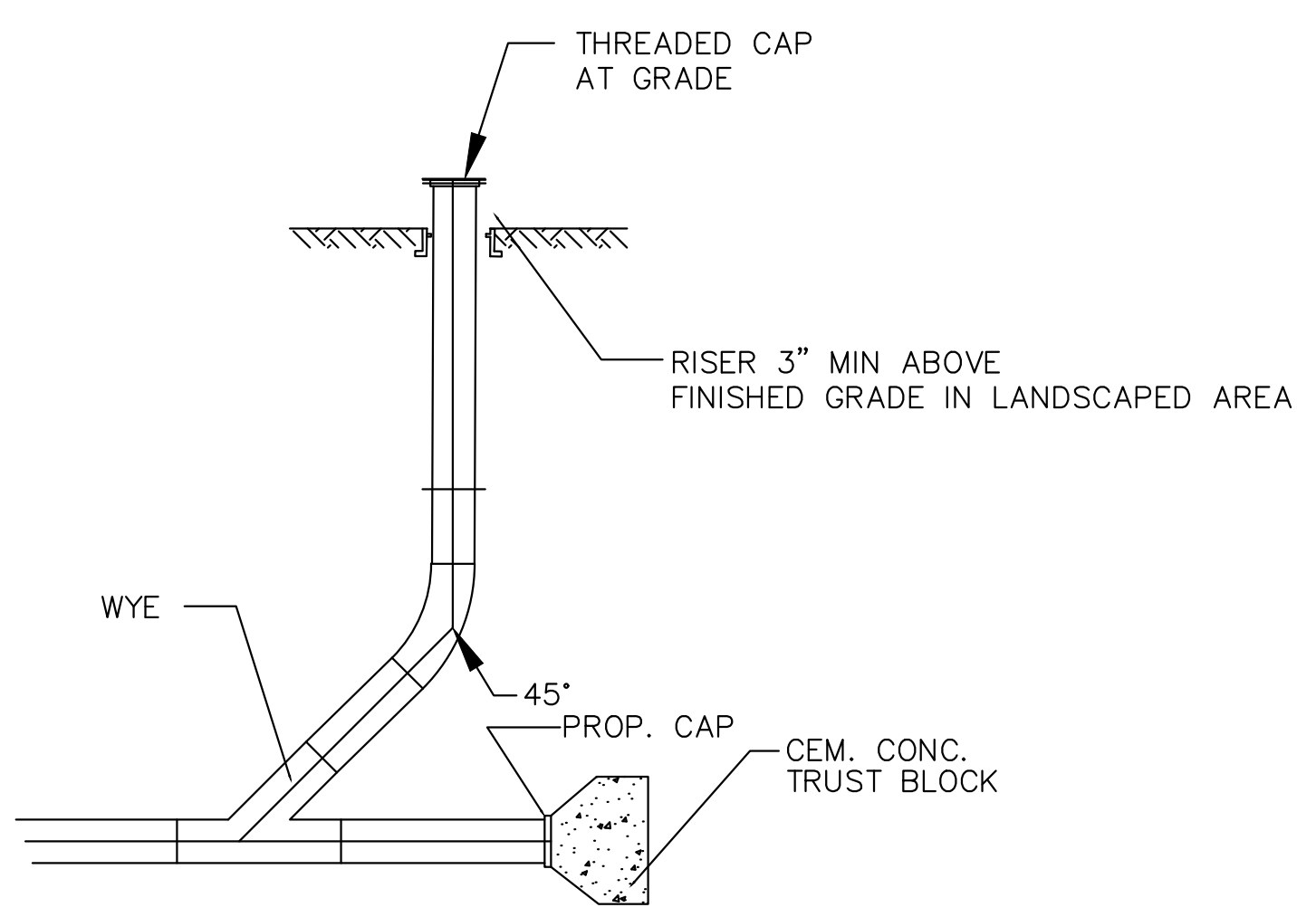
SHEET TITLE  
**DETAIL SHEET**

DRAWING NO.  
**D-3**

C:\Users\jmolister\OneDrive - Apex Companies, LLC\Mye Lubricants\Building 3

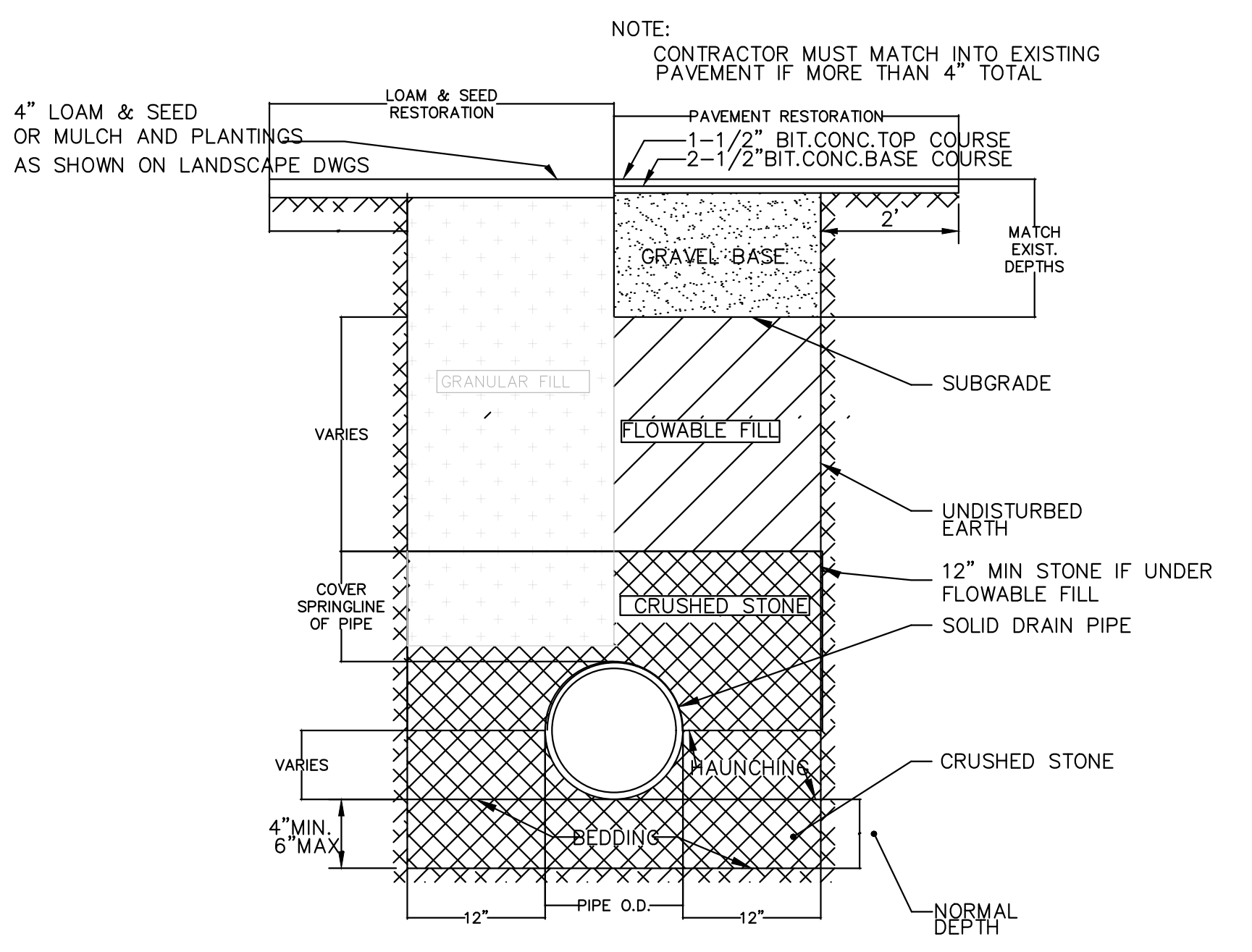


E

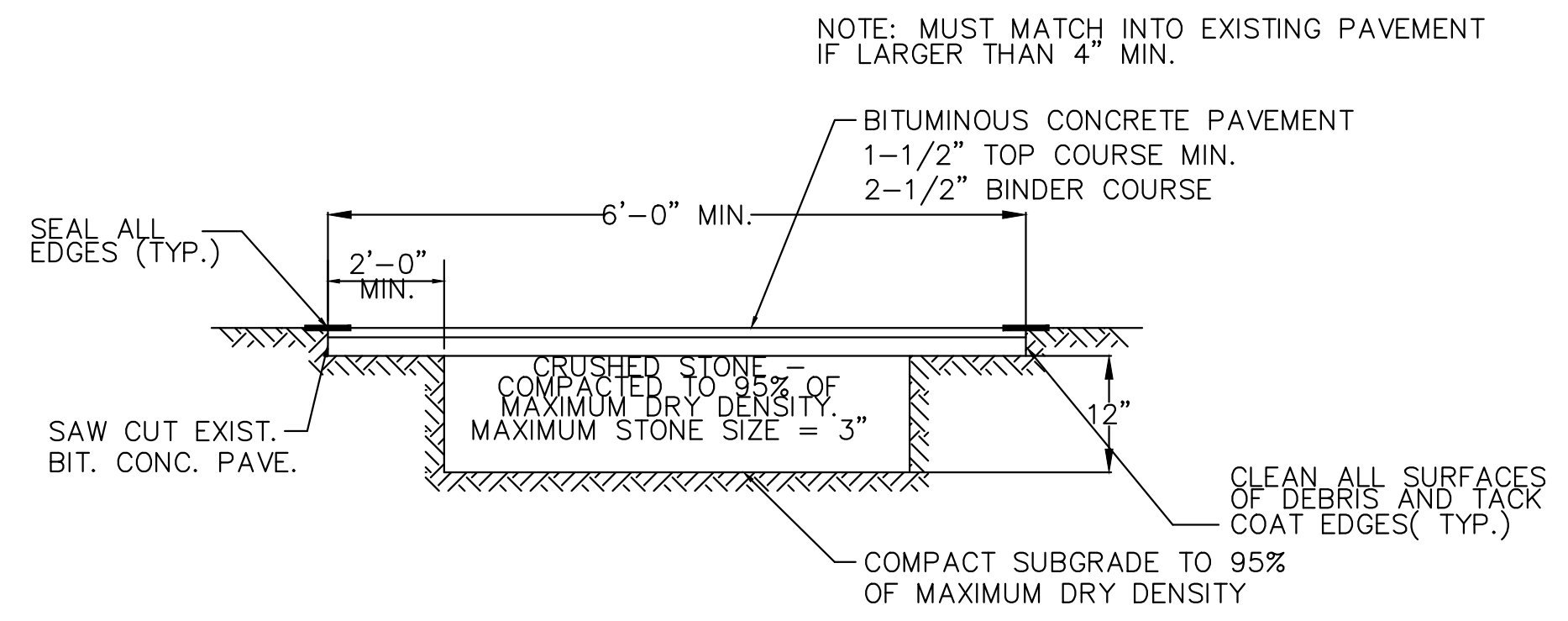


**LANDSCAPE AREA DRAIN CLEAN OUT**  
NOT TO SCALE

D

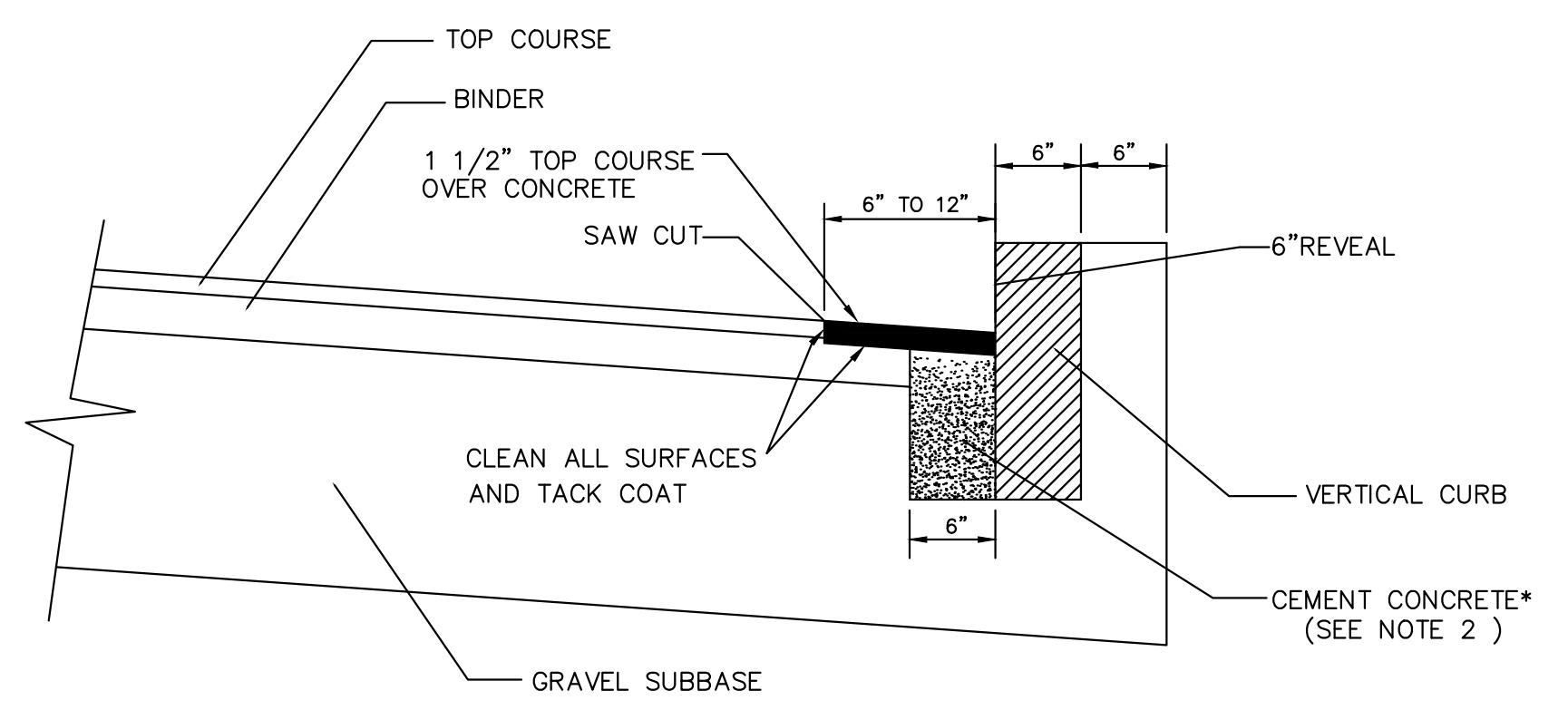


**TYPICAL TRENCH DETAIL**  
(ALL PIPES LESS THAN 20" DIA.)  
NOT TO SCALE



**TYPICAL BITUMINOUS CONCRETE PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE

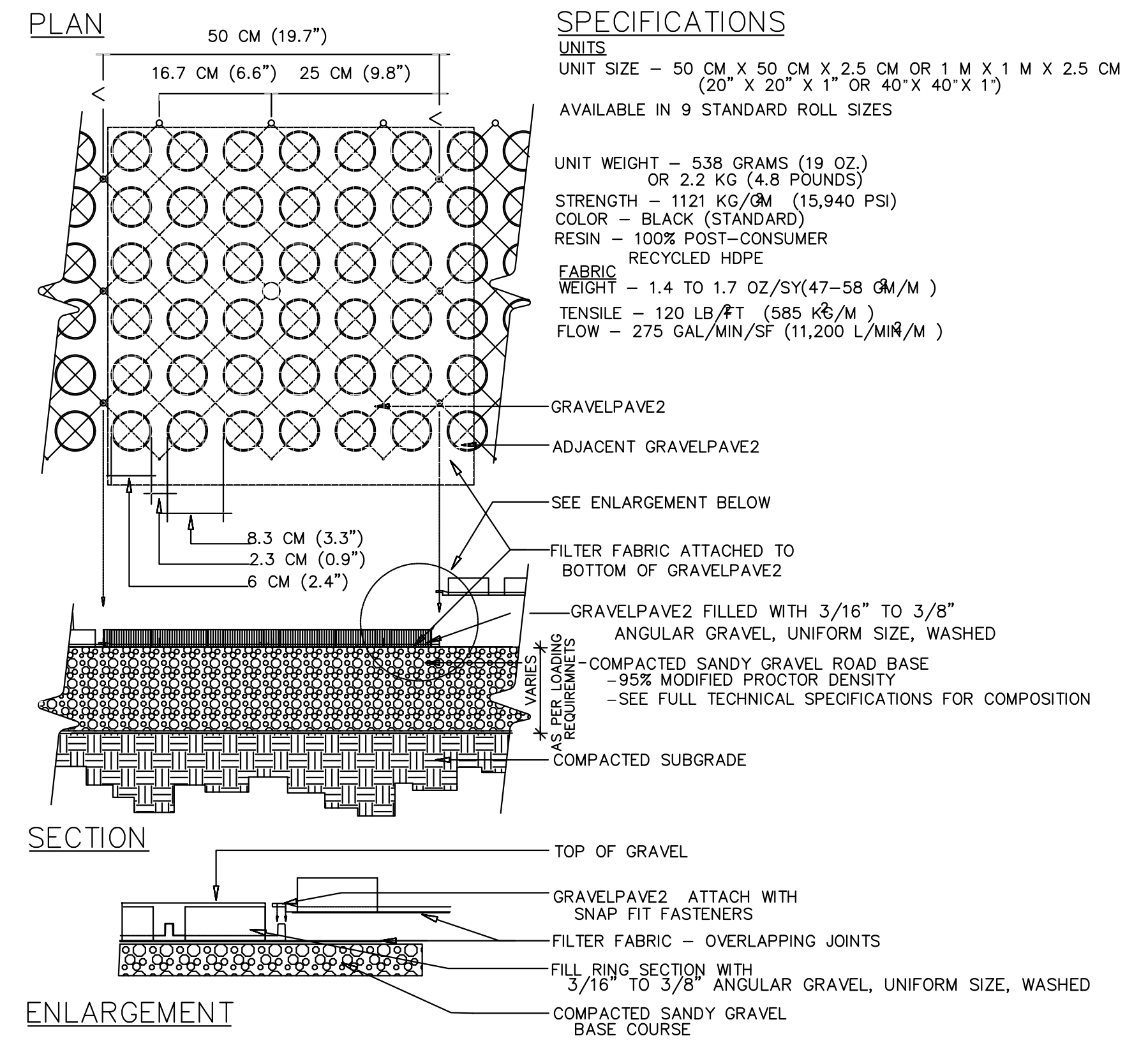
C



**METHOD OF SETTING VERTICAL CURB**  
NOT TO SCALE

\* PROCEDURE DESCRIBED HEREIN IS APPLICABLE ONLY IF CURB IS TO BE SET AFTER BASE AND/OR BINDER COURSES ARE IN PLACE OTHERWISE CEMENT CONCRETE WILL BE ELIMINATED AND GRAVEL BROUGHT TO BOTTOM OF BASE COURSE.

- NOTES:**
1. SAW CUT NEATLINE 6" TO 12" FROM CURB LINE AND REMOVE BINDER, BASE COURSE AND GRAVEL, REPLACE WITH CEMENT CONCRETE.
  2. ANY CLASS CEMENT CONCRETE THAT IS ACCEPTABLE TO THE DEPT. UNDER SECTION M4 OF THE 1996 STANDARD SPECIFICATIONS, ALL TEST REQUIREMENTS ARE WAIVED. BITUMINOUS CONCRETE IS NOT TO BE USED AS A SUBSTITUTE.
  3. PAYMENT FOR CEMENT CONCRETE WILL BE INCLUDED IN THE PRICE PER LINEAL FOOT OF CURBING.



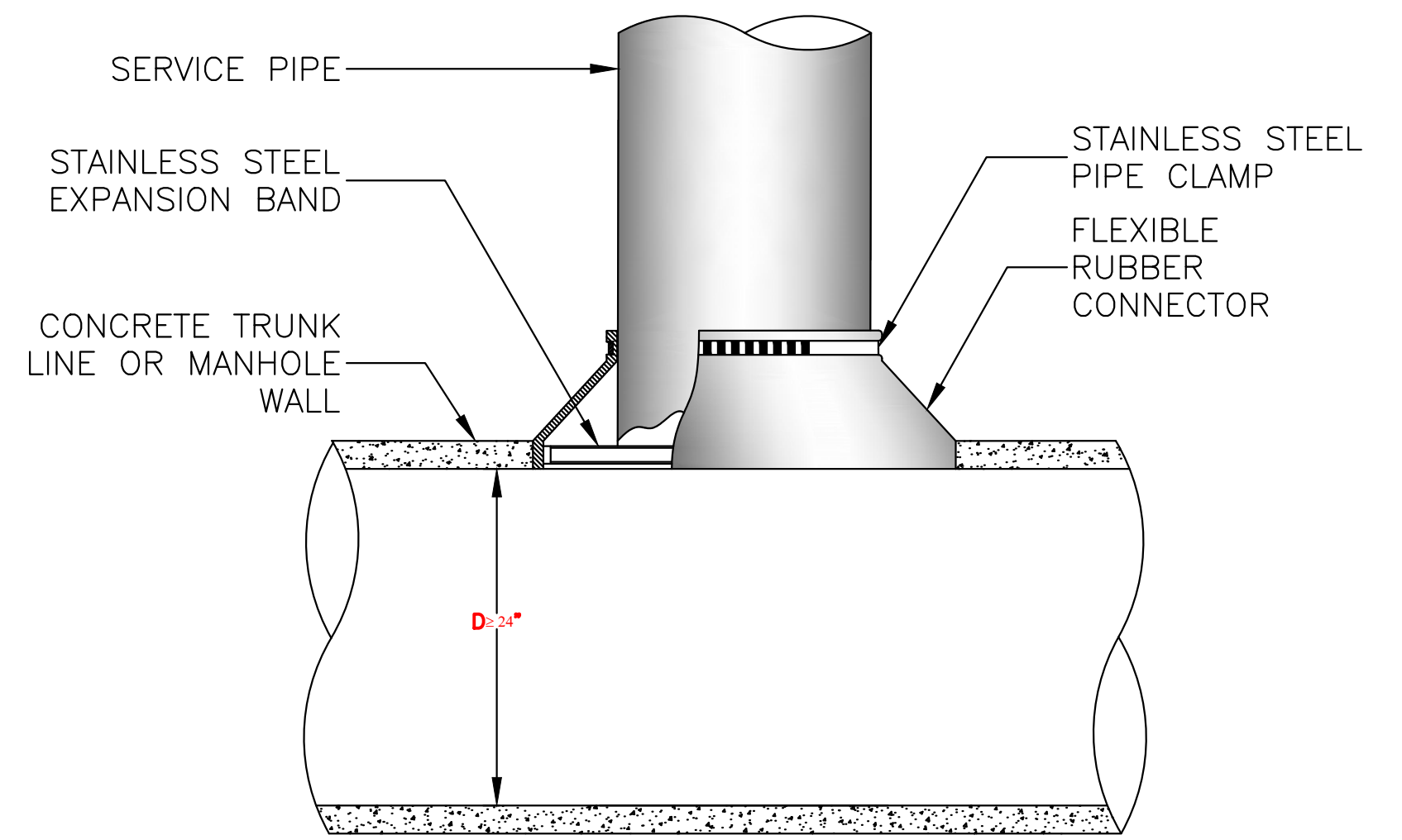
**TYPICAL GRAVELPAVE2 DETAIL**

NOT TO SCALE

CHOOSE THIS PRODUCT FOR REINFORCING GRAVEL WEARING SURFACES

16265 E 33rd Drive, Suite 20  
AURORA, COLORADO 80011  
800-233-1100 OR 303-233-6000  
FAX: 303-233-8282  
www.invisi.com

Invisi Structures, Inc.  
GVDC116.DWG



- NOTES:**
1. OPENING IN CONCRETE WALL SHALL BE CORED USING HIGH SPEED DIAMOND DRILL
  2. ALL METAL FIXTURES SHALL BE OF STAINLESS STEEL
  3. SERVICE LINE SHALL BE FLUSH WITH THE INSIDE OF THE CONCRETE PIPE OR WALL
  4. IF TRUNK LINE DIAMETER IS LESS THAN 24" THEN A SADDLE TYPE CONNECTION WILL BE USED

**TYPICAL FIELD CONNECTION DETAIL**  
NOT TO SCALE



ROCKVILLE, MD  
WATERTOWN, MA  
NEW BEDFORD, MA  
SOUTH WINDSOR, CT  
124 WATERTOWN ST, SUITE 3F  
WATERTOWN, MA

1213 PURCHASE STREET SUITE 301  
NEW BEDFORD, MA

58H CONNECTICUT AVENUE  
SOUTH WINDSOR, CT



**PROJECT**  
NYE LUBRICANTS  
BUILDING 3 EXPANSION  
PROJECT

**OWNER**  
NYE LUBRICANTS, INC.  
12 HOWLAND RD.  
FAIRHAVEN, MA

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	6893-003		
CADD FILE			
DESIGNED BY	JBM		
DRAWN BY	ANC		
CHECKED BY	JBM		
DATE	4/30/21		
DRAWING SCALE	AS NOTED		

GRAPHIC SCALE

SHEET TITLE

**DETAIL SHEET**

DRAWING NO.

**D-4**

13 OF 13

PLOT SCALE 1/16"=1'-0"





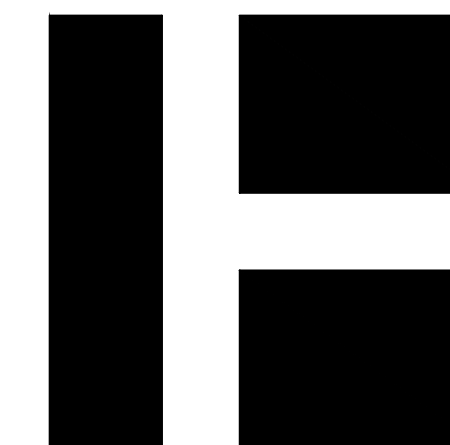












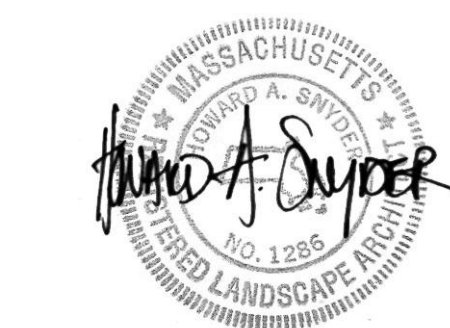
HARRIMAN

NYE LUBRICATING BUILDING 3 EXPANSION PROJECT

FAIRHAVEN, MASSACHUSETTS

Harriman Project No. 20494

Key Plan Proj North



CONSERVATION COMMISSION

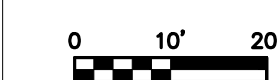
APRIL 30, 2021

Rev Date Revision Description

Table with 2 columns: Rev Date, Revision Description

PRELIMINARY NOT FOR CONSTRUCTION

1" = 20' - 0"



PA / PE: HAS © 2021 Harriman Associates  
Drawn By: HAS

PLANTING PLAN

L40-4

PLANT MATERIAL LEGEND

Table with columns: SHADE TREES, SIZE, NOTES, QTY. Lists various tree species like Acer rubrum, Amelanchier arborea, etc.

Table with columns: SEED MIX, QTY. Lists 'No Mow Grass' and 'Slow grow fescue grass seed mix'.

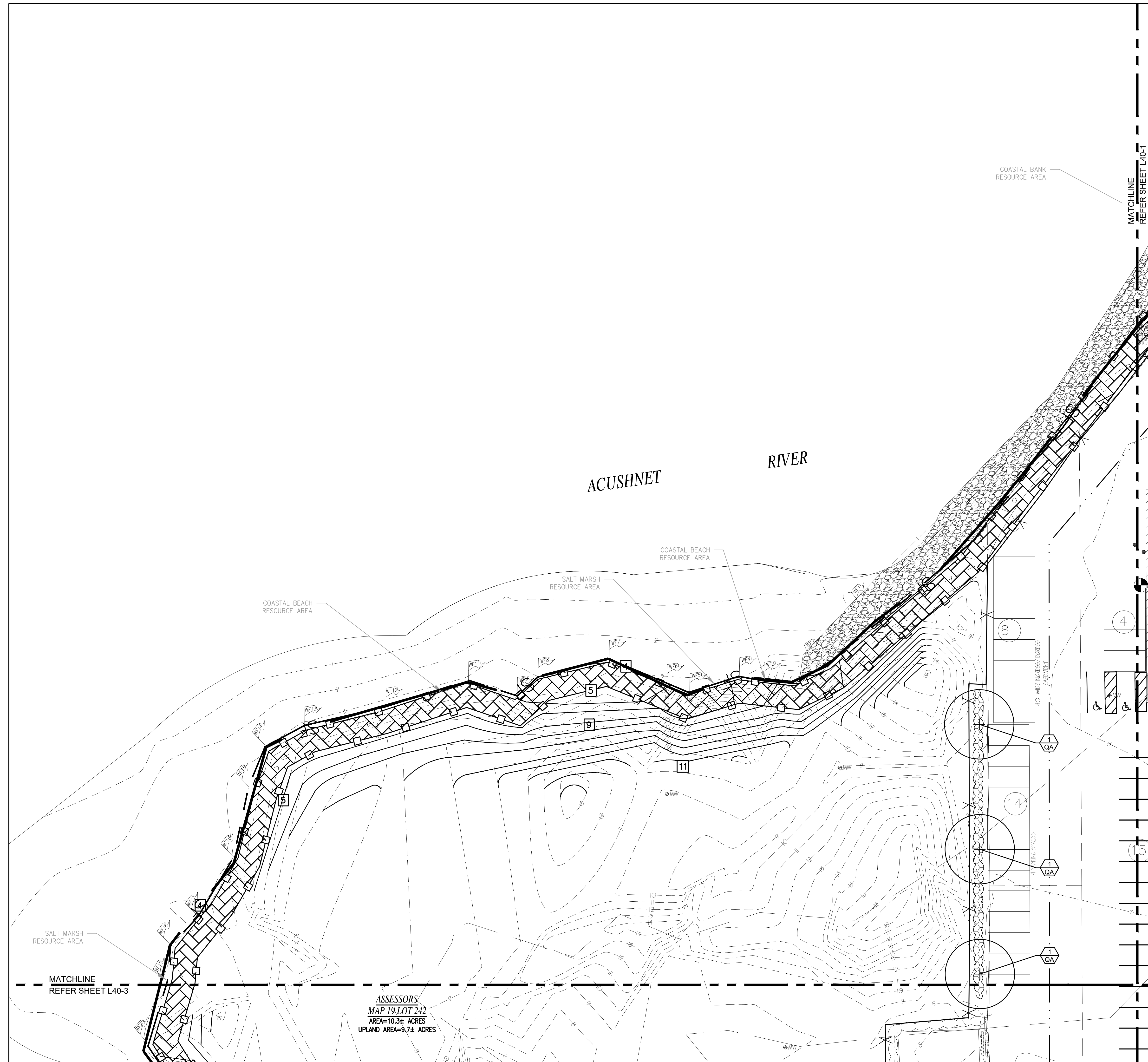
PLANT LEGEND: STORMWATER

Table with columns: PERENNIAL, SIZE, NOTES, QTY. Lists various perennials like Baptisia australis, Rudbeckia hirta, etc.

Table with columns: GRASSES, SIZE, NOTES, QTY. Lists various grasses like Carex vulpinoidea, Hordeum jubatum, etc.

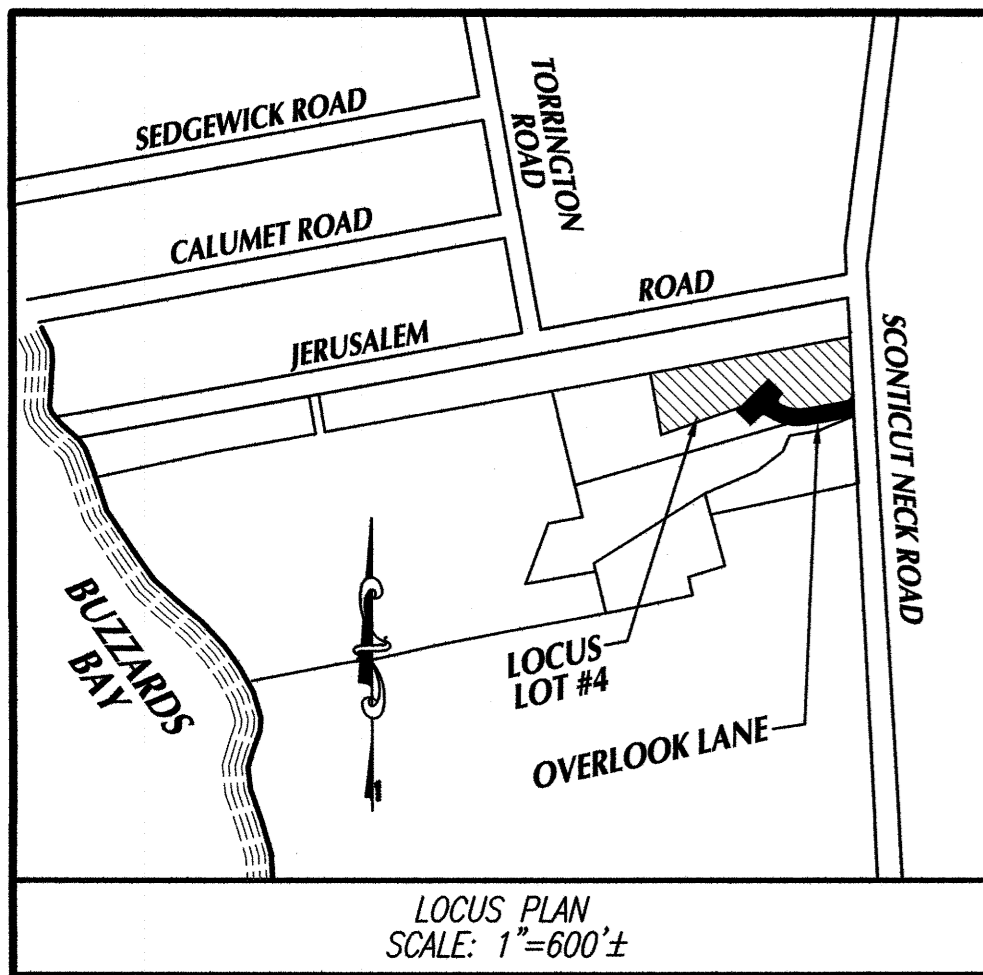
Table with columns: LANDSCAPE MATERIALS, QTY. Lists 'Bark Mulch' and 'Landscape Border'.

- 1. Final plant material selection and quantities dependent on conformance to, and approval by, local and state regulations and agencies.
2. Plant material specified shall conform to American Standard for Nursery Stock, ANSI Z60.1, current edition
3. Where there is a discrepancy between the planting plan and the plant list, the greater quantity shall prevail.
4. The landscape contractor shall confirm the total numbers and availability for all plant material.
5. USDA Plant Hardiness Zone for the project site in Fairhaven, Massachusetts is Zone 6b (-5° to 0° F). Plant hardiness zones provided by the USDA are for the coldest limit of the hardiness range. The lower the number, the colder the zone.



ASSESSORS MAP 19 LOT 242 AREA=10.3± ACRES UPLAND AREA=9.7± ACRES



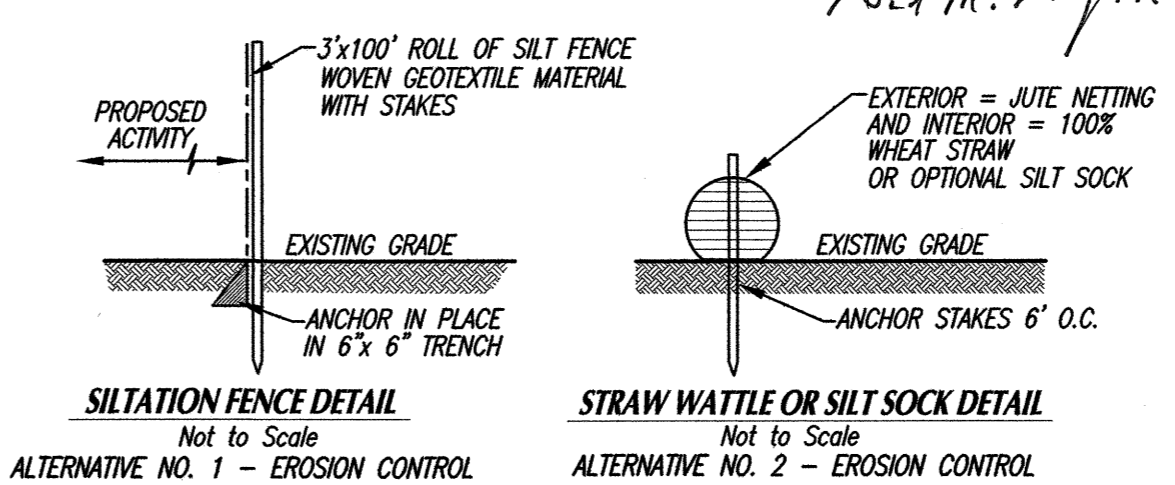
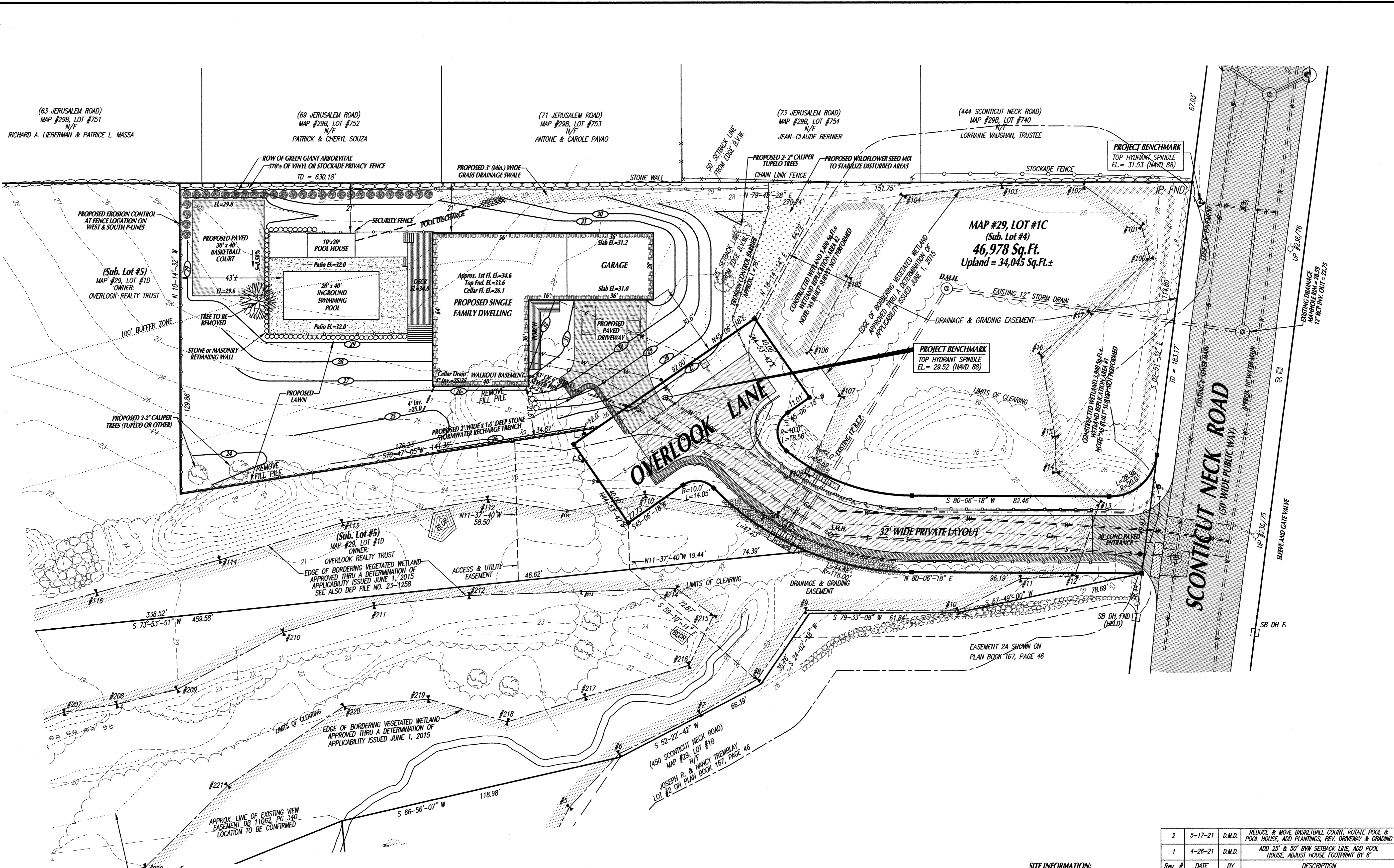


LOCUS PLAN  
SCALE: 1"=600'±

**LEGEND**

- PROPOSED CONTOURS
- EXISTING CONTOURS
- FLOOD ZONE LINES
- EDGE OF TREES
- EDGE OF LAWN
- EDGE OF WETLAND (B.V.W.)

- GENERAL NOTES:**
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION THROUGH "DIG SAFE" AND OTHER APPROPRIATE AGENCIES, AND REPORT ANY DISCREPANCIES TO THIS OFFICE.
  - CONTRACTOR SHALL NOTIFY THIS OFFICE OF ANY AND ALL DISCREPANCIES FOUND BETWEEN THE SITE CONDITIONS AND THOSE SHOWN ON THIS PLAN PRIOR TO CONTINUATION OF ANY WORK.
  - ANY AND ALL CHANGES FROM THE SITE DESIGN LAYOUT SHOWN MUST BE APPROVED BY THIS OFFICE, AND OTHER APPROPRIATE LOCAL OFFICIALS.
  - THE EXCAVATING CONTRACTOR SHALL READ THE ORDER OF CONDITIONS PRIOR TO THE START OF WORK, SHALL HAVE A COPY AT THE SITE AT ALL TIMES AND IS RESPONSIBLE FOR FOLLOWING ALL CONDITIONS AS THEY RELATE TO SITE WORK.
  - THE GENERAL CONTRACTOR (i.e. BUILDER) SHALL READ THE ORDER OF CONDITIONS PRIOR TO THE START OF WORK, SHALL HAVE A COPY AT THE SITE AT ALL TIMES AND IS RESPONSIBLE FOR FOLLOWING ALL CONDITIONS AS THEY RELATE TO ALL WORK ON THE PROPERTY.
  - PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL INSTALL A STAKED EROSION CONTROL BARRIER SHOWN AND SHALL CONTACT THE CONSERVATION COMMISSION AGENT FOR AN INSPECTION.



**SITE INFORMATION:**

LOCATION: OVERLOOK LANE OFF SCOTIC NECK ROAD  
ASSESSORS MAP: #29  
ASSESSORS LOT: #1C  
NOTE: FORMERLY A PORTION OF A LARGER LOT #1C WHICH WAS SUBDIVIDED  
SUBDIVISION LOT NO: 4  
CURRENT ZONING DISTRICT: RURAL RESIDENCE (RR)  
MINIMUM LOT AREA: 30,000 Sq.Ft.  
MINIMUM FRONTAGE: 140.00 FT.  
MIN. CONTIGUOUS UPLAND: 24,000 Sq.Ft.  
MINIMUM BUILDING SETBACKS:  
FRONT: 30' SIDE: 20'  
REAR: 30'  
FEMA FLOOD ZONE: ZONE X  
F.I.R.M. PANEL NO. 25023C0501F  
APPLICANT/OWNER OF RECORD: OVERLOOK REALTY TRUST, LAUREN L. FRANCIS, TRUSTEE  
P.O. BOX 649 FAIRHAVEN, MA 02719  
DEED BOOK 12439, PAGE 214

Rev. #	DATE	BY	DESCRIPTION
2	5-17-21	D.M.D.	REDUCE & MOVE BASKETBALL COURT, ROTATE POOL & POOL HOUSE, ADD PLANTINGS, REV. DRIVEWAY & GRADING
1	4-26-21	D.M.D.	ADD 25' & 50' B/W SETBACK LINE, ADD POOL HOUSE, ADJUST HOUSE FOOTPRINT BY 6'

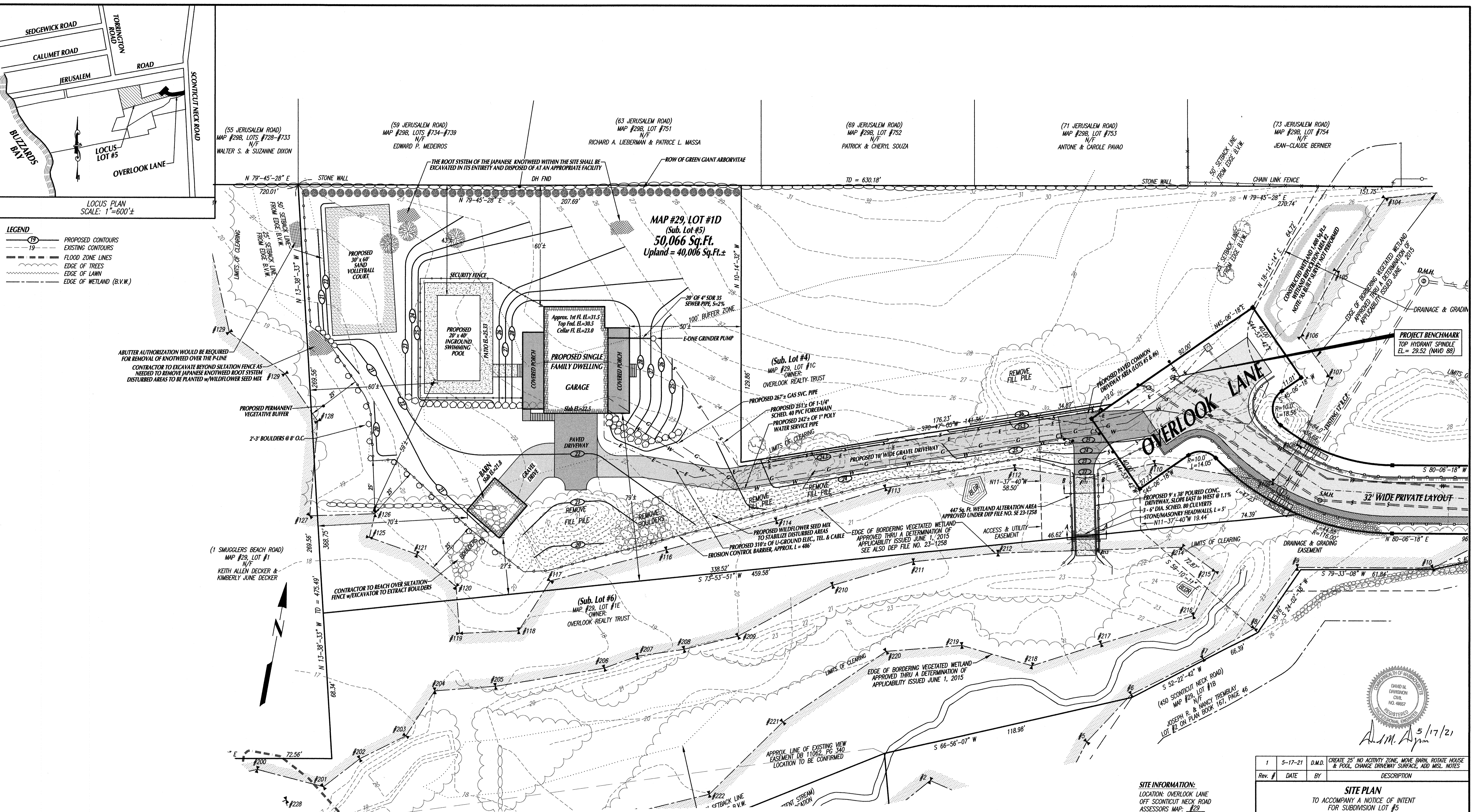
**SITE PLAN**  
TO ACCOMPANY A NOTICE OF INTENT FOR SUBDIVISION LOT #4 at OVERLOOK LANE in FAIRHAVEN, MA  
PREPARED FOR THE OVERLOOK REALTY TRUST

SCALE: 1"=20'  
DATE: APRIL 20, 2021

**SCHNEIDER, DAVIGNON & LEONE, INC.**  
PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
1 COUNTY RD. P.O. BOX 480, MATTAPOISETT, MA 02739  
1-508-758-7866

Drawn By: D.M.D. Check By: D.M.D. Job No. 2741

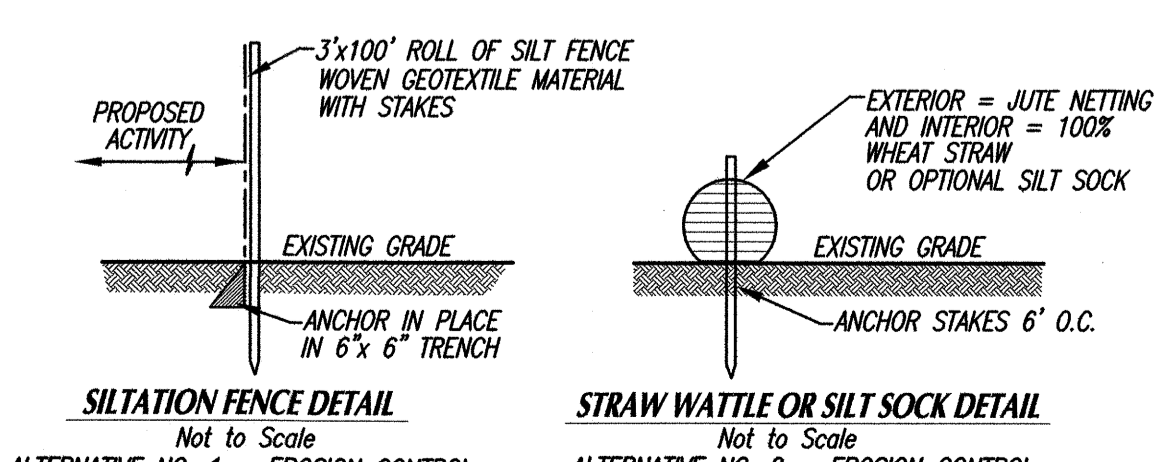




**LEGEND**

- PROPOSED CONTOURS
- - - EXISTING CONTOURS
- - - FLOOD ZONE LINES
- - - EDGE OF TREES
- - - EDGE OF LAWN
- - - EDGE OF WETLAND (B.V.W.)

- GENERAL NOTES:**
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION THROUGH "DIG SAFE" AND OTHER APPROPRIATE AGENCIES, AND REPORT ANY DISCREPANCIES TO THIS OFFICE.
  - CONTRACTOR SHALL NOTIFY THIS OFFICE OF ANY AND ALL DISCREPANCIES FOUND BETWEEN THE SITE CONDITIONS AND THOSE SHOWN ON THIS PLAN PRIOR TO CONTINUATION OF ANY WORK.
  - ANY AND ALL CHANGES FROM THE SITE DESIGN LAYOUT SHOWN MUST BE APPROVED BY THIS OFFICE, AND OTHER APPROPRIATE LOCAL OFFICIALS.
  - THE EXCAVATING CONTRACTOR SHALL READ THE ORDER OF CONDITIONS PRIOR TO THE START OF WORK, SHALL HAVE A COPY AT THE SITE AT ALL TIMES AND IS RESPONSIBLE FOR FOLLOWING ALL CONDITIONS AS THEY RELATE TO SITE WORK.
  - THE GENERAL CONTRACTOR (OR BUILDER) SHALL READ THE ORDER OF CONDITIONS PRIOR TO THE START OF WORK, SHALL HAVE A COPY AT THE SITE AT ALL TIMES AND IS RESPONSIBLE FOR FOLLOWING ALL CONDITIONS AS THEY RELATE TO ALL WORK ON THE PROPERTY.
  - PRIOR TO ANY CONSTRUCTION CONTRACTOR SHALL INSTALL A STAKED EROSION CONTROL BARRIER SHOWN AND SHALL CONTACT THE CONSERVATION COMMISSION AGENT FOR AN INSPECTION.



**SITE INFORMATION:**  
 LOCATION: OVERLOOK LANE OFF SCOUTICUT NECK ROAD  
 ASSESSORS MAP: #29  
 ASSESSORS LOT: #10  
 NOTE: FORMERLY A PORTION OF #1C  
 SUBDIVISION LOT NO: 5  
 CURRENT ZONING DISTRICT: RURAL RESIDENCE (RR)  
 MINIMUM LOT AREA: 30,000 Sq.Ft.  
 MINIMUM FRONTAGE: 140.00 Ft.  
 MIN. CONTIGUOUS UPLAND: 24,000 Sq.Ft.  
 MINIMUM BUILDING SETBACKS:  
 FRONT: 30' SIDE: 20'  
 REAR: 30'  
 FEMA FLOOD ZONE: ZONE X  
 F.I.R.M. PANEL NO. 250230501F  
 APPLICANT/OWNER OF RECORD: OVERLOOK REALTY TRUST  
 LAUREN L. FRANCIS, TRUSTEE  
 P.O. BOX 649  
 FAIRHAVEN, MA 02719  
 DEED BOOK 12439, PAGE 214

Rev. #	DATE	BY	DESCRIPTION
1	5-17-21	D.M.D.	CREATE 25' NO ACTIVITY ZONE, MOVE BARN, ROTATE HOUSE & POOL, CHANGE DRIVEWAY SURFACE, ADD MISL. NOTES

**SITE PLAN**  
 TO ACCOMPANY A NOTICE OF INTENT FOR SUBDIVISION LOT #5  
 at OVERLOOK LANE in FAIRHAVEN, MA  
 PREPARED FOR THE OVERLOOK REALTY TRUST

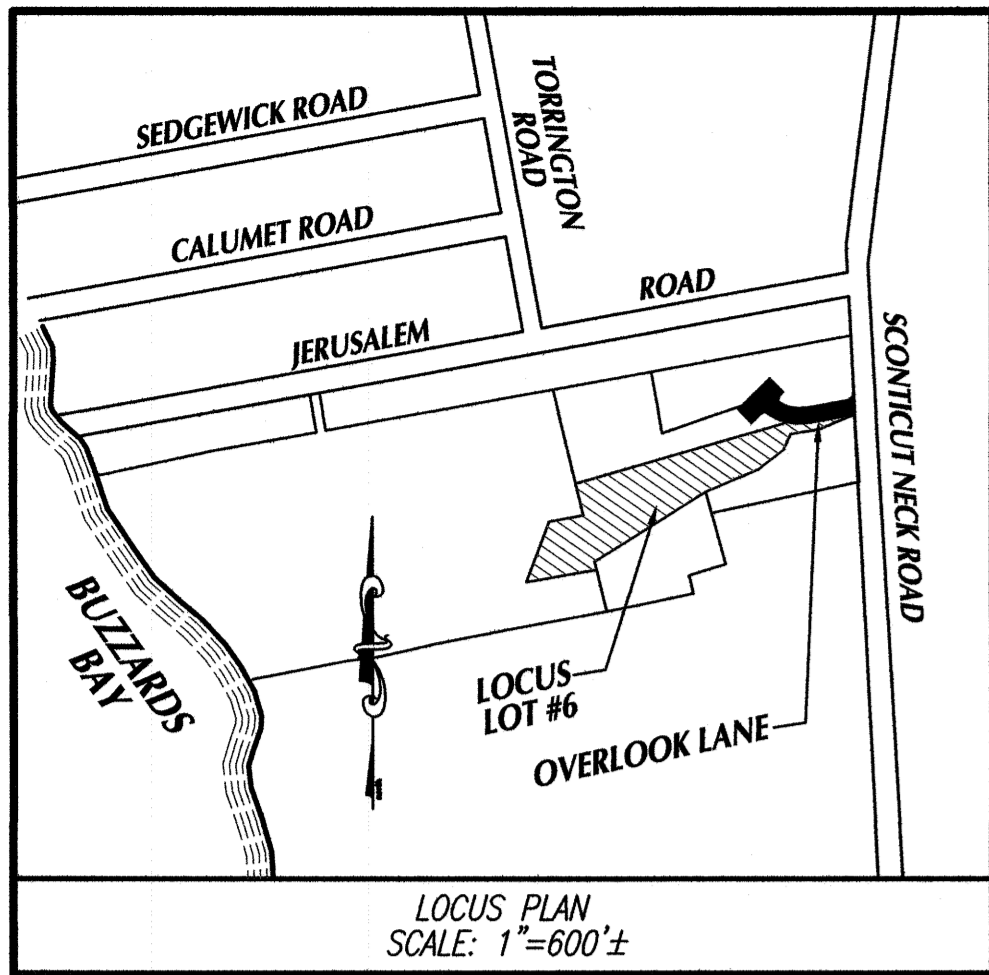
SCALE: 1"=20'  
 DATE: APRIL 19, 2021

**SCHNEIDER, DAVIGNON & LEONE, INC.**  
 PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
 1 COUNTY RD, P.O. BOX 480, MATTAPOISETT, MA 02739  
 1-508-758-7866

Drawn By: D.M.D. Check By: D.M.D. Job No. 2741

Professional Engineer Seal  
 D.M.D.  
 5/17/21



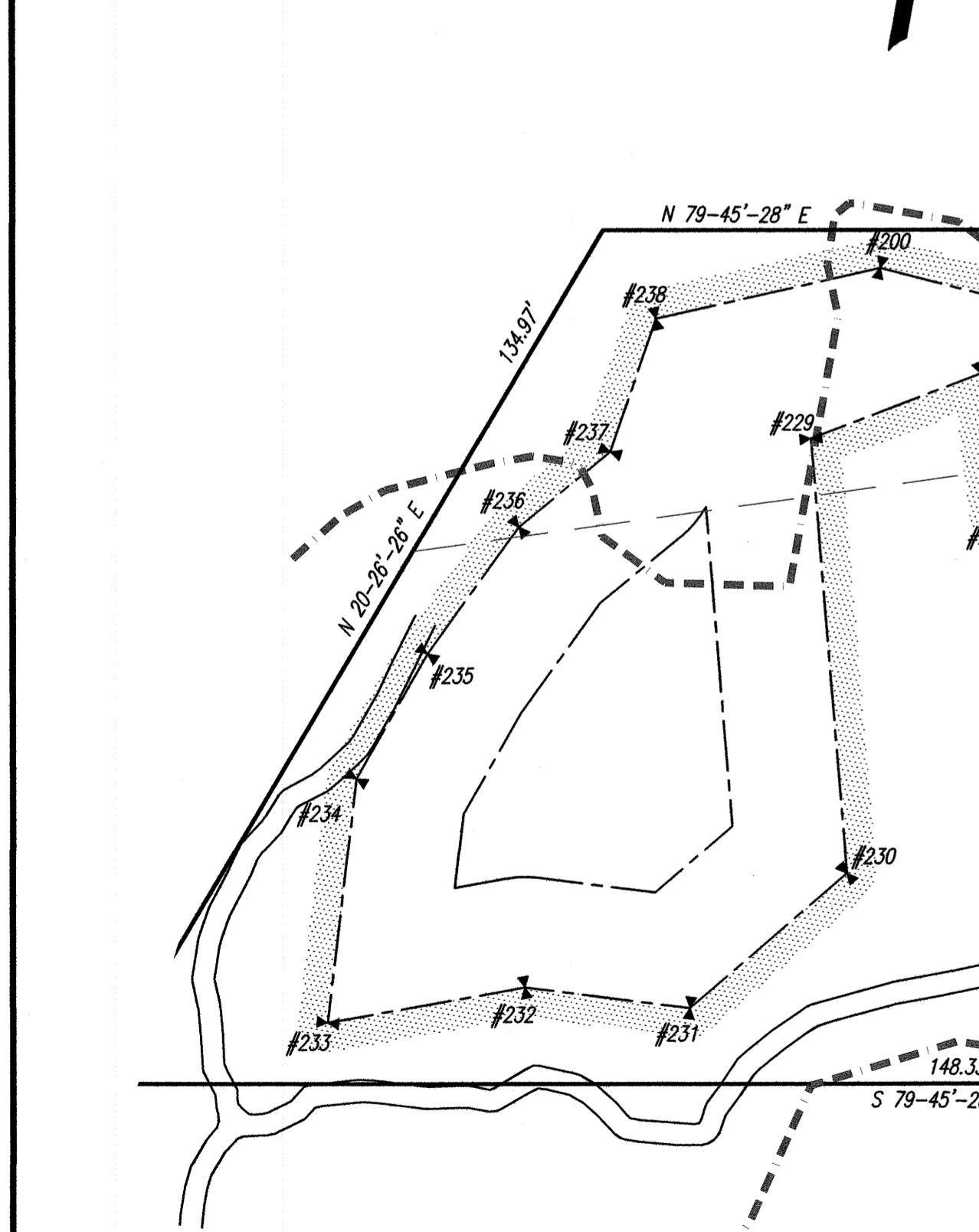


**LEGEND**

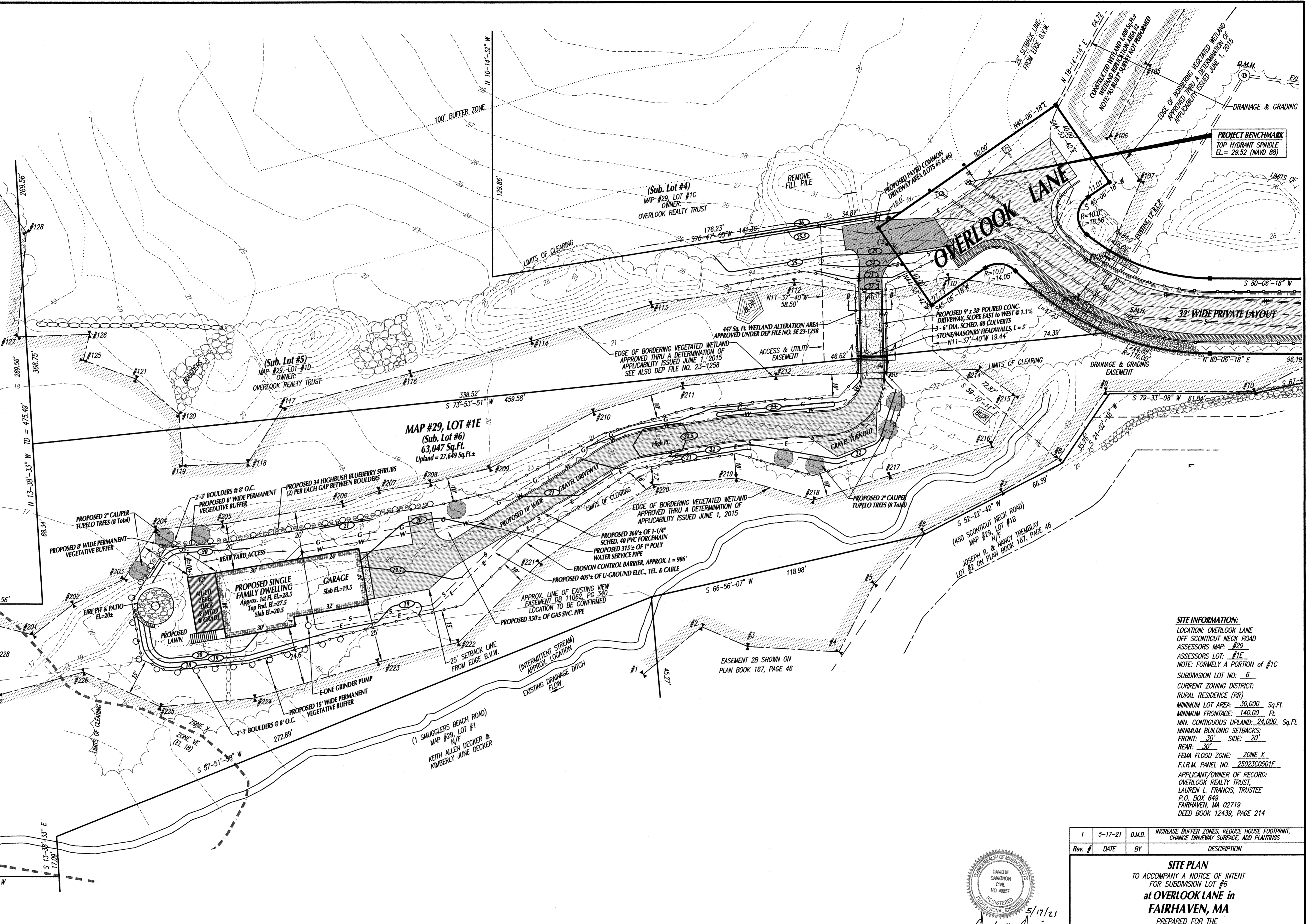
- PROPOSED CONTOURS
- EXISTING CONTOURS
- FLOOD ZONE LINES
- EDGE OF TREES
- EDGE OF LAWN
- EDGE OF WETLAND (B.V.W.)

LOCUS PLAN  
SCALE: 1"=600'±

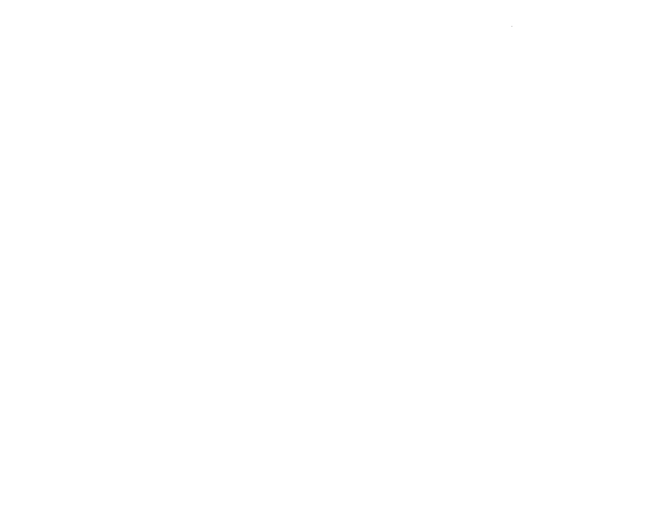
(1) SMUGGLERS BEACH ROAD  
MAP #29, LOT #1  
N/F  
KEITH ALLEN DECKER &  
KIMBERLY JUNE DECKER



- GENERAL NOTES:**
- 1.) CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION THROUGH "DIG SAFE" AND OTHER APPROPRIATE AGENCIES, AND REPORT ANY DISCREPANCIES TO THIS OFFICE.
  - 2.) CONTRACTOR SHALL NOTIFY THIS OFFICE OF ANY AND ALL DISCREPANCIES FOUND BETWEEN THE SITE CONDITIONS AND THOSE SHOWN ON THIS PLAN PRIOR TO CONTINUATION OF ANY WORK.
  - 3.) ANY AND ALL CHANGES FROM THE SITE DESIGN LAYOUT SHOWN MUST BE APPROVED BY THIS OFFICE, AND OTHER APPROPRIATE LOCAL OFFICIALS.
  - 4.) THE EXCAVATING CONTRACTOR SHALL READ THE ORDER OF CONDITIONS PRIOR TO THE START OF WORK, SHALL HAVE A COPY AT THE SITE AT ALL TIMES AND IS RESPONSIBLE FOR FOLLOWING ALL CONDITIONS AS THEY RELATE TO SITE WORK.
  - 5.) THE GENERAL CONTRACTOR (i.e. BUILDER) SHALL READ THE ORDER OF CONDITIONS PRIOR TO THE START OF WORK, SHALL HAVE A COPY AT THE SITE AT ALL TIMES AND IS RESPONSIBLE FOR FOLLOWING ALL CONDITIONS AS THEY RELATE TO ALL WORK ON THE PROPERTY.
  - 6.) PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL INSTALL A STAKED EROSION CONTROL BARRIER SHOWN AND SHALL CONTACT THE CONSERVATION COMMISSION AGENT FOR AN INSPECTION.



- GENERAL NOTES:**
- 1.) CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION THROUGH "DIG SAFE" AND OTHER APPROPRIATE AGENCIES, AND REPORT ANY DISCREPANCIES TO THIS OFFICE.
  - 2.) CONTRACTOR SHALL NOTIFY THIS OFFICE OF ANY AND ALL DISCREPANCIES FOUND BETWEEN THE SITE CONDITIONS AND THOSE SHOWN ON THIS PLAN PRIOR TO CONTINUATION OF ANY WORK.
  - 3.) ANY AND ALL CHANGES FROM THE SITE DESIGN LAYOUT SHOWN MUST BE APPROVED BY THIS OFFICE, AND OTHER APPROPRIATE LOCAL OFFICIALS.
  - 4.) THE EXCAVATING CONTRACTOR SHALL READ THE ORDER OF CONDITIONS PRIOR TO THE START OF WORK, SHALL HAVE A COPY AT THE SITE AT ALL TIMES AND IS RESPONSIBLE FOR FOLLOWING ALL CONDITIONS AS THEY RELATE TO SITE WORK.
  - 5.) THE GENERAL CONTRACTOR (i.e. BUILDER) SHALL READ THE ORDER OF CONDITIONS PRIOR TO THE START OF WORK, SHALL HAVE A COPY AT THE SITE AT ALL TIMES AND IS RESPONSIBLE FOR FOLLOWING ALL CONDITIONS AS THEY RELATE TO ALL WORK ON THE PROPERTY.
  - 6.) PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL INSTALL A STAKED EROSION CONTROL BARRIER SHOWN AND SHALL CONTACT THE CONSERVATION COMMISSION AGENT FOR AN INSPECTION.



Rev. #	DATE	BY	DESCRIPTION
1	5-17-21	D.M.D.	INCREASE BUFFER ZONES, REDUCE HOUSE FOOTPRINT, CHANGE DRIVEWAY SURFACE, ADD PLANTINGS

**SITE PLAN**  
TO ACCOMPANY A NOTICE OF INTENT FOR SUBDIVISION LOT #6 at OVERLOOK LANE in FAIRHAVEN, MA PREPARED FOR THE OVERLOOK REALTY TRUST

SCALE: 1"=20' DATE: APRIL 19, 2021

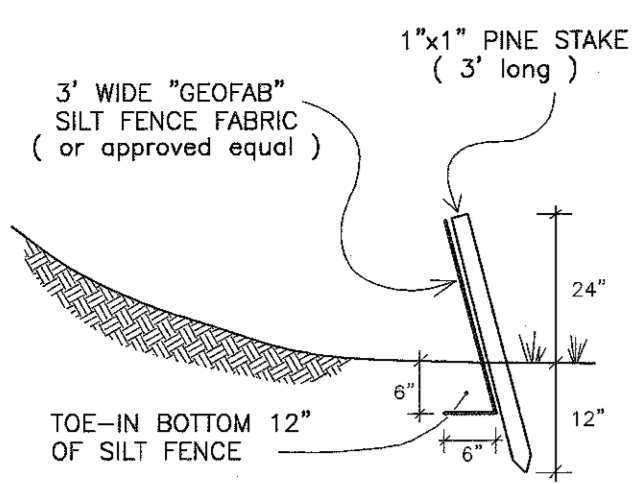
**SCHNEIDER, DAVIGNON & LEONE, INC.**  
PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
1 COUNTY RD, P.O. BOX 480, MATTAPOISETT, MA 02739  
1-508-759-7866

Drawn By: D.M.D. Check By: D.M.D. Job No. 2741

**SITE INFORMATION:**  
LOCATION: OVERLOOK LANE OFF SCITICUT NECK ROAD  
ASSESSORS MAP: #29  
ASSESSORS LOT: #1E  
NOTE: FORMERLY A PORTION OF #1C  
SUBDIVISION LOT NO.: 6  
CURRENT ZONING DISTRICT: RURAL RESIDENCE (RR)  
MINIMUM LOT AREA: 30,000 Sq.Ft.  
MINIMUM FRONTAGE: 140.00 FT.  
MIN. CONTIGUOUS UPLAND: 24,000 Sq.Ft.  
MINIMUM BUILDING SETBACKS:  
FRONT: 30' SIDE: 20'  
REAR: 30'  
FEMA FLOOD ZONE: ZONE X  
F.I.R.M. PANEL NO. 25023C0501E  
APPLICANT/OWNER OF RECORD: OVERLOOK REALTY TRUST, LAUREN L. FRANCIS, TRUSTEE  
P.O. BOX 649 FAIRHAVEN, MA 02719  
DEED BOOK 12439, PAGE 214

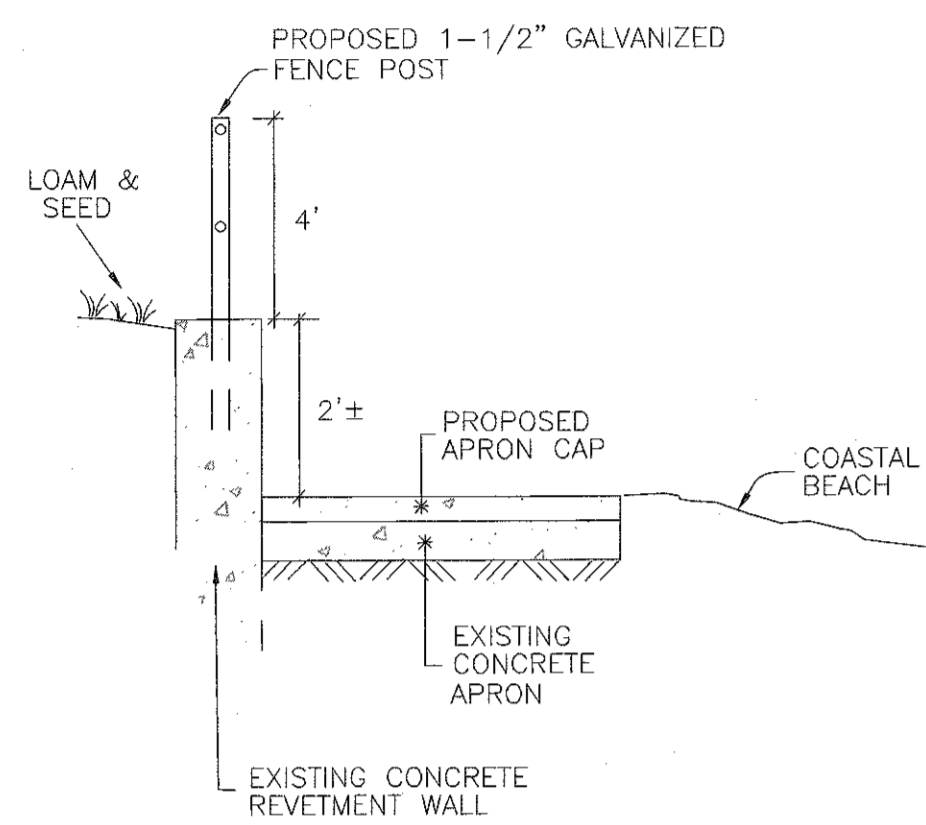
DAVID M. DAVIGNON  
CIVIL ENGINEER  
REGISTERED PROFESSIONAL ENGINEER  
5/17/21  
D.M.D.





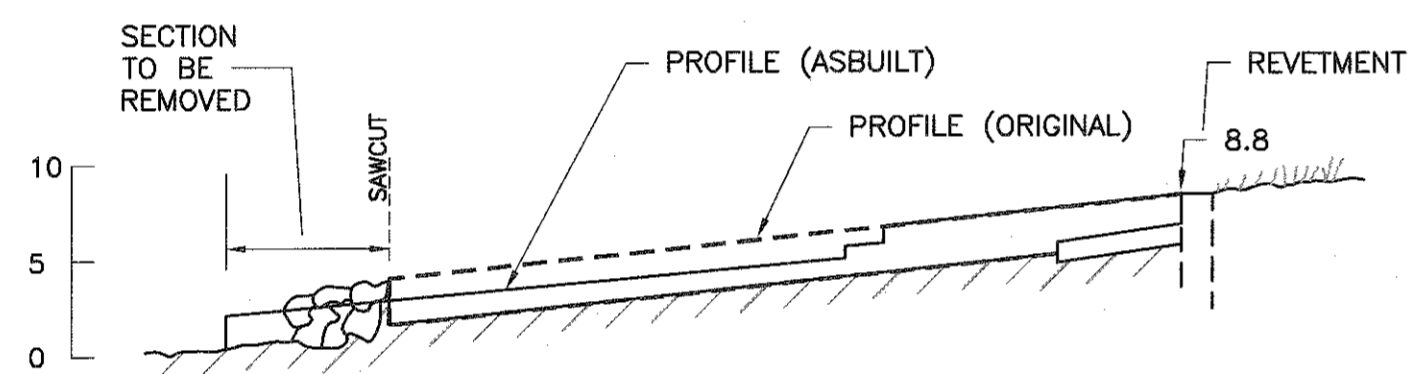
**SILT / EROSION CONTROL FENCING**

NOT TO SCALE



**SECTION A-A**

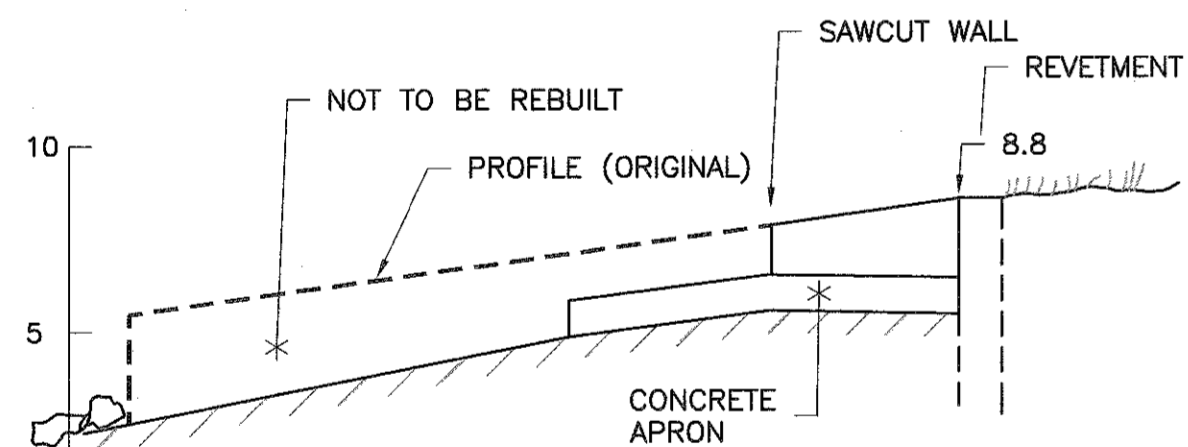
(NOT TO SCALE)



**NORTH GROIN**

**SECTION B-B**

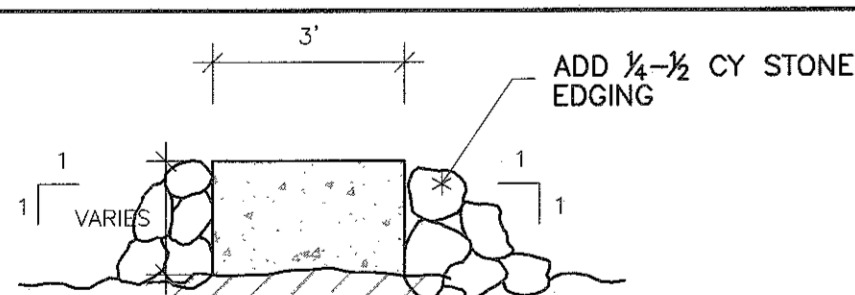
1"=10'



**SOUTH GROIN**

**SECTION C-C**

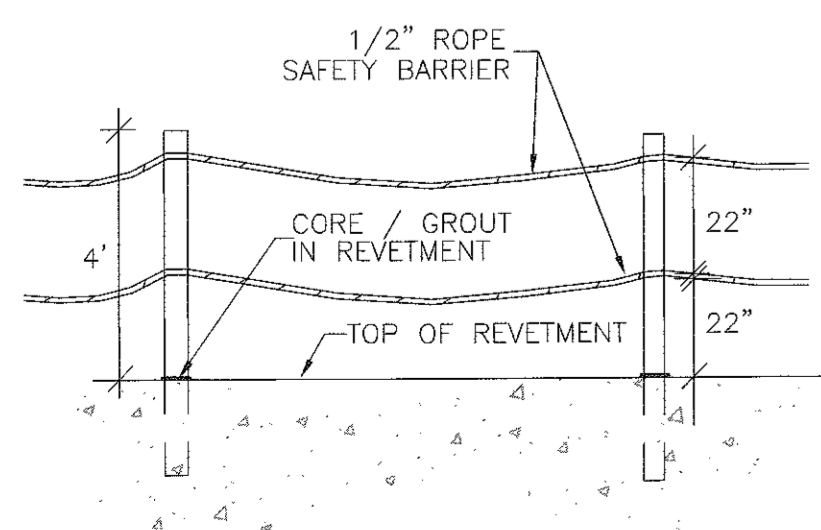
1"=5'



**NORTH GROIN**

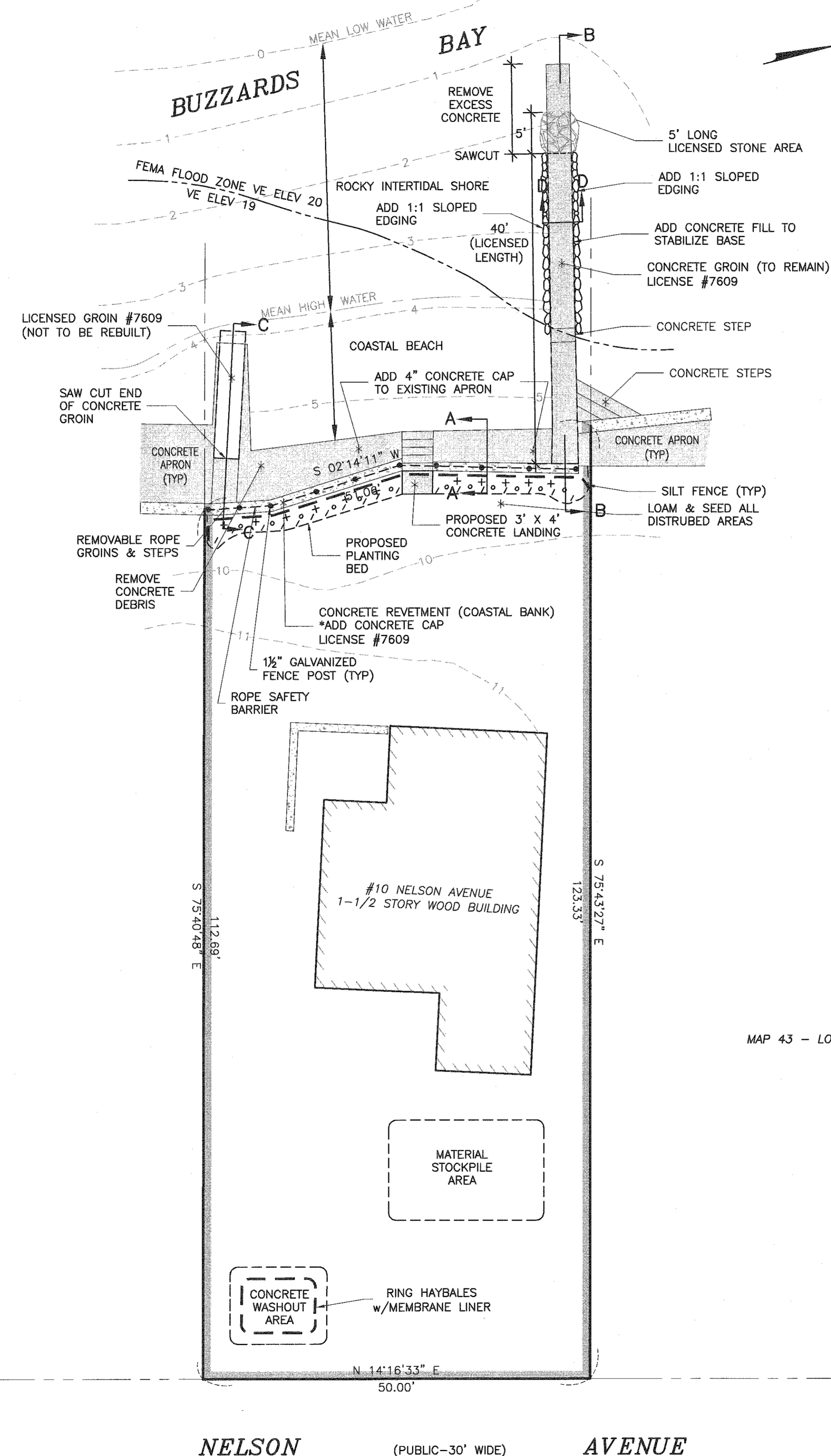
**SECTION D-D**

1"=3'

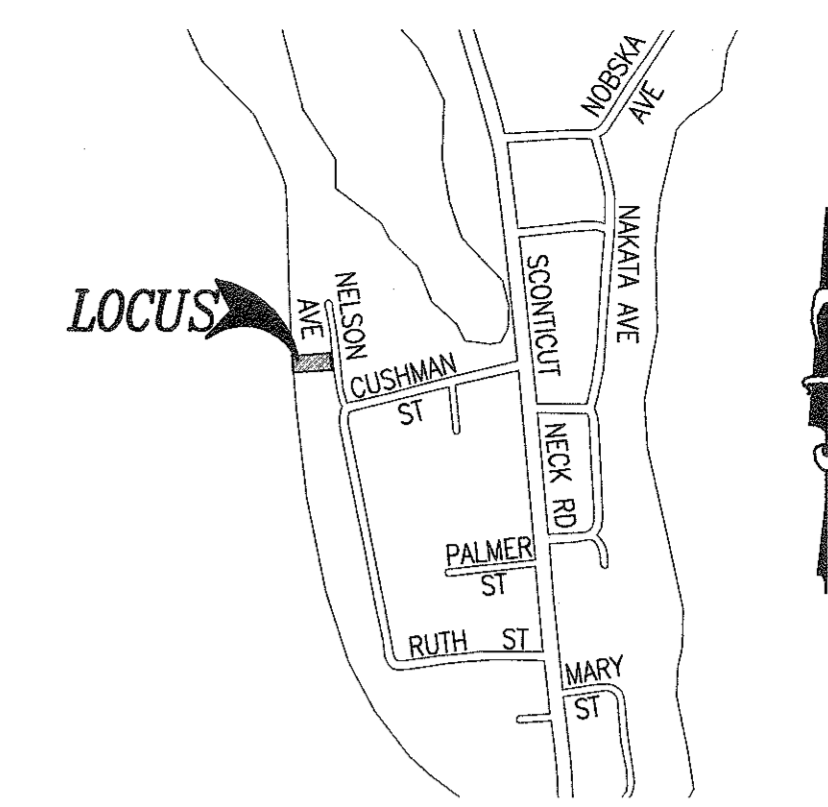


**ROPE SAFETY BARRIER**

(NOT TO SCALE)



MAP 43 - LOT 29



**LOCUS MAP**

SCALE: 1"=600'±

**LEGEND**

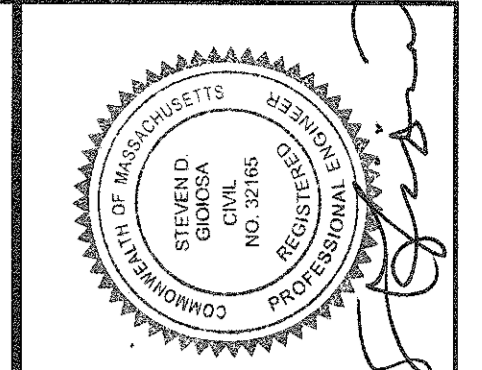
- PROPERTY LINE
- - - - - EXISTING CONTOUR

**CONSTRUCTION NOTES**

1. ALL WORK DEPICTED ON THIS PLAN IS SUBJECT TO ALL ORDER OF CONDITIONS ISSUED BY THE FAIRHAVEN CONSERVATION COMMISSION. THE CONTRACTOR SHALL HAVE A COPY OF THE ORDER AND APPROVED PLAN ON SITE AT ALL TIME DURING THE CONSTRUCTION PROVIDED.
2. A PRE-CONSTRUCTION MEETING WILL BE SCHEDULED BY THE CONTRACTOR WITH THE CONSERVATION AGENT TO REVIEW THE REQUIREMENTS OUTLINED IN THE ORDER OF CONDITIONS.
3. THE SILT FENCE FOR EROSION CONTROL SHALL BE SET PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL ALL DISTURBED AREAS ARE STABILIZED.
4. STOCKPILING OF MATERIALS SHALL BE LIMITED TO THE DESIGNATED UPLAND AREA.
5. IF REQUIRED, A LINED CONCRETE WASHOUT PIT SHALL BE SET IN THE STOCKPILE AREA WITH SILT FENCING SET ALONG THE DOWNGRADIENT PERIMETER OF THE PIT.
6. ALL DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED WITH LOAM AND SEEDING UPON COMPLETION OF CONSTRUCTION.
7. THE USE OF HEAVY EQUIPMENT ON THE BEACH OR ROCKY INTERTIDAL SHORE IS PROHIBITED.

**PLANT LIST**

SYMBOL	QUANTITY	NAME
+	11	'EURYBIA SPECTABILIS' Eastern Showy Aster
o	12	'HEMEROCALLIS SPP.' Daylily Stelladora
/	18	'COREOPSIS ROSEA' Pink Tickseed



No.	Date	Revision Description
3	MAY 17, 2021	REVISE NORTH GROIN
2	APR. 16, 2021	REVISED PLAN DETAILS
1	APR. 05, 2021	REVISED DESIGN/ADD PLANTINGS

scale: 1"=10'  
 date: FEBRUARY 11, 2021  
 draw: BPL  
 check: SDG  
 approve: SDG  
 sheet 1 of 1  
 drawing number: CSRP-1

project: ASSESSORS MAP 43 - LOT 30  
 10 NELSON AVENUE  
 FAIRHAVEN, MASSACHUSETTS  
 client: THE DELANO IRREVOCABLE TRUST  
 drawing title: COASTAL STRUCTURE REPAIR PLAN



**OWNER/APPLICANT:**  
 THE DELANO IRREVOCABLE TRUST  
 10 NELSON AVENUE  
 FAIRHAVEN, MA 02719