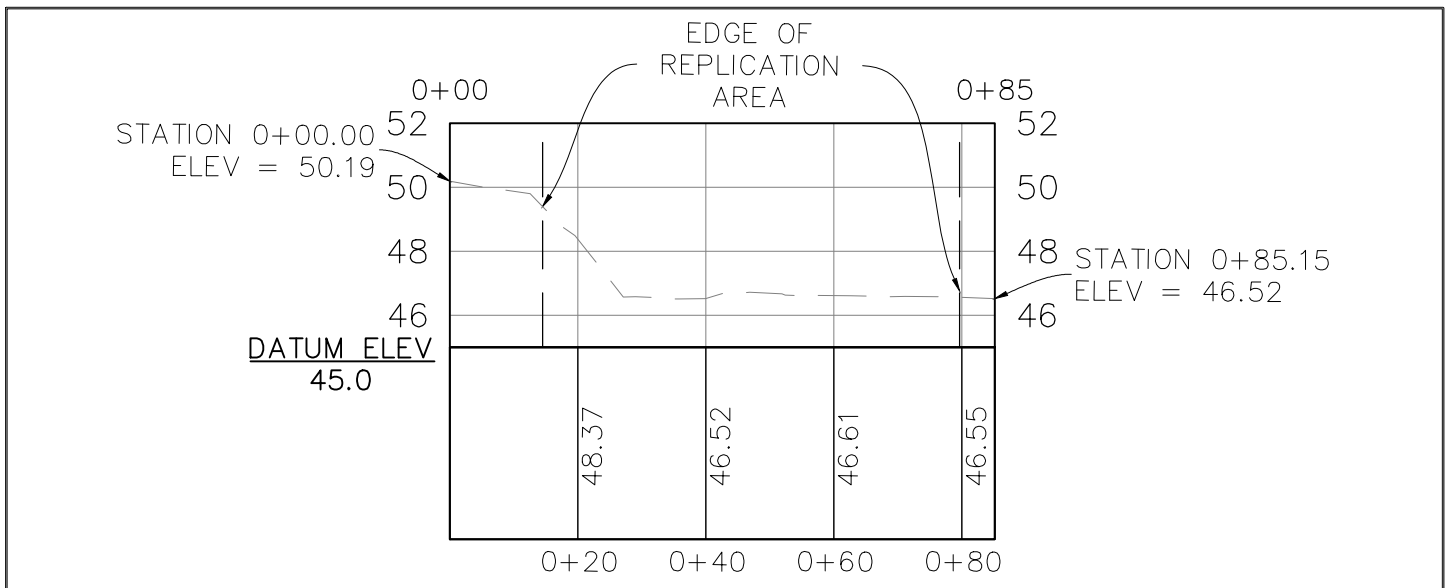


WETLAND REPLICATION AREA PLAN

APPROX. SCALE: 1"=40'



WETLAND REPLICATION AREA CROSS SECTION

APPROX. SCALE: 1"=30' (HORIZONTAL)

1"=6' (VERTICAL)

Atlantic® DESIGN ENGINEERS, INC.
P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

FILE : 2893.03-ASBUILT

PREPARED FOR
SIGNAL ENERGY DG
1095 MORRIS AVE. - SUITE 102
UNION, NEW JERSEY 07083

WETLAND REPLICATION AREA AS-BUILT
FOR
20 YANKEE LANE SOLAR PROJECT
FAIRHAVEN, MASSACHUSETTS
DECEMBER 7, 2021


JOB NUMBER
2893.07



LEGEND	
---	EXISTING EDGE OF PAVEMENT
---	EXISTING EDGE OF DIRT ROAD/PATH
---	EXISTING CHAIN LINK FENCE
---	EXISTING WOOD POST FENCE W/WIRE
---	EXISTING OVERHEAD WIRES
---	EXISTING 1 FOOT CONTOUR LINE
---	EXISTING 5 FOOT CONTOUR LINE
---	EXISTING TREE LINE
---	EXISTING STONE WALL
---	EDGE OF BORDERING VEGETATED WETLANDS W/FLAG
---	EDGE OF BORDERING VEGETATED WETLANDS
---	ESTIMATED EDGE OF BORDERING VEGETATED WETLANDS
---	PERENNIAL STREAM MEAN ANNUAL HIGH WATER (MAHW) W/FLAG
---	100' BUFFER TO WETLANDS (TYP)
---	200' RIVERFRONT AREA (TYP)
---	EXISTING UTILITY POLE
---	EXISTING GUY WIRE
---	SURVEY MONUMENTS
---	MASS. HIGHWAY BOUND W/LEAD PLUG FOUND
---	STONE BOUND W/DRILL HOLE FOUND
---	CONCRETE BOUND W/DRILLHOLE FOUND
---	LOCUS PROPERTY LINE NOT BASED UPON A SURVEY
---	AS-BUILT TRELINE
---	UNDERGROUND WIRE
---	OVERHEAD WIRE
---	UTILITY POLE
---	GRASSED SWALE
---	EDGE OF DIRT

- GENERAL NOTES:**
- OWNER OF RECORD(S): ANTONIO S. & INEZ M. LOPES
C/O BRIAN LOPES
20 YANKEE LANE
FAIRHAVEN, MA 02719
BOOK 1706 PAGE 1055
 - THE SUBJECT PROPERTY IS SHOWN AS LOT 16, 23 AND 30 ON THE TOWN OF FAIRHAVEN ASSESSOR MAP 39. TOTAL LAND AREA IS APPROXIMATELY ±59.9 ACRES.
 - THE PROPERTY LIES WITHIN THE RURAL RESIDENTIAL (RR) DISTRICT BASED UPON A REVIEW OF THE TOWN OF FAIRHAVEN ZONING MAP AND PROPERTY CARD.
 - THE PROPERTY LINES SHOWN HEREON, ARE COMPILED FROM PLANS AND DEEDS OF RECORD, THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM, PARTIAL FIELD SURVEYS BY ATLANTIC DESIGN ENGINEERS, INC. IN NOVEMBER AND DECEMBER OF 2017 AND JANUARY OF 2018 AND ARE BASED UPON THE NORTH AMERICAN DATUM OF 1983 (NAD83) AND ARE NOT ENTIRELY BASED UPON A BOUNDARY SURVEY BY ATLANTIC DESIGN ENGINEERS, INC.
 - EXISTING CONDITIONS DEPICTED HEREON ARE BASED UPON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM, THE FAIRHAVEN GEOGRAPHIC INFORMATION SYSTEM AND INFORMATION OBTAINED FROM PUBLIC RECORD AND SUPPLEMENTED WITH PARTIAL FIELD SURVEYS BY ATLANTIC DESIGN ENGINEERS, INC. IN NOVEMBER AND DECEMBER OF 2017, JANUARY OF 2018 AND DECEMBER OF 2020. ELEVATIONS SHOWN ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
 - EXISTING CONDITIONS WITHIN THE LIMIT OF THE SOLAR AREA DEPICTED HERON ARE FROM A FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS, INC. IN OCTOBER AND NOVEMBER OF 2021.
 - THE PROPERTY LIES WITHIN FLOOD ZONE X, BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 25050C0392F, DATED JULY 7, 2009.
 - THE ON-SITE WETLAND RESOURCE AREAS AND MEAN ANNUAL HIGH WATER (MAHW) SHOWN WERE FLAGGED BY GODDARD CONSULTING, LLC IN SEPTEMBER AND OCTOBER OF 2017 AND FIELD LOCATED BY ATLANTIC DESIGN ENGINEERS, INC. IN NOVEMBER OF 2017. THE OFF-SITE WETLAND RESOURCE AREAS SHOWN HEREON ARE BASED UPON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
 - THE PROPERTY IS NOT LOCATED WITHIN A ZONE II BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
 - THE PROPERTY IS NOT LOCATED WITHIN AN ESTIMATED AND HABITAT OF RARE WILDLIFE AND A PRIORITY HABITAT OF RARE SPECIES BASED UPON A REVIEW OF THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM MAPS OBSERVED ON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
 - THE PROPERTY DOES NOT LIE WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC) BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
 - THE PROPERTY LIES WITHIN NASKETUCKET RIVER BASIN OVERLAY DISTRICT (NRB) BASED UPON A REVIEW OF THE TOWN OF FAIRHAVEN ZONING MAP REVISED FEBRUARY 12, 2014.

I CERTIFY THAT THIS PLAN DEPICTS THE SOLAR AREA AS BUILT CONDITIONS AS THEY EXIST AS OF NOVEMBER, 2021.


 RICHARD J. TABACZYNSKI P.E. REG. # 33746

Atlantic DESIGN ENGINEERS, INC.
P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

Designed by :	SCALE
Drawn by :	SCALE 1" = 150'
Checked by :	0 75 150 300
Survey chk. by :	DATE
Approved by :	

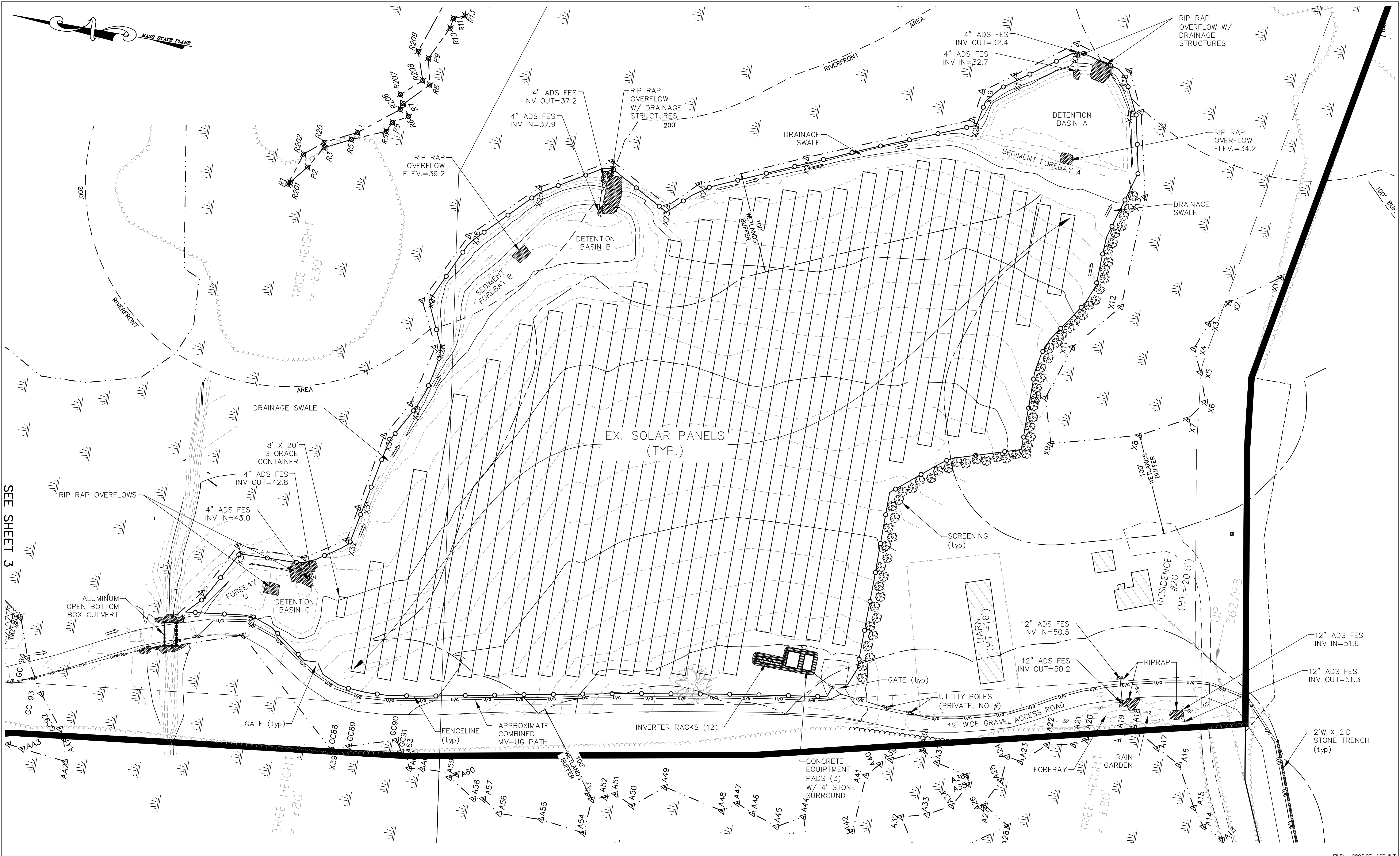
NO.	BY	DATE	REVISION
0	JCE	11/12/21	ISSUED AS ADVANCED DRAFT COPY

PREPARED FOR:
FAIRHAVEN MA 2, LLC. c/o CON EDISON CLEAN ENERGY BUSINESSES
P.O. BOX 2002
PAWCATUCK, CONNECTICUT 06379

SOLAR SITE AS-BUILT
FOR
20 YANKEE LANE SOLAR PROJECT
FAIRHAVEN, MASSACHUSETTS
NOVEMBER 22, 2021

SHEET 1 OF 3
 JOB NUMBER 2893.07

FILE: 2893.07-ASBUILT



SEE SHEET 3

Atlantic® DESIGN ENGINEERS, INC.
 P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

Designed by : _____
 Drawn by : _____
 Checked by : _____
 Survey chk. by : _____
 Approved by : _____

SCALE
 SCALE 1" = 40'

DATE _____

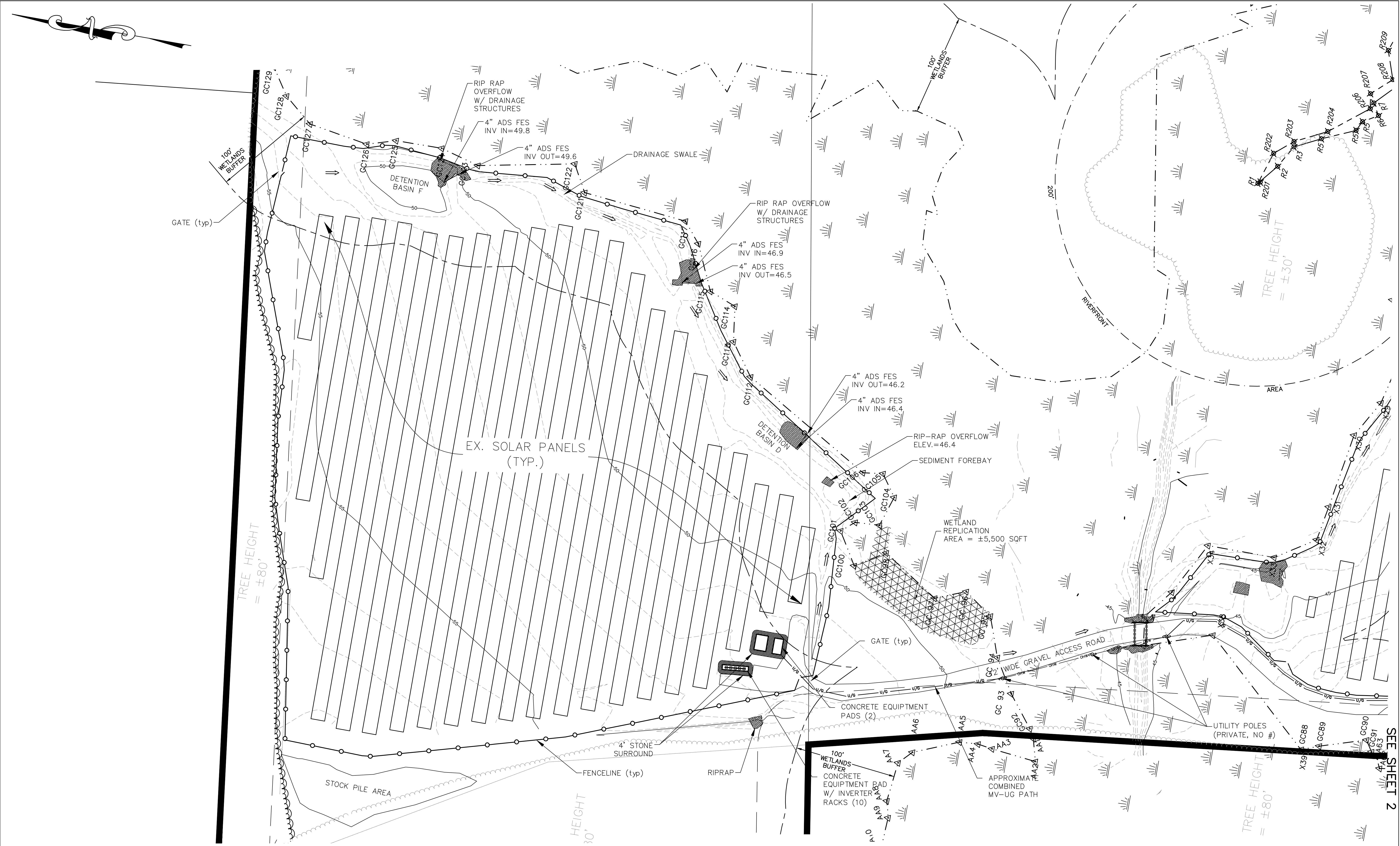
NO.	BY	DATE	REVISION
0	JCE	11/12/21	ISSUED AS ADVANCED DRAFT COPY

PREPARED FOR:
 FAIRHAVEN MA 2, LLC. c/o CON EDISON CLEAN ENERGY BUSINESSES
 P.O. BOX 2002
 PAWCATUCK, CONNECTICUT 06379

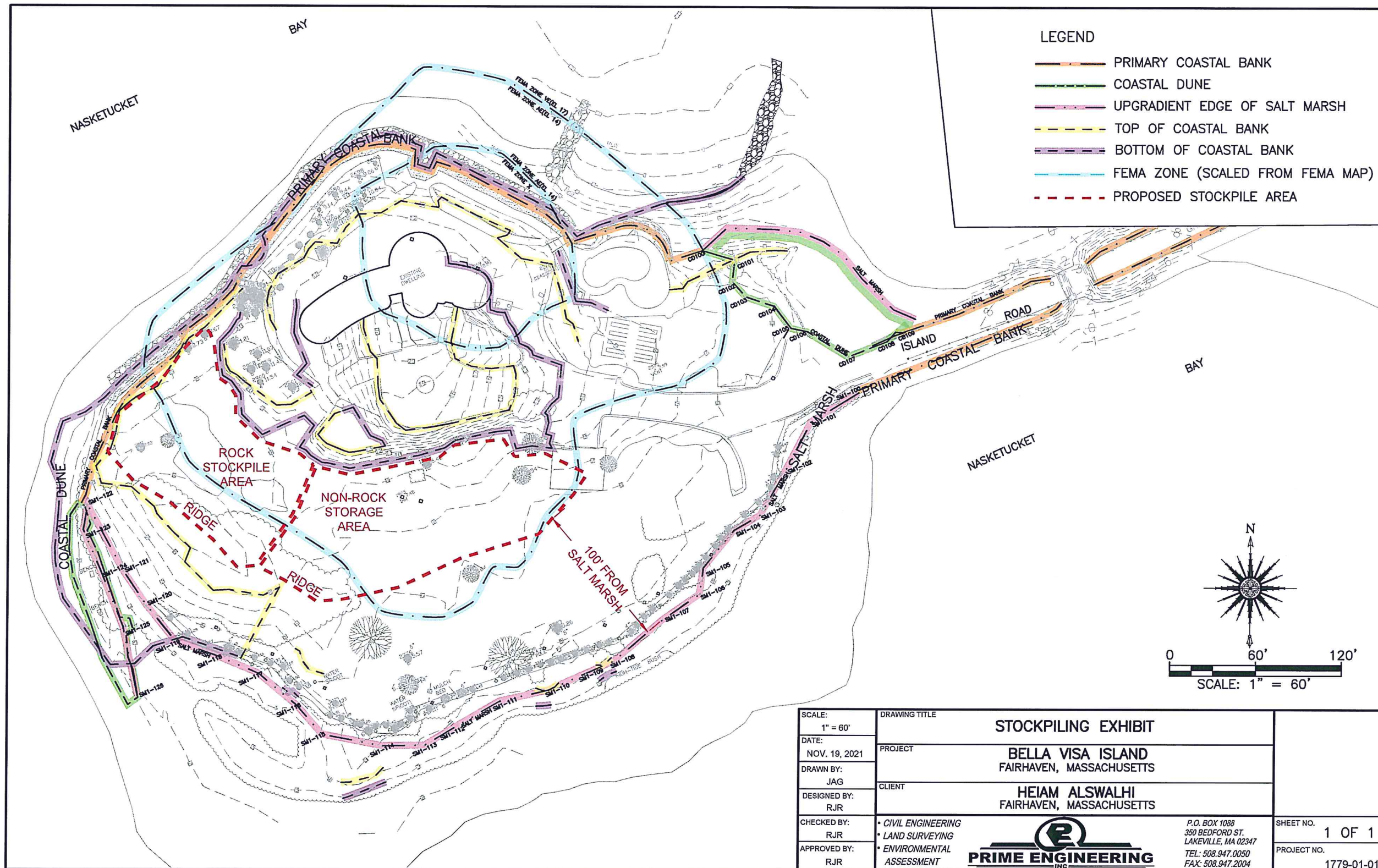
SOLAR SITE AS-BUILT
 FOR
 20 YANKEE LANE SOLAR PROJECT
 FAIRHAVEN, MASSACHUSETTS
 NOVEMBER 22, 2021

FILE: 2893.07-ASBUILT

Sheet	of
2	3
JOB NUMBER	2893.07



SEE SHEET 2



SCALE: 1" = 60'	DRAWING TITLE STOCKPILING EXHIBIT	SHEET NO. 1 OF 1
DATE: NOV. 19, 2021	PROJECT BELLA VISA ISLAND FAIRHAVEN, MASSACHUSETTS	
DRAWN BY: JAG	CLIENT HEIAM ALSWALHI FAIRHAVEN, MASSACHUSETTS	PROJECT NO. 1779-01-01
DESIGNED BY: RJR	<ul style="list-style-type: none"> • CIVIL ENGINEERING • LAND SURVEYING • ENVIRONMENTAL ASSESSMENT 	
CHECKED BY: RJR	<small>P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050 FAX: 508.947.2004</small>	
APPROVED BY: RJR		

ASSESSORS REFERENCE
MAP 11 - LOT 006E

SITE ADDRESS
86-88 MIDDLE STREET
FAIRHAVEN, MA 02719

CURRENT OWNER
MIDDLE STREET TRUCKING, LLC.
86-88 MIDDLE STREET
FAIRHAVEN, MA 02719

DEED REFERENCE
BK. 13885 - PG. 272

PLAN REFERENCES
PLAN "PLOT PLAN, ASSESSORS MAP
11/LOT006E" DRAWN BY CRAWFORD LAND
SURVEYING DATED 12/9/2018
(UNRECORDED)
LC. 6255C
PB. 109 - PG. 86

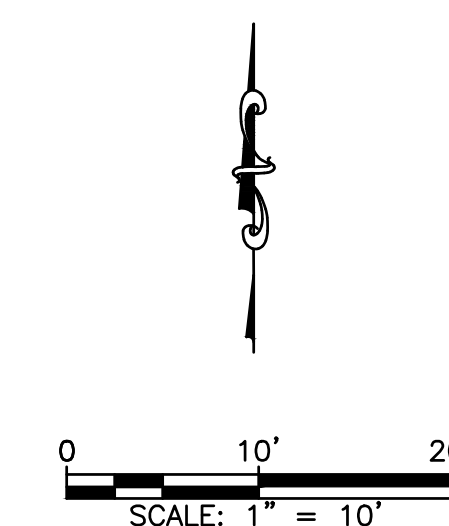
VERTICAL DATUM SHOWN
NAVD88

FEMA FLOODZONE DESIGNATION
ZONE AE, WITH A BASE FLOOD EL=6FT AS
SHOWN ON F.E.M.A. FLOOD INSURANCE
RATE MAP FOR THE TOWN OF FAIRHAVEN,
MA, BRISTOL COUNTY, COMMUNITY PANEL
NO. 25005C0393G HAVING AN EFFECTIVE
DATE OF 7/16/2014.

LEGEND

- LIMIT OF EXISTING CONCRETE SLAB
- LIMIT OF EXISTING BIT. CONCRETE
- LIMIT OF TEMP METAL ROAD PLATES OVER CRUSHED STONE

THE EXISTING CONCRETE IS THE BASIS FOR THE AFTER-THE-FACT FILING OF THE NOI.



DRAWING TITLE		EXISTING CONDITIONS PLAN		SCALE:	1" = 10'
PROJECT		86-88 MIDDLE STREET FAIRHAVEN, MASSACHUSETTS		DATE:	11/5/2021
CLIENT		A-1 CRANE FAIRHAVEN, MASSACHUSETTS		DRAWN BY:	JAG
DESIGNED BY:		RJR		CHECKED BY:	RJR
APPROVED BY:		RJR		PROJECT NO.:	3048-01-01
CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL ASSESSMENT		P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02734 TEL: 508.947.0050 FAX: 508.947.2004		SHEET NO. 1 OF 3	
REV.	DATE	DESCRIPTION	BY	APP.	
1	11/10/2021	GENERAL REVISIONS	JAG	RJR	

ASSESSORS REFERENCE
MAP 11 - LOT 006E

SITE ADDRESS
86-88 MIDDLE STREET
FAIRHAVEN, MA 02719

CURRENT OWNER
MIDDLE STREET TRUCKING, LLC.
86-88 MIDDLE STREET
FAIRHAVEN, MA 02719

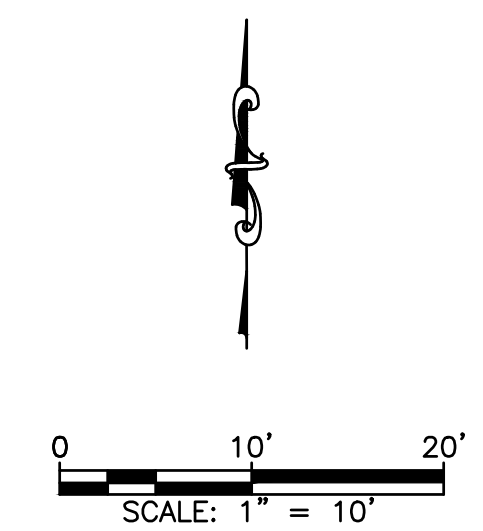
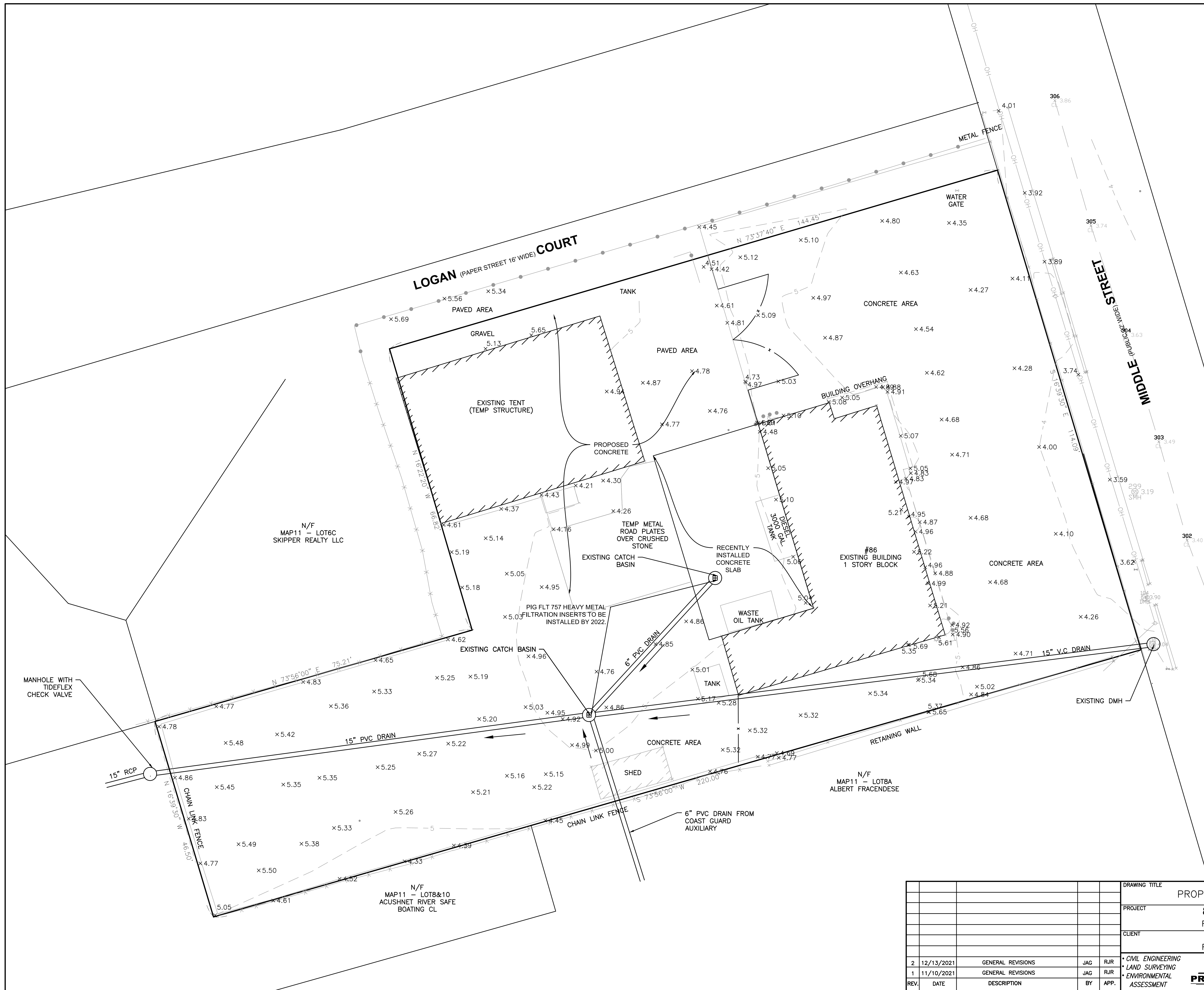
DEED REFERENCE
BK. 13885 - PG. 272

PLAN REFERENCES
PLAN "PLOT PLAN, ASSESSORS MAP
11/LOT006E" DRAWN BY CRAWFORD LAND
SURVEYING DATED 12/9/2018
(UNRECORDED)
LC. 6255C
PB. 109 - PG. 86

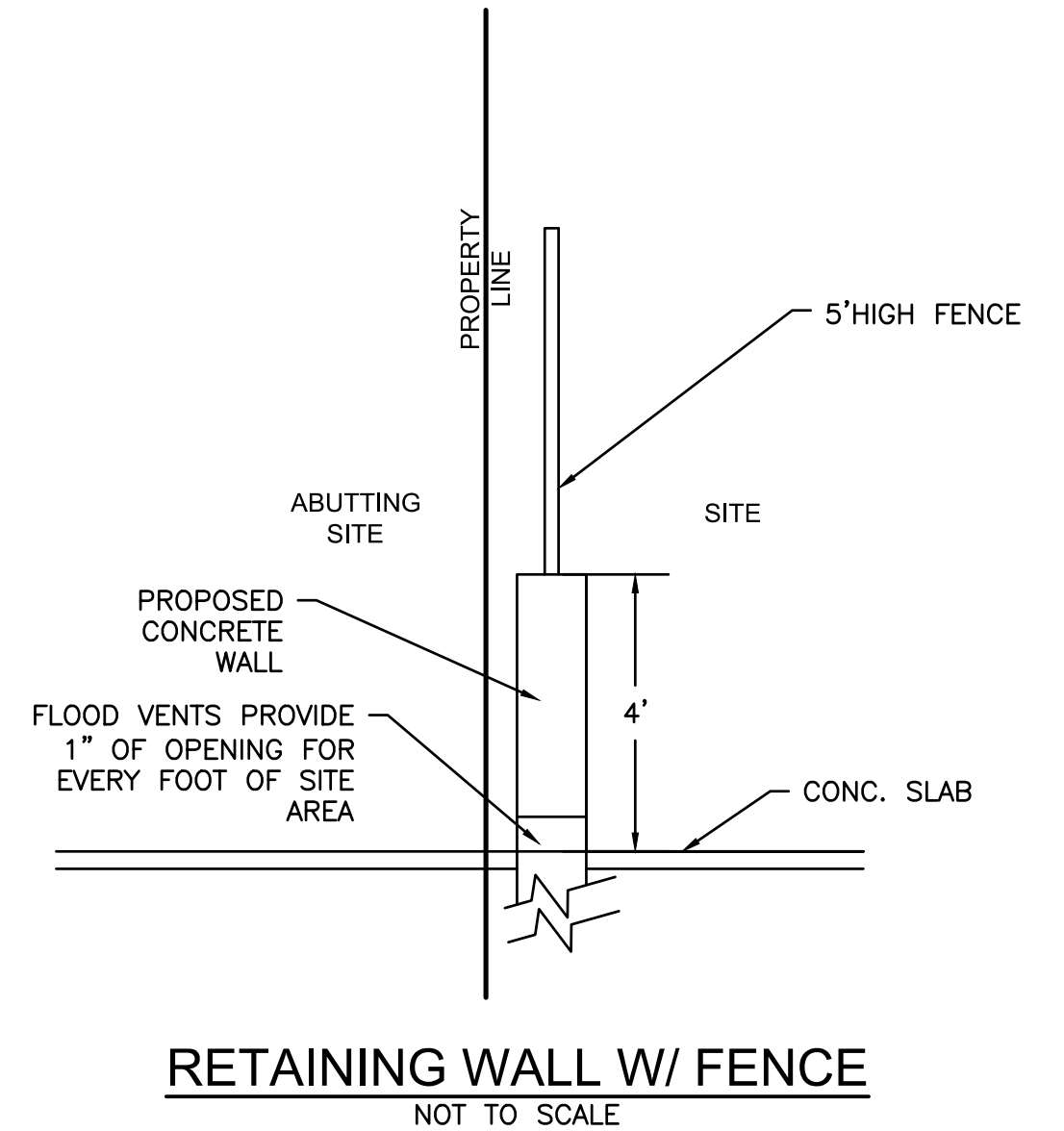
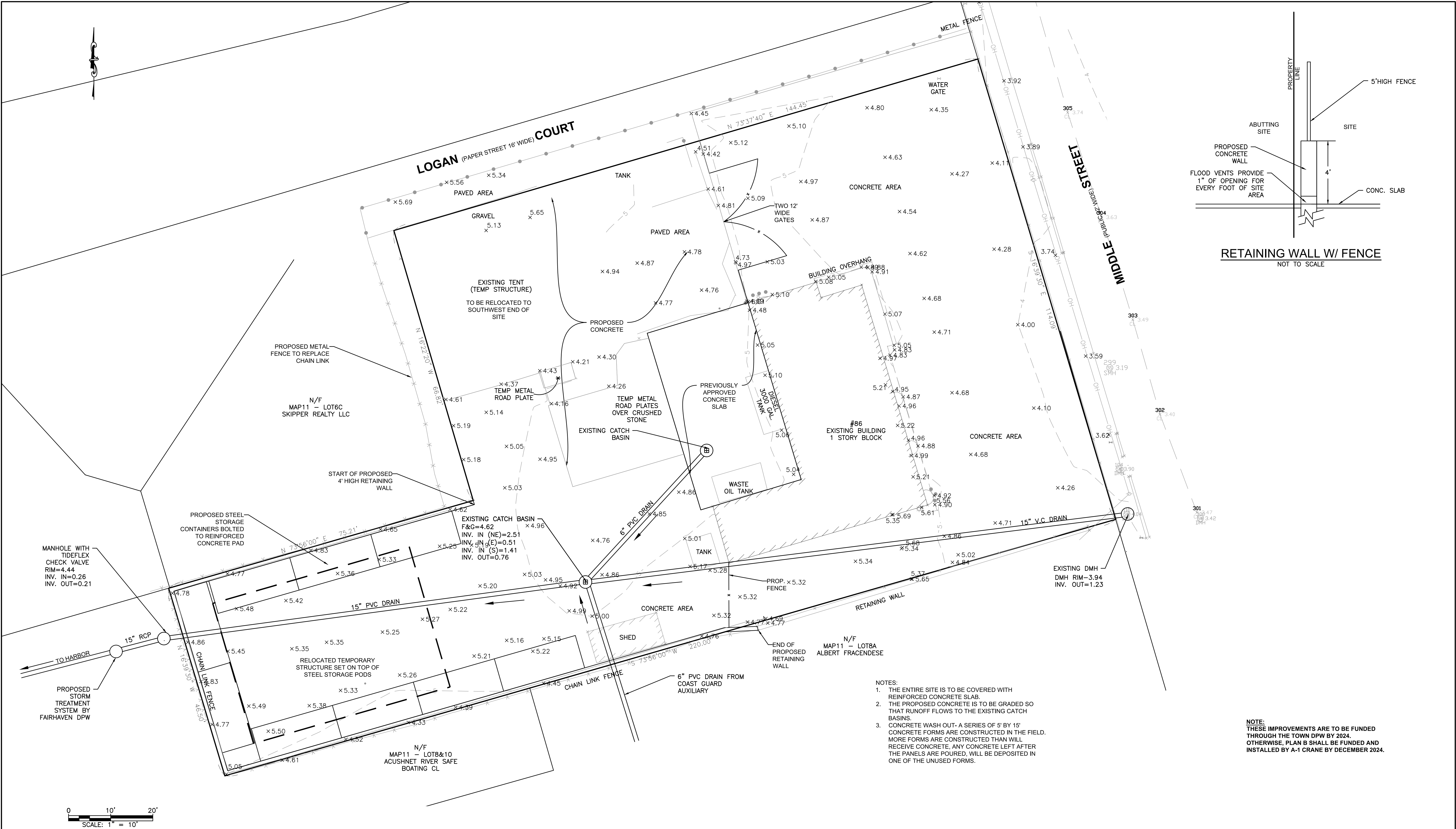
VERTICAL DATUM SHOWN
NAVD88

FEMA FLOODZONE DESIGNATION
ZONE AE, WITH A BASE FLOOD EL=6FT AS
SHOWN ON F.E.M.A. FLOOD INSURANCE
RATE MAP FOR THE TOWN OF FAIRHAVEN,
MA, BRISTOL COUNTY, COMMUNITY PANEL
NO. 25005C0393G HAVING AN EFFECTIVE
DATE OF 7/16/2014.

NOTE:
1. THIS PLAN IS BEING APPROVED BY THE
CONSERVATION COMMISSION AS A TEMPORARY
SOLUTION WITH THE UNDERSTANDING THAT
EITHER PLAN A (SHEET 2 OF 3) WILL BE FUNDED
AND CONSTRUCTED BY THE FAIRHAVEN DPW OR
PLAN B (SHEET 3 OF 3) WILL BE FUNDED AND
CONSTRUCTED BY A-1 CRANE.
2. THERE SHALL BE A SPILL PREVENTION KIT
ON SITE AT ALL TIMES. REFER TO PERMANENT
STORMWATER OPERATION AND MAINTENANCE
PROGRAM.



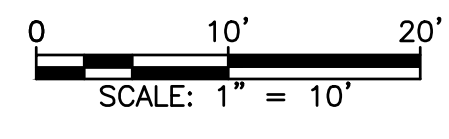
DRAWING TITLE		PROPOSED 2022 IMPROVEMENTS		SCALE:	1" = 10'
PROJECT		86-88 MIDDLE STREET FAIRHAVEN, MASSACHUSETTS		DATE:	11/5/2021
CLIENT		A-1 CRANE FAIRHAVEN, MASSACHUSETTS		DRAWN BY:	JAG
REV.		DATE	DESCRIPTION	BY	APP.
2	12/13/2021	GENERAL REVISIONS		JAG	RJR
1	11/10/2021	GENERAL REVISIONS		JAG	RJR
CIVIL ENGINEERING		RICHARD J. RHEAUME No. 28373 REGISTERED PROFESSIONAL ENGINEER		CHECKED BY:	RJR
LAND SURVEYING		PRIME ENGINEERING INC.		APPROVED BY:	RJR
ENVIRONMENTAL ASSESSMENT		P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02734 TEL: 508.947.0050 FAX: 508.947.2004		SHEET NO.	1 OF 3
				PROJECT NO.	3048-01-01



RETAINING WALL W/ FENCE
NOT TO SCALE

- NOTES:
1. THE ENTIRE SITE IS TO BE COVERED WITH REINFORCED CONCRETE SLAB.
 2. THE PROPOSED CONCRETE IS TO BE GRADED SO THAT RUNOFF FLOWS TO THE EXISTING CATCH BASINS.
 3. CONCRETE WASH OUT- A SERIES OF 5' BY 15' CONCRETE FORMS ARE CONSTRUCTED IN THE FIELD. MORE FORMS ARE CONSTRUCTED THAN WILL RECEIVE CONCRETE, ANY CONCRETE LEFT AFTER THE PANELS ARE POURED, WILL BE DEPOSITED IN ONE OF THE UNUSED FORMS.

NOTE:
THESE IMPROVEMENTS ARE TO BE FUNDED THROUGH THE TOWN DPW BY 2024. OTHERWISE, PLAN B SHALL BE FUNDED AND INSTALLED BY A-1 CRANE BY DECEMBER 2024.



DRAWING TITLE				PLAN A: PROPOSED IMPROVEMENTS		SCALE: 1" = 10'	
PROJECT				86-88 MIDDLE STREET FAIRHAVEN, MASSACHUSETTS		DATE: 11/5/2021	
CLIENT				A-1 CRANE FAIRHAVEN, MASSACHUSETTS		DRAWN BY: JAG	
REV.				BY		DESIGNED BY: RJR	
DATE				APP.		CHECKED BY: RJR	
DESCRIPTION				APP.		APPROVED BY: RJR	
2 12/13/2021 GENERAL REVISIONS JAG RJR 1 11/10/2021 GENERAL REVISIONS JAG RJR				• CIVIL ENGINEERING • LAND SURVEYING • ENVIRONMENTAL ASSESSMENT		P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02734 TEL: 508.947.0050 FAX: 508.947.2004	
						SHEET NO. 2 OF 3	
						PROJECT NO. 3048-01-01	



STORMCEPTOR MODEL 900
NOT TO SCALE

NOTES:

1. THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2. THE COVER SHOULD BE POSITIONED OVER THE INLET DROP PIPE AND THE OIL PORT.
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5496331, #5725760, #5753115, #5849181, #6068765, #6371690.
4. CONTACT A CONCRETE PIPE DIVISION REPRESENTATIVE FOR FURTHER DETAILS NOT LISTED ON THIS DRAWING.

RECOMMENDED MAINTENANCE PROCEDURE:

OIL IS REMOVED THROUGH THE 6" INSPECTION/OIL PORT AND SEDIMENT IS REMOVED THROUGH THE 24" DIAMETER OUTLET RISER PIPE. ALTERNATIVELY, OIL COULD BE REMOVED FROM THE 24" OPENING IF WATER IS REMOVED FROM TREATMENT CHAMBER, LOWERING THE OIL LEVEL BELOW THE DROP PIPES.

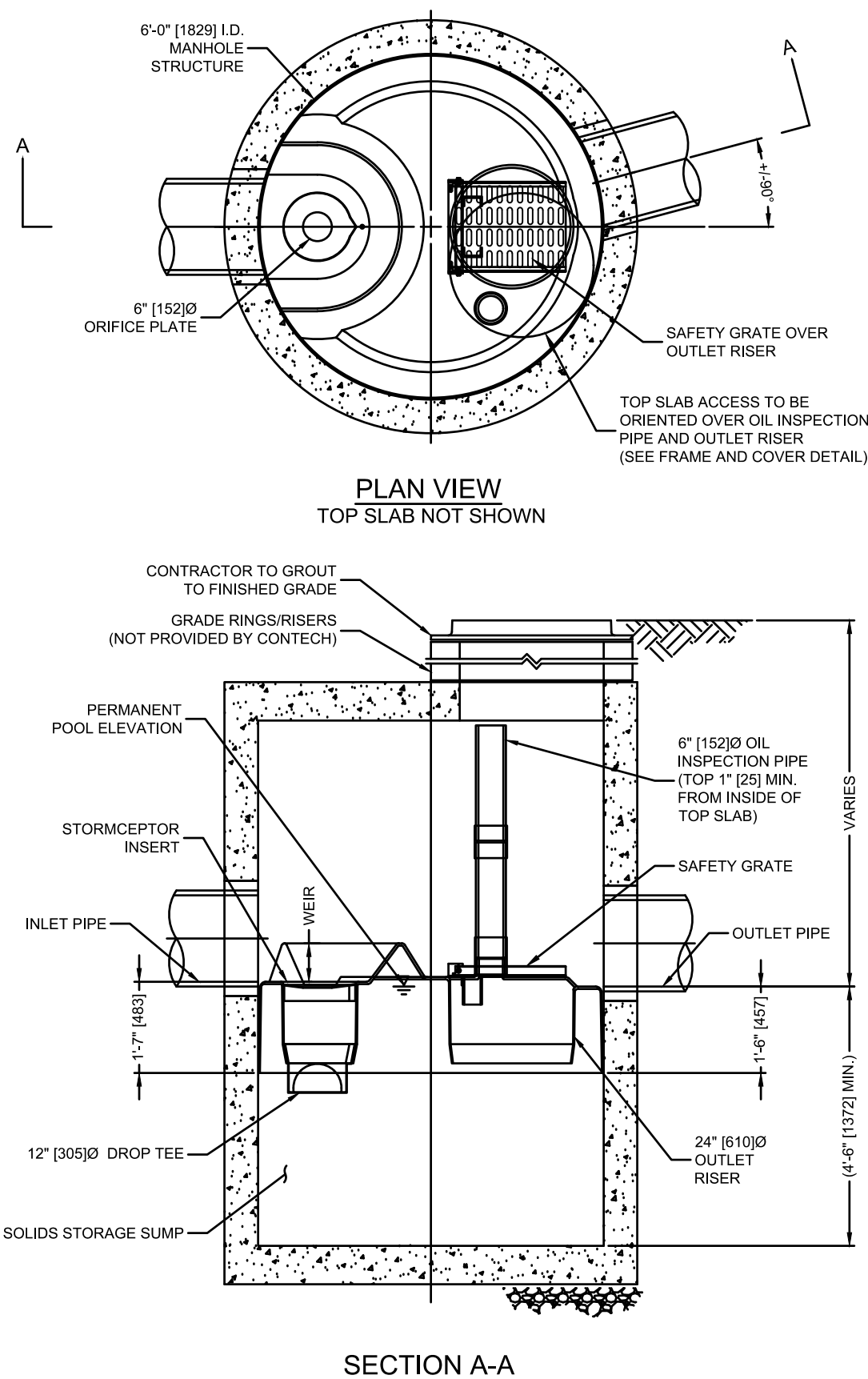
THE DEPTH OF SEDIMENT CAN BE MEASURED FROM THE SURFACE OF THE STORMCEPTOR WITH A DIPSTICK TUBE EQUIPPED WITH A BALL VALVE (SLUDGE JUDGE). RINKER MATERIALS RECOMMENDS MAINTENANCE BE PERFORMED ONCE THE SEDIMENT DEPTH EXCEEDS THE GUIDELINE VALUE PROVIDED IN TABLE BELOW.

MODEL	SEDIMENT DEPTH
450i	8" (200MM)
900	8" (200MM)
1200	10" (250MM)
1800	15" (375MM)
2400	12" (300MM)
3600	17" (425MM)
4800	15" (375MM)
6000	18" (450MM)
7200	15" (375MM)
11000s	17" (425MM)**
13000s	20" (500MM)**
16000s	17" (425MM)**

* DEPTHS ARE APPROXIMATE
** DEPTHS IN EACH STRUCTURE

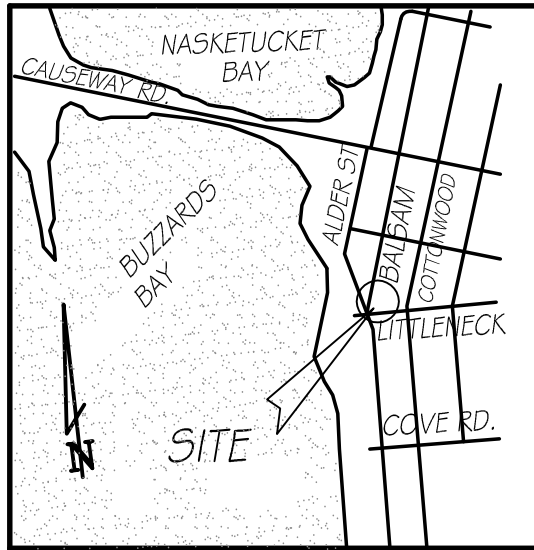
NO ENTRY INTO THE UNIT IS REQUIRED FOR ROUTINE MAINTENANCE OF THE INLET STORMCEPTOR. THE SMALLER DISC INSERT MODELS OF THE IN-LINE STORMCEPTOR. ENTRY TO THE LEVEL OF THE BY-PASS MAY BE REQUIRED FOR SERVICING THE LARGER IN-LINE MODELS. ANY POTENTIAL OBSTRUCTIONS AT THE INLET CAN BE OBSERVED FROM THE SURFACE. THE BY-PASS CHAMBER HAS BEEN DESIGNATED AS A PLATFORM FOR AUTHORIZED MAINTENANCE PERSONNEL. IN THE EVENT THAT AN OBSTRUCTION NEEDS TO BE REMOVED, DRAIN FLUSHING NEEDS TO BE PERFORMED, OR CAMERA SURVEYS ARE REQUIRED.

TYPICALLY, MAINTENANCE IS PERFORMED BY THE VACUUM SERVICE INDUSTRY, A WELL ESTABLISHED SECTOR OF THE SERVICE INDUSTRY THAT CLEANS UNDERGROUND TANKS, SEWERS, AND CATCH-BASINS. COSTS TO CLEAN THE STORMCEPTOR WILL VARY BASED ON THE SIZE OF THE UNIT AND TRANSPORTATION DISTANCES. IF YOU NEED ASSISTANCE FOR CLEANING A STORMCEPTOR UNIT, CONTACT YOUR LOCAL RINKER MATERIALS REPRESENTATIVE, OR THE RINKER MATERIALS STORMCEPTOR INFORMATION LINE AT (800) 909-7763.



TO BE IMPLEMENTED IF FAIRHAVEN DPW FAILS TO CONSTRUCT STORM TREATMENT SYSTEM SHOWN ON SHEET 2 (PLAN A)

REV.	DATE	DESCRIPTION	BY	APP.	DRAWING TITLE	SCALE:
2	12/13/2021	GENERAL REVISIONS	JAG	RJR	PLAN B: ON SITE STORMWATER TREATMENT SYSTEM	1" = 10'
1	11/10/2021	GENERAL REVISIONS	JAG	RJR		DATE: 11/5/2021
					PROJECT: 86-88 MIDDLE STREET FAIRHAVEN, MASSACHUSETTS	DRAWN BY: JAG
					CLIENT: A-1 CRANE FAIRHAVEN, MASSACHUSETTS	DESIGNED BY: RJR
					CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL ASSESSMENT	CHECKED BY: RJR
					PRIME ENGINEERING INC. P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02734 TEL: 508.947.0050 FAX: 508.947.2004	APPROVED BY: RJR
					SHEET NO. 3 OF 3	PROJECT NO. 3048-01-01



LOCUS PLAN
SCALE: 1" = 2000'+

MAP 43A
LOT 55 & 57
NF DEMERS

MAP 43A
LOT 59 & 60
NF DEMERS

ELEVATE HOUSE, MOVE AND
RE-SET ONTO NEW FLOOD
ZONE-COMPLIANT FOUNDATION

CONC. BND.
& D.H. (FND.)
MAP 43A
LOT 64, 64 & 67
NF PARECE

MAP 43A
LOT 84
NF LOPRESTI

MAP 43A
LOT 85
NF COPPES

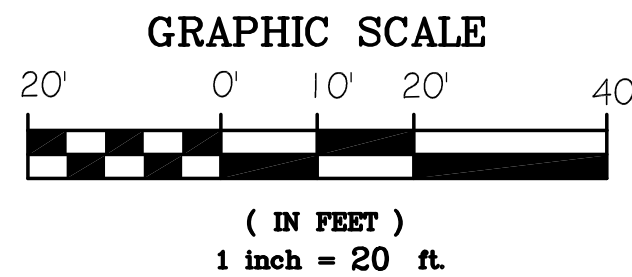
MAP 43A
LOT 85
NF FEDERICO PAUL & STEIN ANNE

MAP 43A
LOT 92 & 93
NF CHIODO

MAP 43A
LOT 90 & 91
NF BEASTON

BENCHMARK SPIKE FND IN UTILITY
POLE ELEV. = 14.30 NAVD88

SITE PLAN
SCALE: 1" = 20 FT.

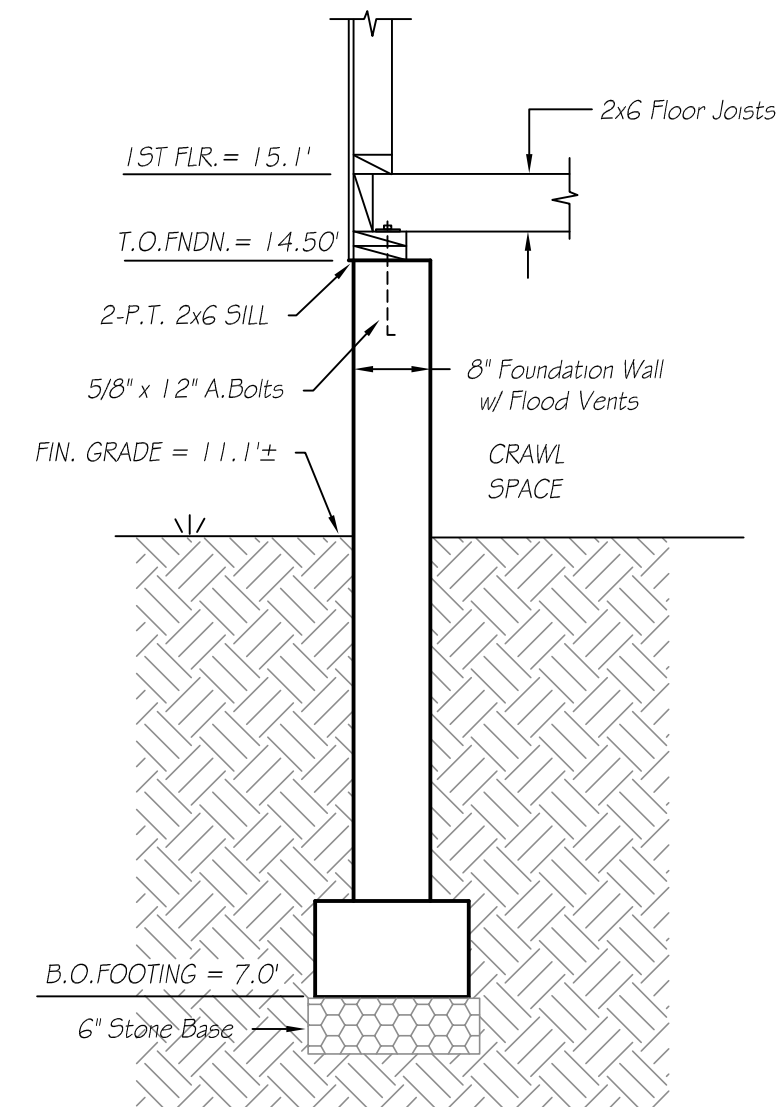


GENERAL NOTES:

1. THIS PARCEL IS SHOWN AS LOTS 86 & 87 OF ASSESSORS MAP 43A, AND ALSO SHOWN AS LOTS 86 & 87 ON A PLAN RECORDED AT THE BRISTOL COUNTY REGISTRY OF DEEDS LAND COURT SECTION PLAN 7432C ON SHEET 2.
2. THE PARCEL SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA, F.E.M.A. ZONE AE, EL. 14' AS DELINEATED ON F.E.M.A. COMMUNITY PANEL 25005C0502F DATED JULY 7, 2009.
3. DEED REFERENCE: L.C. CERT. 25333
4. ZONING DISTRICT: RURAL RESIDENCE 'RR'
FRONTAGE = 140 FT.; MIN. LOT AREA = 30,000 S.F.
FRONT & REAR SETBACKS = 30 FEET; SIDE SETBACK = 20'
MAXIMUM BUILDING COVERAGE = 15%; MAXIMUM LOT COVERAGE = 25%
EXISTING BLDG. COVERAGE = (HOUSE @ 658 S.F. + SHED @ 147 S.F.) / LOT AREA = 805 S.F. / 12,000 S.F. = 6.7%
PROP'D. BLDG. COVERAGE = (HOUSE @ 978 S.F. + SHED @ 147 S.F.) / LOT AREA = 1,125 S.F. / 12,000 S.F. = 9.4%
EXISTING LOT COVERAGE = (BLDG. @ 805 S.F. + DWAY. @ 388 S.F.) / LOT AREA = 1,193 S.F. / 12,000 S.F. = 9.9%
PROP'D. LOT COVERAGE = (BLDG. @ 1,125 S.F. + DWAY. @ 388 S.F.) / LOT AREA = 1,513 S.F. / 12,000 S.F. = 12.6%

SCOPE OF WORK:

- THE SCOPE OF WORK INCLUDES (1) ELEVATING THE EXISTING HOUSE AND MOVING IT TO THE TEMPORARY LOCATION; (2) CONSTRUCTION OF NEW FLOOD ZONE-COMPLIANT FOUNDATION; (3) SETTING HOUSE ONTO NEW FOUNDATION; (4) RENOVATIONS TO HOUSE AND CONSTRUCTION OF ADDITIONS; AND (5) ASSOCIATED SITE WORK.

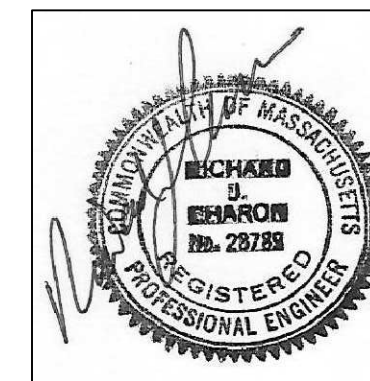


FOUNDATION SECTION
NOT TO SCALE

PLAN OF SITE, EXISTING CONDITIONS
& PROPOSED RENOVATIONS

PREPARED FOR
PAUL J. & FRANCESCA FEDERICO
10 LITTLENECK ROAD
FAIRHAVEN, MASS.

CAI *Charon Associates, Inc.*
Consulting Engineers
323 Neck Road - Rochester, MA 02770
Tel: 508-763-8362 Fax: 508-763-9582

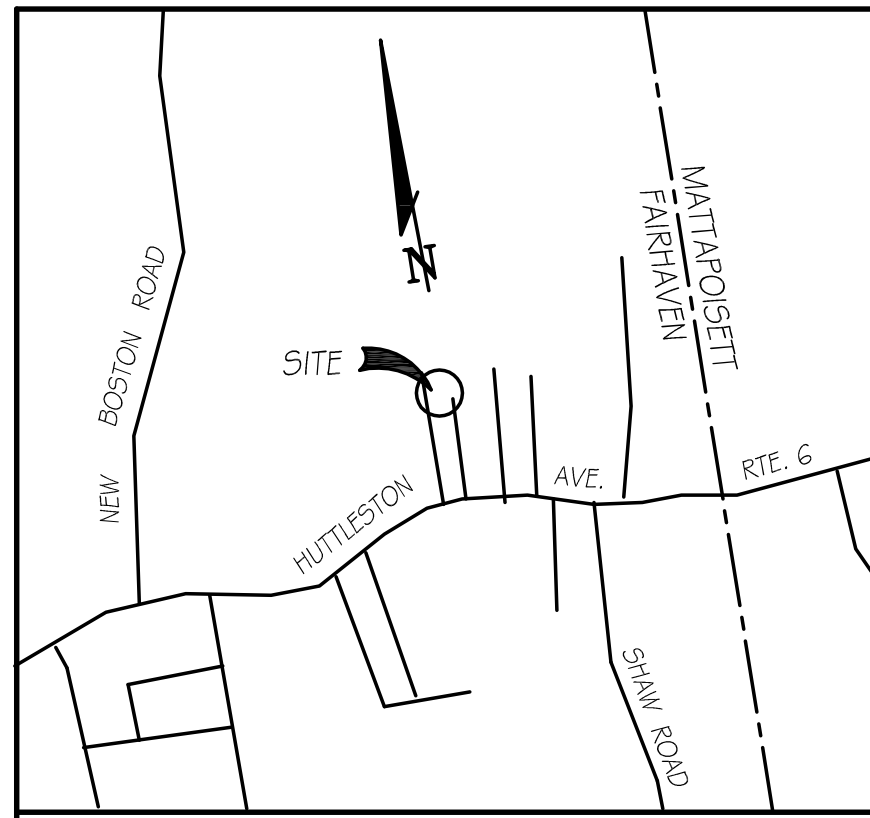


SCALE: AS NOTED
DATE: NOVEMBER 16, 2021

DWG. NO.
L-1

LEGEND:

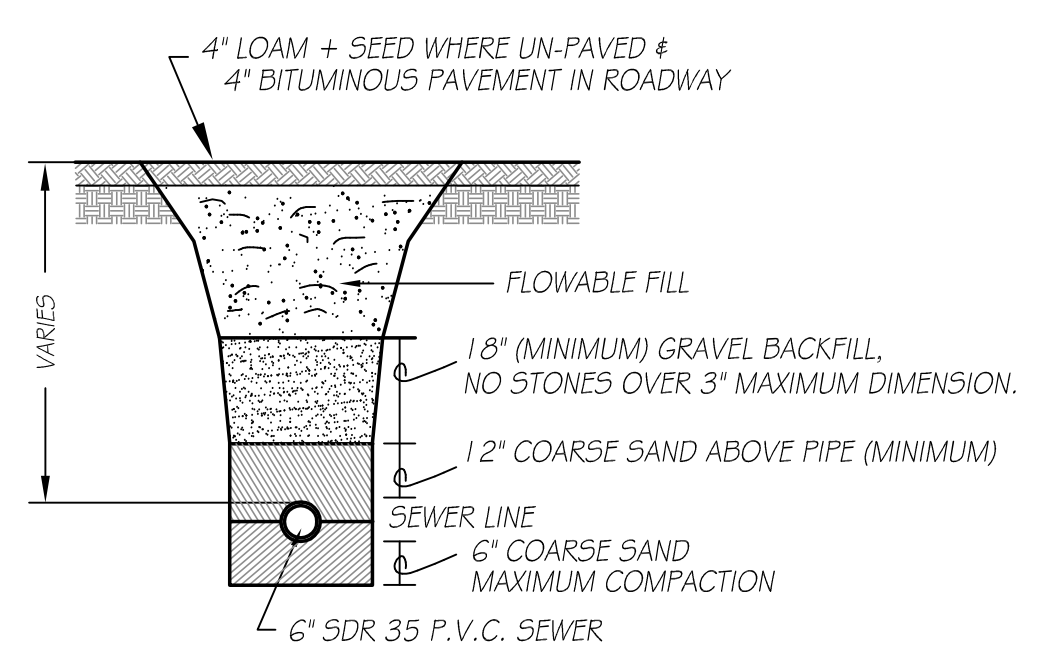
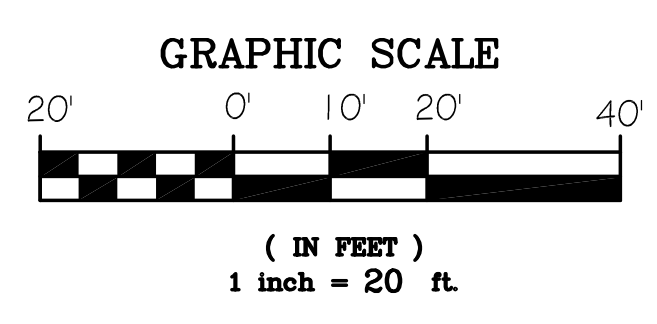
- EXISTING CONTOURS:
- PROPOSED CONTOURS:
- EDGE OF WETLANDS:
- LIMIT OF BUFFER ZONE:
- LIMITS OF F.E.M.A. ZONES:
- SPOT ELEVATIONS: 53.9
- TEST PIT LOCATION:
- SEPTIC TANK:
- DELIMITATION FLAG: #6



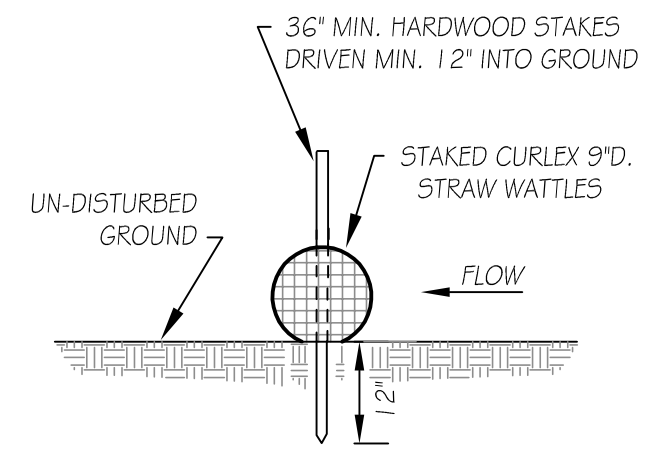
LOCUS PLAN
1 INCH = 2000 FT. ±



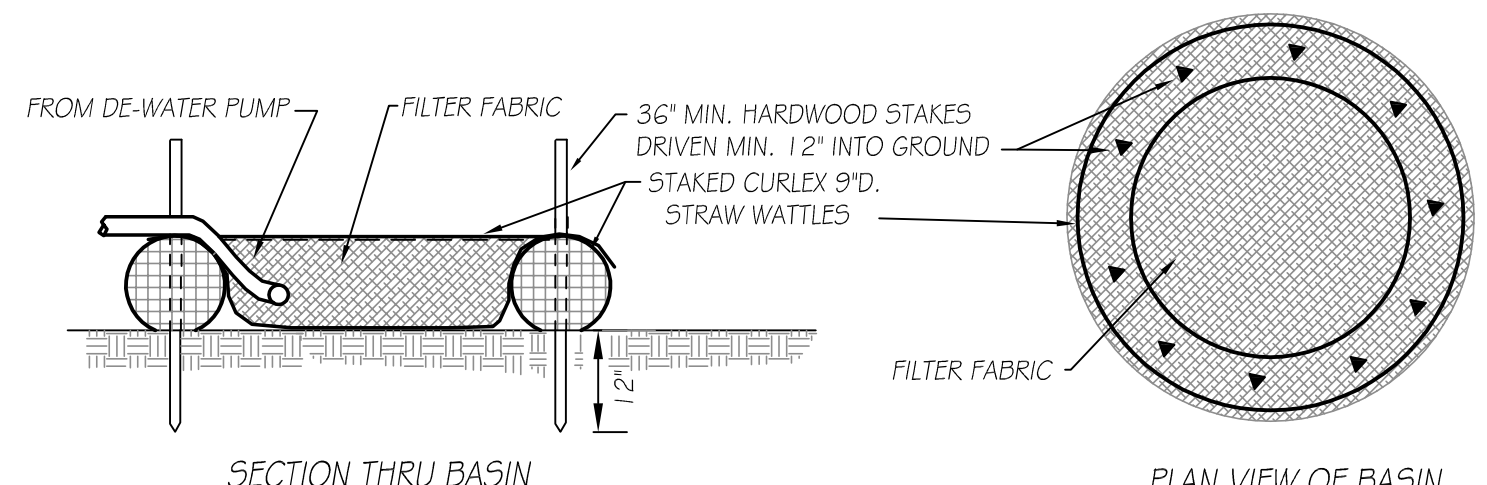
SITE PLAN
SCALE: 1" = 20 FT.



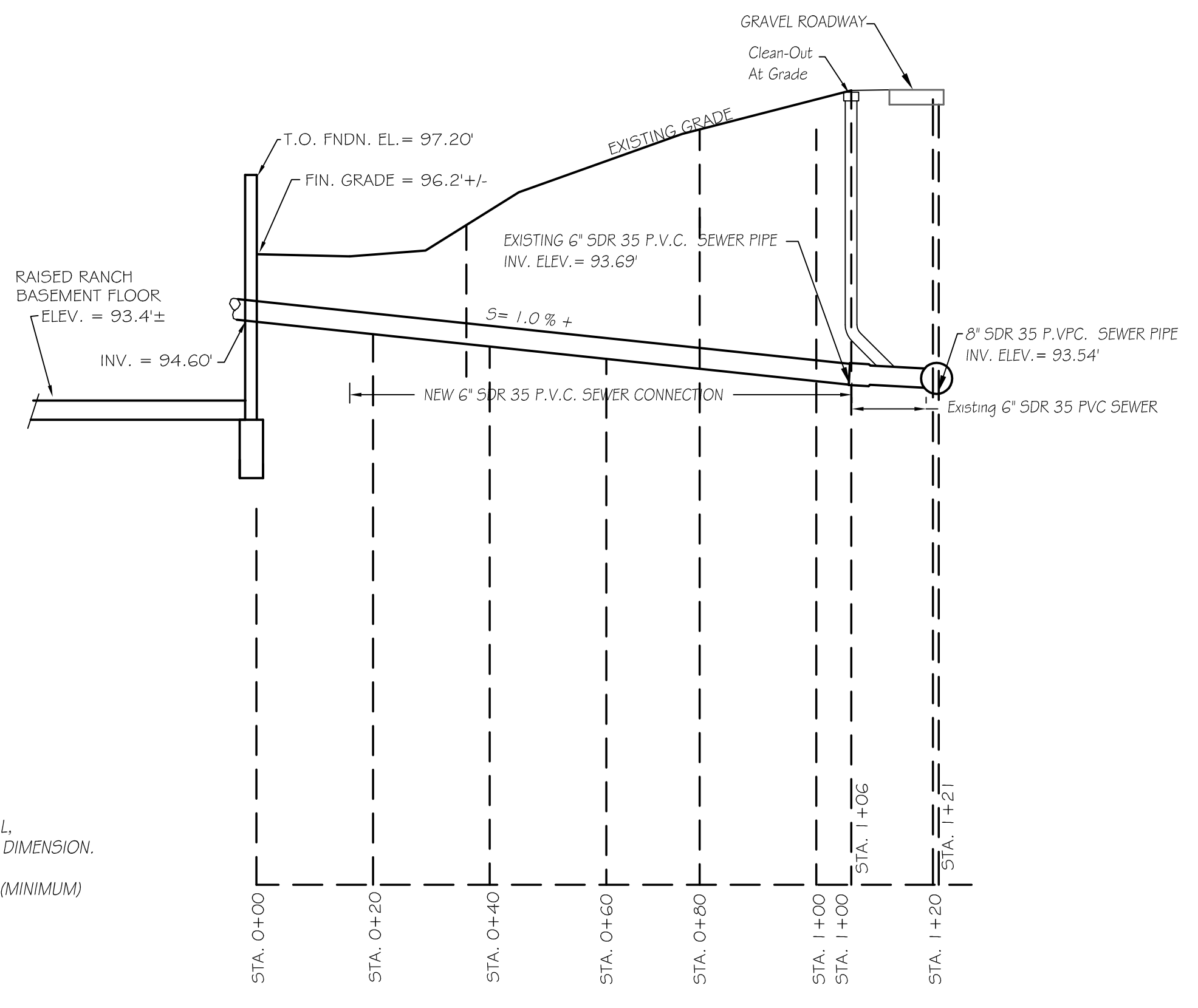
TRENCH PIPE BEDDING DETAIL
NOT TO SCALE



SILTATION BARRIER DETAIL
N.T.S.



DE-WATERING SILT TRAP
NOT TO SCALE



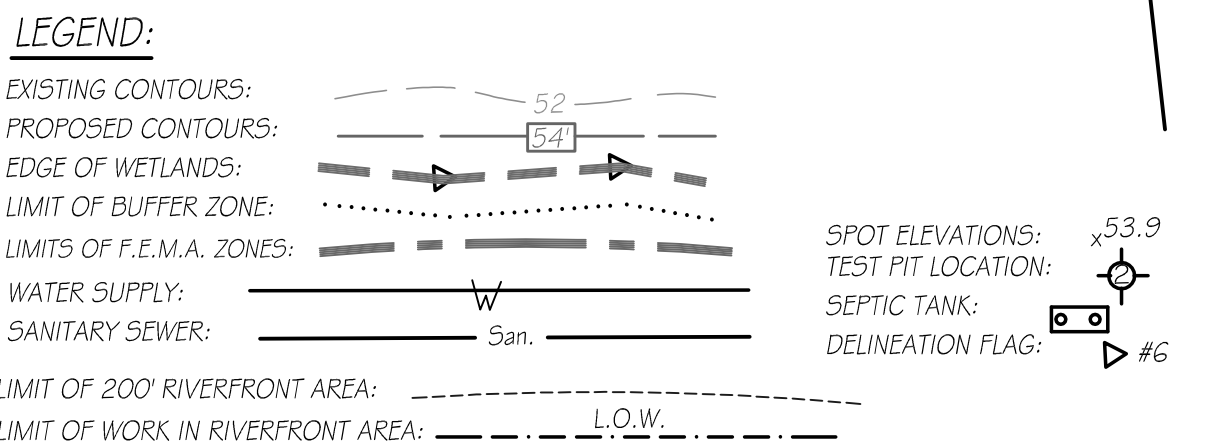
SEWER PROFILE
HORIZONTAL: 1" = 20 FT.
VERTICAL: 1" = 2 FEET

SPECIFICATIONS:

- SEWER PIPE SHALL BE S.D.R. 35 P.V.C. PIPE WITH GASKETED JOINTS, LAID TRUE TO GRADE. PIPE SHALL BE BEDDED IN COMPACTED SAND AS SHOWN ON PIPE BEDDING DETAIL. PIPE SHALL BE INSPECTED IN PLACE BY THE ENGINEER AND THE FAIRHAVEN B.P.W. REPRESENTATIVE PRIOR TO FINAL COVER.

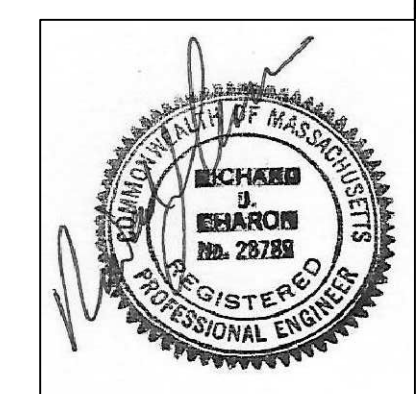
GENERAL NOTES:

- NOTE 'A': THE SUBJECT PARCEL IS SHOWN AS LOT 15 OF ASSESSORS MAP 30B, COMPRISED OF LOTS 15 THRU 20.
 NOTE 'B': ZONING IS RESIDENCE A WITH MINIMUM FRONTAGE = 100 FT. & LOT AREA = 15,000 S.F. SETBACKS ARE: FRONT = 20 FT.; SIDE = 10 FT. & REAR = 30 FT. MAX. BUILDING COVERAGE = 30%; MAX. LOT COVERAGE = 50% PROPOSED BUILDING COVERAGE = 1,776 S.F. / 13,286 S.F. = 13.4% PROPOSED LOT COVERAGE = (1,776 S.F. + 626 S.F.) / 13,286 S.F. = 18.1% PROPOSED HOUSE SETBACKS REQUIRE APPROVAL FROM THE ZONING BOARD OF APPEALS.
 NOTE 'C': THE DWELLING SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DELINEATED ON F.E.M.A. COMMUNITY PANEL NO. 25005C0413G DATED JULY 6, 2021.
 NOTE 'D': NOTIFY DIG-SAFE CENTER, LOCAL UTILITIES AND FAIRHAVEN B.P.W. 72 HOURS PRIOR TO START OF WORK!
 NOTE 'E': WETLANDS DELINEATION (FLAGS #1 - 9) WAS PERFORMED BY SABATIA, INC.; REVISED FLAGS #1A - 3A WERE SET BY CONSERVATION AGENT AT 1/11/21 SITE INSPECTION.
 NOTE 'F': NO WORK IS PROPOSED WITHIN 100 FT. OF THE PERENNIAL STREAM.

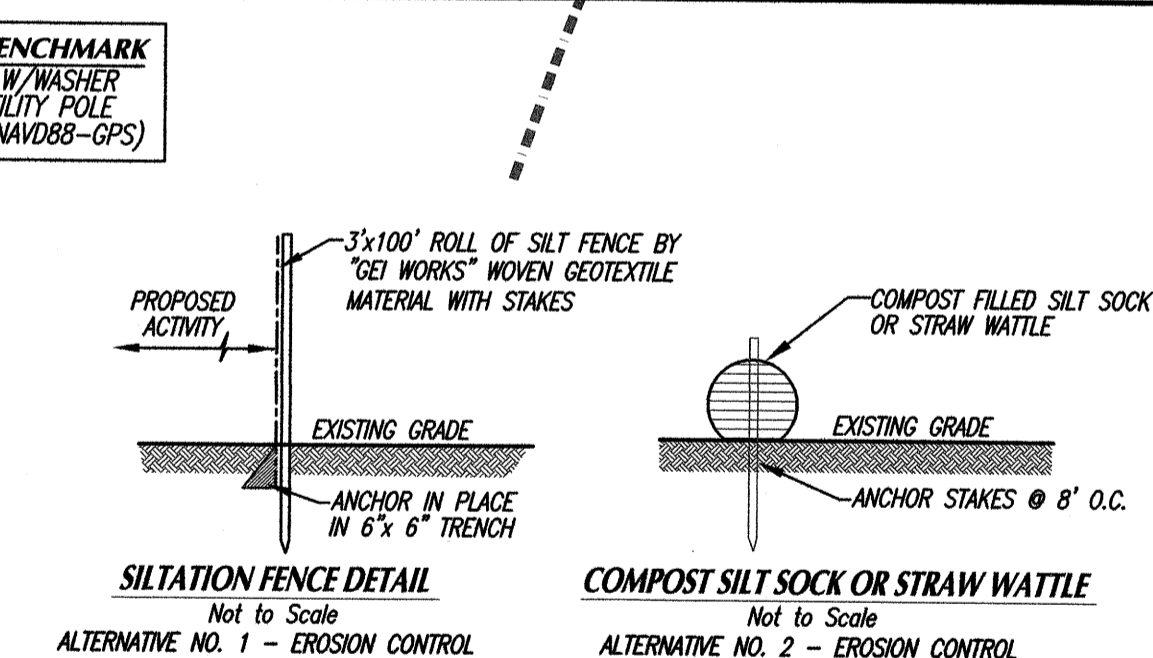
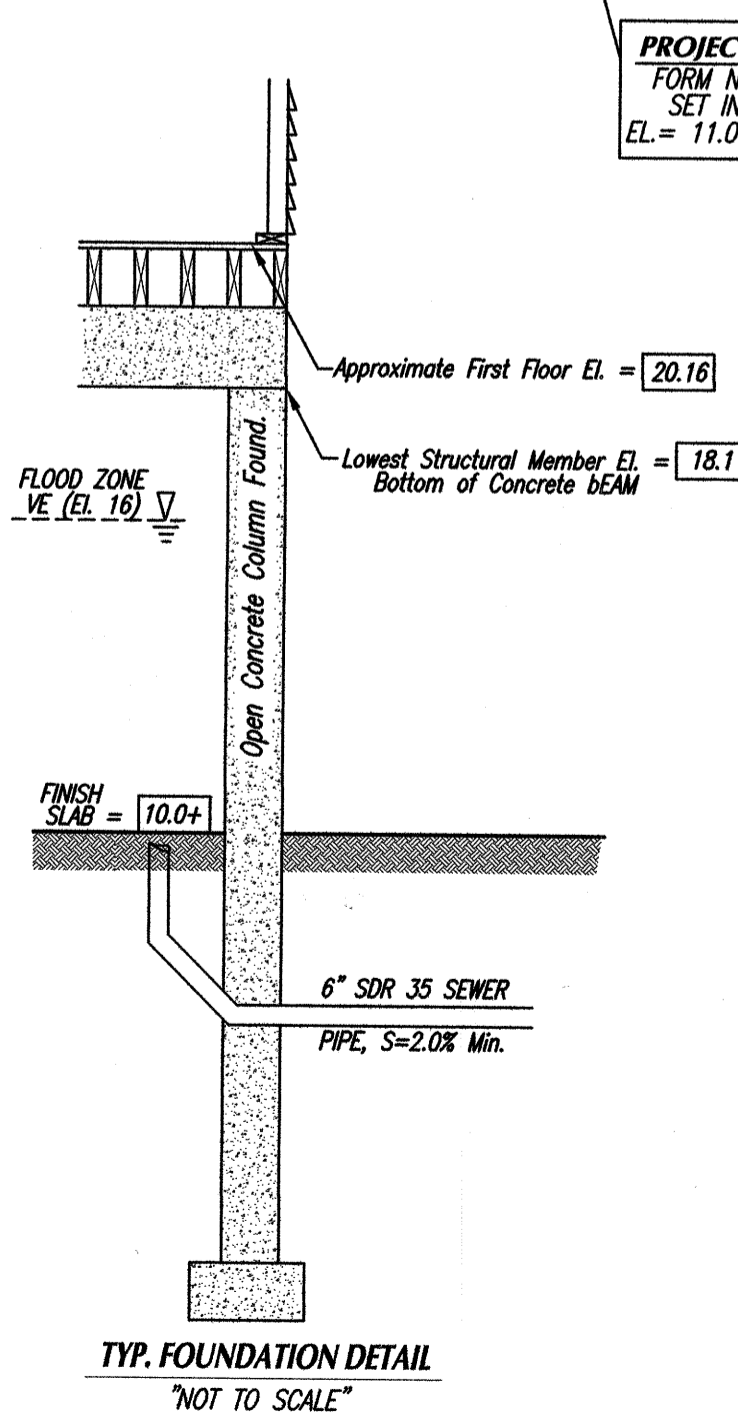
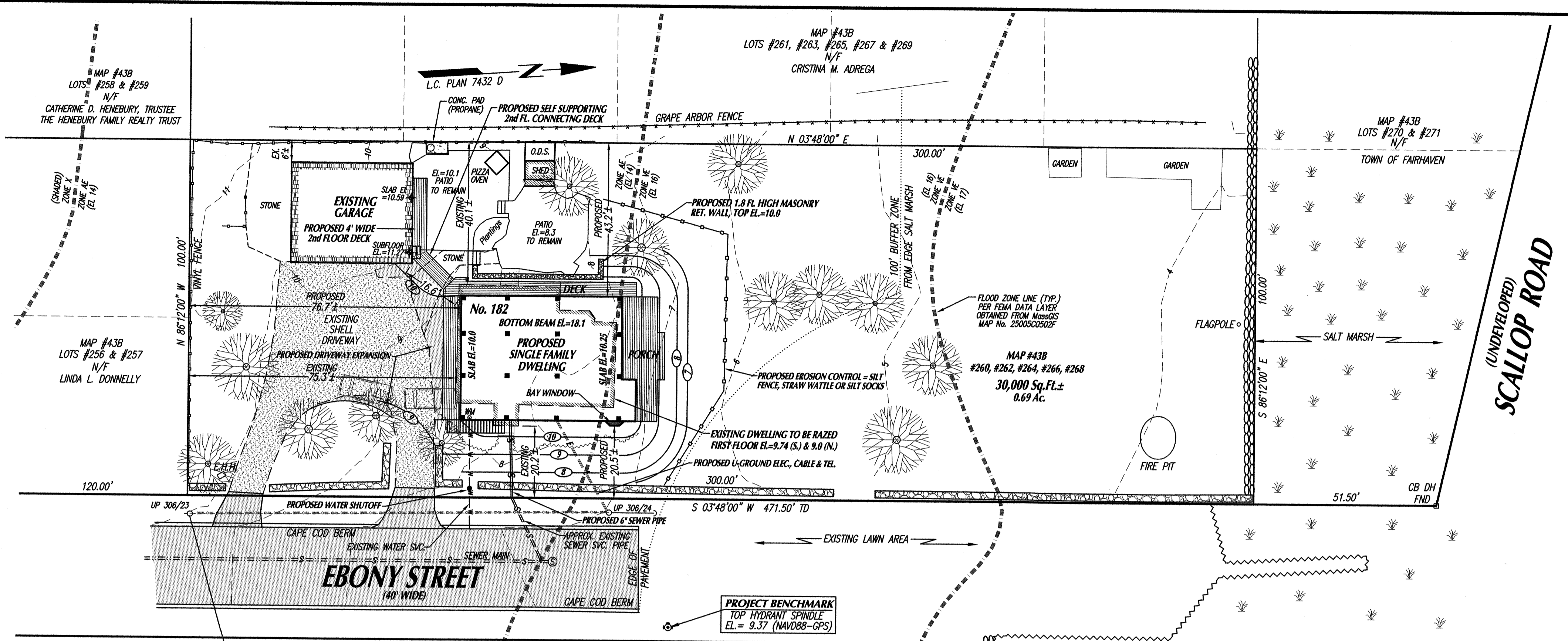


PLAN OF SITE, PROPOSED HOUSE & SEWER CONNECTION
 PREPARED FOR
DANIEL POUNDS
 89 AKIN STREET
 FAIRHAVEN, MASS.

CAI Charon Associates, Inc.
 Consulting Engineers
 323 Neck Road - Rochester, MA 02770
 Tel: 508-763-8362 Fax: 508-763-9582



SCALE: AS NOTED
 DATE: NOVEMBER 22, 2021
 DWG. NO. L-1



PROJECT BENCHMARK
TOP HYDRANT SPINDLE
EL. = 9.37 (NAVD88-GPS)

PROJECT BENCHMARK
FORM NAIL W/ WASHER
SET IN UTILITY POLE
EL. = 11.05 (NAVD88-GPS)

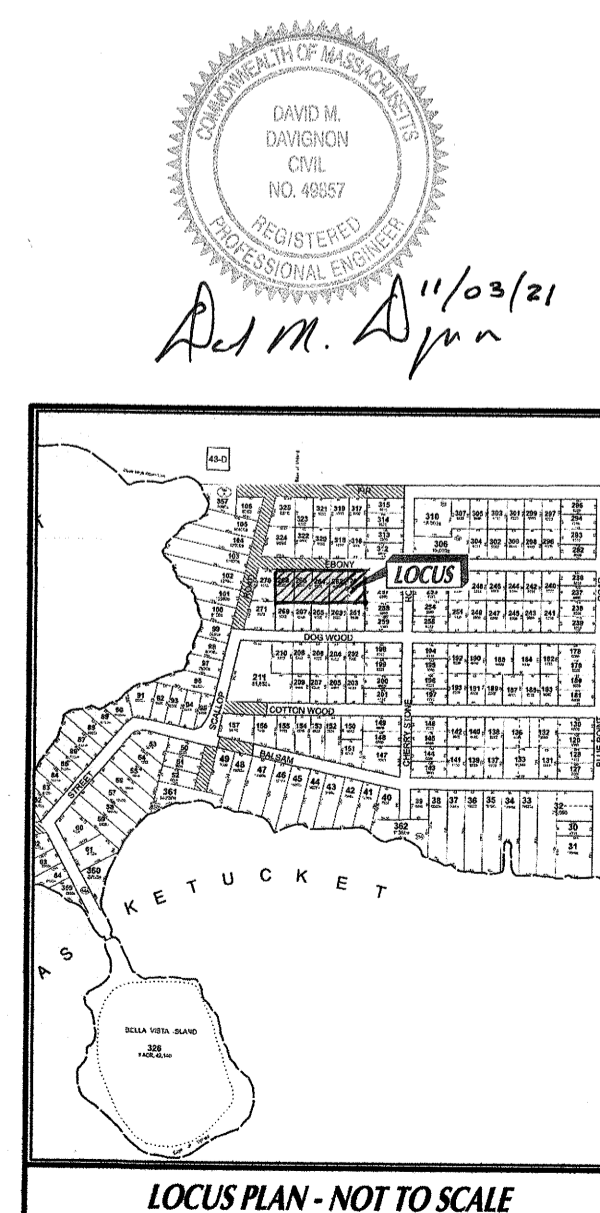
- LEGEND**
- PROPOSED CONTOURS
 - EXISTING CONTOURS
 - FLOOD ZONE LINE
 - BUILDING SETBACK LINE
 - WATER LINES
 - EXISTING WATER SVC.
 - EXISTING OVERHEAD WIRES
 - EXISTING EDGE OF BRUSH

SITE INFORMATION:

ASSESSORS MAP: 43B
 ASSESSORS LOTS: 260, 262, 264, 266, 268
 ZONING DISTRICT: RURAL RESIDENCE
 CURRENT BUILDING SETBACKS:
 FRONT: 30'
 REAR: 30' SIDE: 20'
 MINIMUM LOT AREA: 30,000 Sq.Ft.
 MIN. CONTIGUOUS UPLAND: 24,000 Sq.Ft.
 MINIMUM FRONTAGE: 140'
 FEMA FLOOD ZONE: AE ELEV: 14.0
 F.I.R.M. PANEL NO. 2500SC0502F

MAXIMUM ALLOWABLE BUILDING COVERAGE: 15.0%
 EXISTING BUILDING COVERAGE: 8.0%
 PROPOSED BUILDING COVERAGE: 8.9% <15%
 MAXIMUM ALLOWABLE LOT COVERAGE: 25.0%
 EXISTING LOT COVERAGE: 12.0%
 PROPOSED LOT COVERAGE: 12.8% <25%

OWNER/APPLICANT:
 ENRICO G. & LINDA M. PICOZZA
 45 GLEN ROAD
 HOPKINTON, MA 01748
 LAND COURT CERT. NO. 20278



1	Rev. #	DATE	BY	DESCRIPTION

SITE PLAN
FOR PROPERTY LOCATED
as 182 EBONY STREET in
FAIRHAVEN, MA
PREPARED FOR
ENRICO G. & LINDA M. PICOZZA

SCALE: 1"=20'
0 10 20 40 60

DATE: NOVEMBER 3, 2021

SCHNEIDER, DAVIGNON & LEONE, INC.
PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS
1 COUNTY RD, P.O. BOX 480, MATTAPOISETT, MA 02739
1-508-758-7866

Drawn By: D.M.D. Check By: D.M.D. Job No. 2092

DAVID M. DAVIGNON
CIVIL
NO. 49857
REGISTERED
PROFESSIONAL ENGINEER

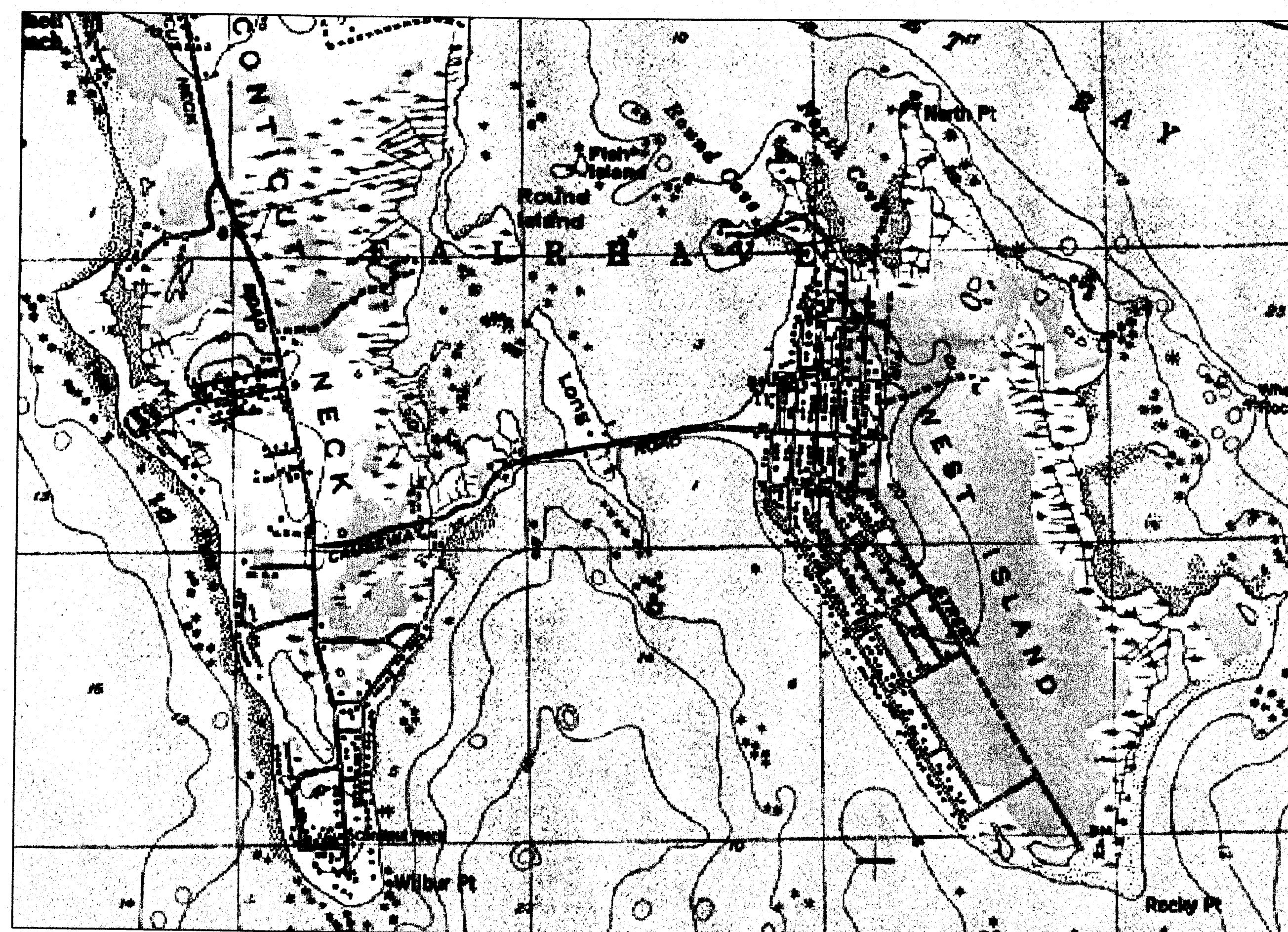
Ad M. Picozza 11/03/21

- FOUNDATION CONSTRUCTIONS NOTES:**
- THE PROPOSED DWELLING IS LOCATED IN FLOOD ZONE VE (Elevation 16- N.A.V.D. Datum of 1988).
 - THE LOWEST STRUCTURAL MEMBER SHALL BE SET AT OR ABOVE ELEVATION 18.1 (N.A.V.D.).
 - THE PROPOSED FINISH CONCRETE SLAB UNDER DWELLING IS PROPOSED TO BE ELEVATION 10.0+.
 - THE PROPOSED FOUNDATION SHALL BE AN OPEN COLUMN COLUMN FOUNDATION DESIGN
 - THE FOUNDATION SHALL BE DESIGNED BY A STRUCTURAL ENGINEER IN COMPLIANCE WITH THE MASS. BUILDING CODE AND F.E.M.A. REQUIREMENTS.
 - THE NUMBER AND LOCATION OF COLUMNS SHOWN ARE CONCEPTUAL ONLY AND MAY BE ADJUSTED BY THE STRUCTURAL ENGINEER DURING THE DESIGN PHASE.
 - ANY BREAKAWAY PANEL DESIGN SHALL BE PREPARED BY A STRUCTURAL ENGINEER.
- GENERAL NOTES:**
- 1) ALL ELEVATIONS SHOWN REFER TO NAVD DATUM OF 1988
 - 2) CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION THROUGH "DIG SAFE" AND OTHER APPROPRIATE AGENCIES, AND REPORT ANY DISCREPANCIES TO THIS OFFICE.
 - 3) CONTRACTOR SHALL NOTIFY THIS OFFICE OF ANY AND ALL DISCREPANCIES FOUND BETWEEN THE SITE CONDITIONS AND THOSE SHOWN ON THIS PLAN PRIOR TO CONTINUATION OF ANY WORK.
 - 4) ANY AND ALL CHANGES FROM THE SITE DESIGN LAYOUT SHOWN MUST BE APPROVED BY THIS OFFICE, AND OTHER APPROPRIATE LOCAL OFFICIALS.
 - 5) PRIOR TO BACKFILL, ALL WATER SERVICE PIPE AND CONNECTIONS SHALL BE INSPECTED BY THE TOWN OF FAIRHAVEN WATER DEPARTMENT.
 - 6) PRIOR TO BACKFILL, ALL SEWER SERVICE PIPE AND CONNECTIONS SHALL BE INSPECTED BY THE TOWN OF FAIRHAVEN SEWER DEPARTMENT.

PROPOSED DRAINAGE IMPROVEMENTS WEST ISLAND IN FAIRHAVEN, MASSACHUSETTS

GENERAL NOTES

1. Existing conditions information shown on these plans is from record drawings provided to Tibbetts Engineering Corp. by the Town of Fairhaven's Board of Public Works.
2. A limited existing conditions field survey was performed by Tibbetts Engineering Corp. between the dates of March 1, 2000 and May 15, 2000.
3. Information on and location of utilities shown hereon is based on field locations where visually observable on the surface. Location of underground utilities are referenced from record drawings provided by the Town of Fairhaven and is not intended to be a comprehensive description of existing utilities and is not warranted to be correct, nor is it warranted that all utilities are shown. Contractors are required by law to notify "Dig Safe" and call 1-888-344-7233 or the appropriate utility company or government agencies in writing prior to any excavation work. "Dig Safe" requires 72 hours notice by law, exclusive of weekends and holidays.
4. This set of plans was prepared for the purpose of providing drainage improvements at the referenced location for the exclusive use of the Town of Fairhaven Board of Public Works.
5. Tibbetts Engineering Corp. assumes no responsibility for the use of these plans for actual construction without the use of specifications for construction materials and methods as approved by Tibbetts Engineering Corp. and the Town of Fairhaven Board of Public Works and without a construction phase field observation and testing agreement suitable to the Town of Fairhaven Board of Public Works.
6. Elevations are based on (NGVD) Mean Sea Level datum of 1929. Bench marks are shown on this plan.
7. All construction shall conform to the Town of Fairhaven's Board of Public Works construction specifications.
8. All utilities shall be underground.
9. Storm drainage pipe shall be reinforced concrete, Class III, except where noted otherwise on the plans.
10. All areas disturbed by construction shall be loamed and seeded, and improved surfaces shall be restored to their original condition prior to construction.
11. An as-built set of plans shall be provided to the Fairhaven B.P.W. showing all roadwork and the location of the proposed drainage improvements.
12. The limits of the wetland resource areas are shown as depicted on mapping data from Mass GIS, the DEP Wetland Conservancy Program dated August 19, 2002. Additional small wetland areas are shown as flagged by the Buzzards Bay Project.

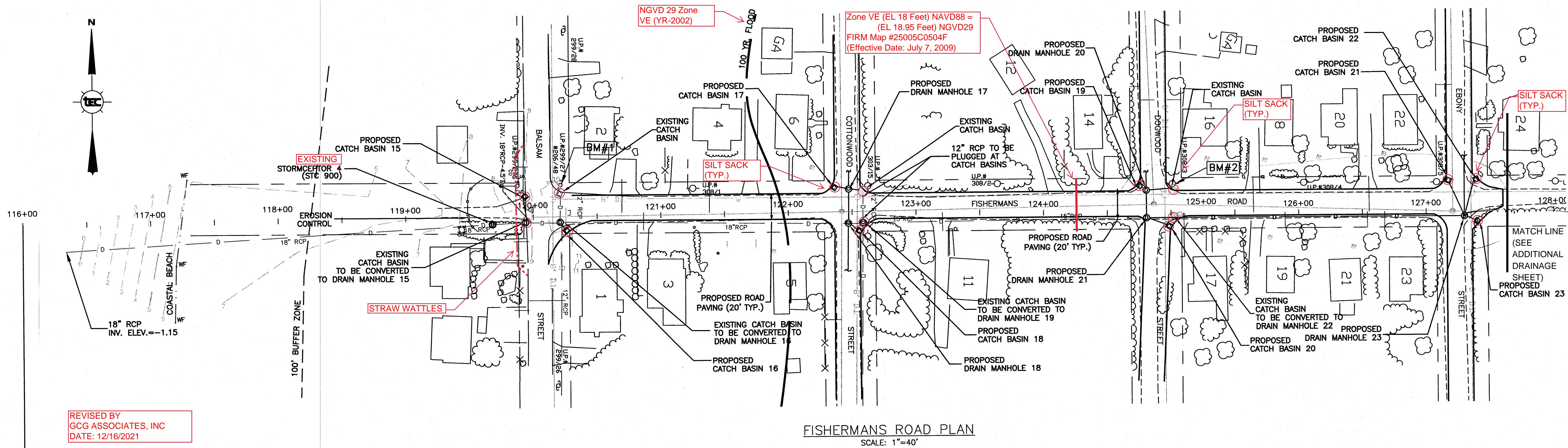
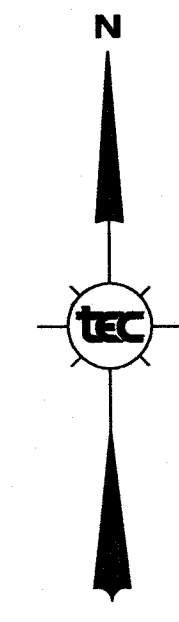


LOCATION MAP
SCALE 1:12,500

INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	KEY SHEET
3	CHERRYSTONE ROAD
4	BLUE POINT ROAD
5	LITTLENECK ROAD
6	FISHERMAN'S ROAD
7	GULL ISLAND ROAD
8	EBONY STREET 1
9	EBONY STREET 2
10	DOGWOOD STREET 1
11	DOGWOOD STREET 2
12	DOGWOOD STREET 3
13	COTTONWOOD STREET 1
14	COTTONWOOD STREET 2
15	DETAIL SHEET

Project CAD File Name: 10745.tldwg
 Project Directory: F:\Land Projects\10745\dwg
 Plot Date: 04/24/02
 Plot Time: 12:53:16



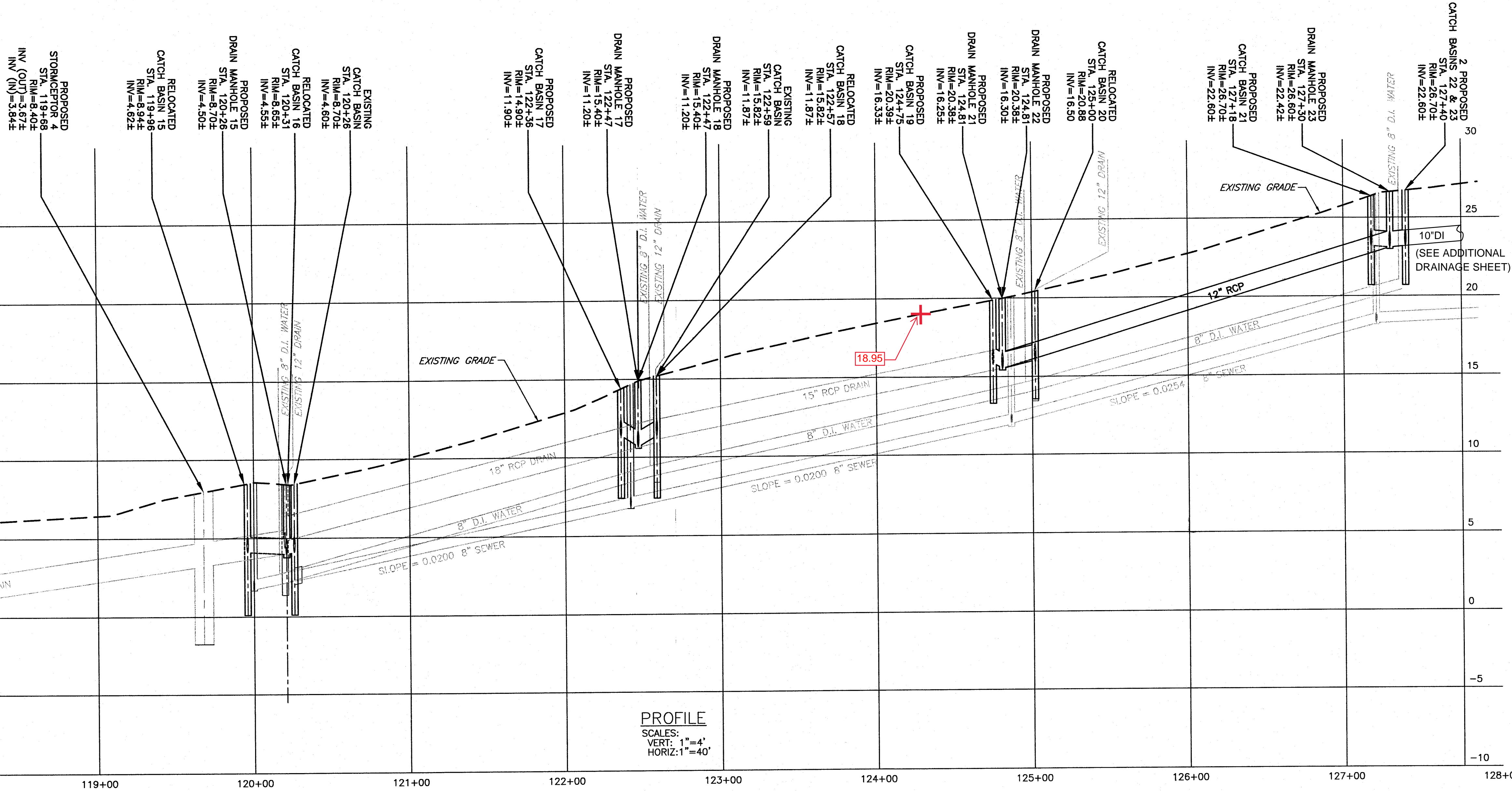
FISHERMANS ROAD PLAN
 SCALE: 1"=40'

REVISED BY
 GCG ASSOCIATES, INC
 DATE: 12/16/2021



12/16/2021

VERTICAL DATUM
 NGVD 1929
 (SEE COVER
 SHEET NOTE #6)

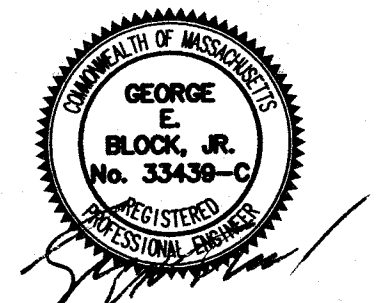


PROFILE
 SCALES:
 VERT: 1"=4'
 HORIZ: 1"=40'

BENCHMARK #1
 SPIKE 1" UP IN UTILITY POLE #206/48
 AT INTERSECTION OF DOGWOOD STREET
 AND FISHERMAN ROAD
 ELEV = 11.12

BENCHMARK #2
 SPIKE 1" UP IN UTILITY POLE #308/3
 AT INTERSECTION OF BALSAM STREET
 AND FISHERMAN ROAD
 ELEV = 22.01

Rev.	Date	Description	By
1	12/28/02	Per DPW Review	RJR



Project Location
**Fishermans Road
 Fairhaven, MA
 (Bristol County)**

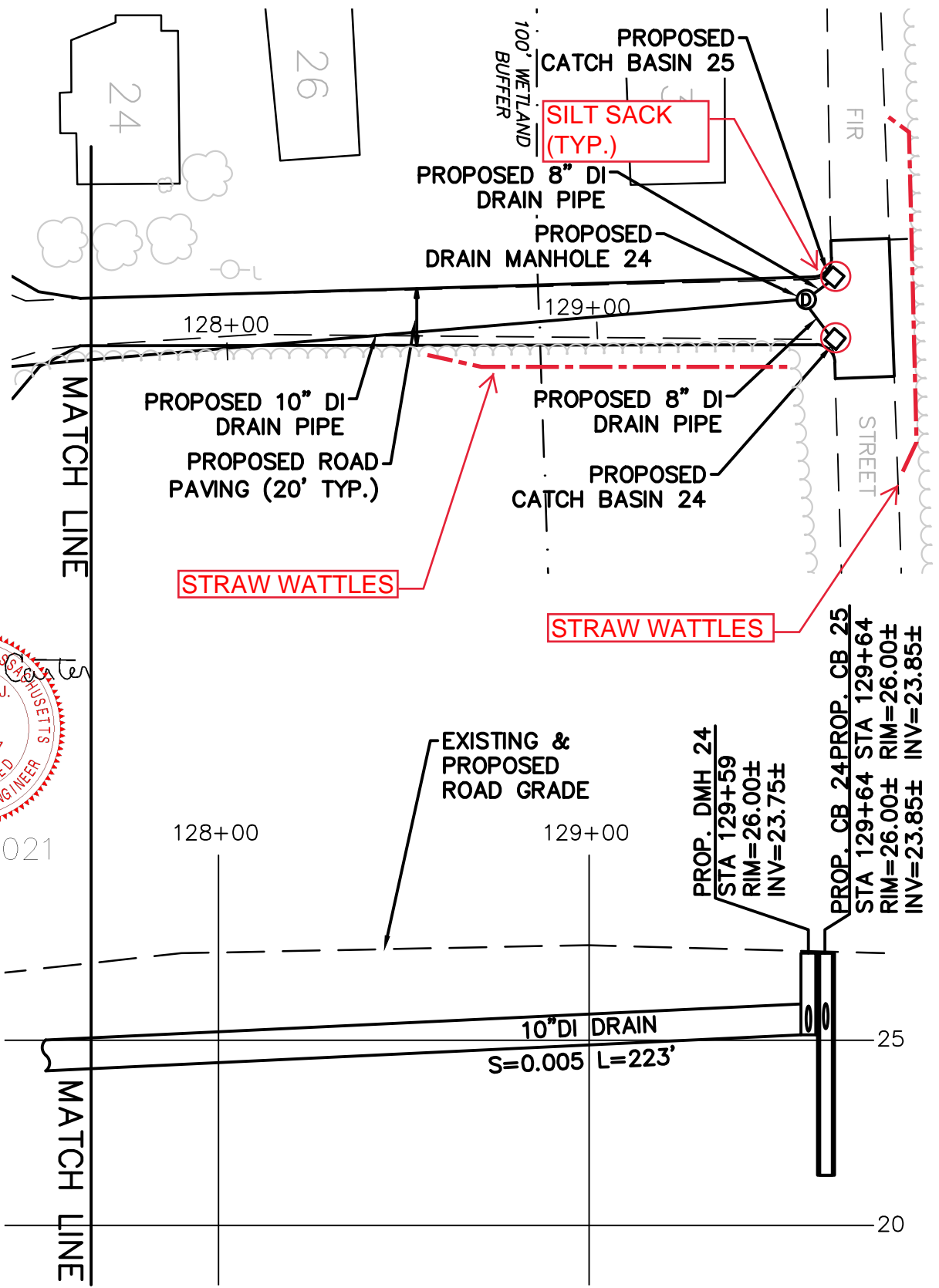
Prepared For
**Town Of
 Fairhaven**

Drawing Title
**Plan &
 Profile**

COPYRIGHT © 2002 TIBBETTS ENGINEERING CORP
 NO PART OF THIS DRAWING MAY BE REPRODUCED,
 TRANSMITTED, OR STORED BY ANY MEANS, WHAT-
 SOEVER, WITHOUT THE EXPRESSED WRITTEN
 CONSENT OF TIBBETTS ENGINEERING CORP. WITH
 THE EXCEPTION OF ANY REGULATORY AUTHORITY
 WHICH MAY REPRODUCE IT IN CONJUNCTION WITH
 THE PERFORMANCE OF OFFICIAL BUSINESS UNDER
 ITS JURISDICTION.

Drawn by:	RCD	Drawing Number
Design by:	RJR	6 of 15
Reviewed by:	RJR	
Approved by:	GEB	Date:
Project No:	10745.010	05-01-2002

P:\Land Projects\10745\10745.dwg 1/7/2003 2:41:48 PM EST



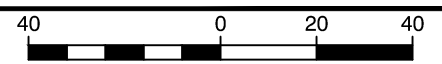
12/16/2021

GCG ASSOCIATES, INC.
 84 MAIN STREET
 WILMINGTON,
 MASSACHUSETTS
 (978) 657-9714

**Plan & Profile
 Additional Drainage**

Fishermans Road
 Fairhaven, MA

Plan Ref.



Scale: 1" = 40' SCALE IN FEET

Date: 12/10/2021

Rev: 12/16/2021

