

LEGEND:

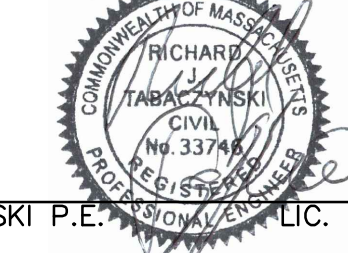
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF DIRT ROAD/PATH
	EXISTING CHAIN LINK FENCE
	EXISTING WOOD POST FENCE W/WIRE
	EXISTING OVERHEAD WIRES
	EXISTING 1 FOOT CONTOUR LINE
	EXISTING 5 FOOT CONTOUR LINE
	EXISTING TREE LINE
	EXISTING STONE WALL
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	SURVEY MONUMENTS
	MASS. HIGHWAY BOUND W/LEAD PLUG FOUND
	STONE BOUND W/DRILL HOLE FOUND
	CONCRETE BOUND W/DRILL HOLE FOUND
	TEST PIT LOCATION
	EDGE OF BORDERING VEGETATED WETLANDS W/FLAG
	PERENNIAL STREAM MEAN ANNUAL HIGH WATER (MAHW) W/FLAG
	LEDGE/ROCK OUT-CROPS
	UNDERGROUND WIRE
	UTILITY POLE
	GRASSED SWALE
	EDGE OF DIRT

- GENERAL NOTES:**
- OWNER OF RECORD(S): ANTONE JR. & CAROL A. DETERRA "TRUSTEES OF THE ANTONE JR. & CAROL A. DETERRA REVOCABLE TRUST" 279 & 287 MILL ROAD FAIRHAVEN, MASSACHUSETTS 02719 BOOK 7341 PAGE 61
 - THE SUBJECT PROPERTY IS SHOWN AS LOTS 5 AND 6 ON MAP 38 AND LOT 32 ON MAP 39 LOCATED ON THE TOWN OF FAIRHAVEN ASSESSOR MAPS. TOTAL LAND AREA IS APPROXIMATELY ±49.6 ACRES.
 - THE PROPERTY LIES WITHIN THE RURAL RESIDENTIAL (RR) DISTRICT BASED UPON A REVIEW OF THE TOWN OF FAIRHAVEN ZONING MAP AND PROPERTY CARD.
 - THE PROPERTY LINES SHOWN HEREON, ARE COMPILED FROM PLANS AND DEEDS OF RECORD, THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM, FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS, INC. IN FEBRUARY AND MARCH OF 2017 AND ARE BASED UPON THE NORTH AMERICAN DATUM OF 1983 (NAD83) AND ARE NOT ENTIRELY BASED UPON A BOUNDARY SURVEY BY ATLANTIC DESIGN ENGINEERS, INC.
 - EXISTING CONDITIONS DEPICTED HEREON ARE BASED UPON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM, THE FAIRHAVEN GEOGRAPHIC INFORMATION SYSTEM AND INFORMATION OBTAINED FROM PUBLIC RECORD AND SUPPLEMENTED WITH FIELD SURVEYS BY ATLANTIC DESIGN ENGINEERS, INC. IN FEBRUARY AND MARCH OF 2017. ELEVATIONS SHOWN ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - EXISTING CONDITIONS WITHIN THE LIMIT OF THE SOLAR AREA DEPICTED HEREON ARE FROM A FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS, INC. IN APRIL, JUNE, AND JULY OF 2021.
 - THE PROPERTY LIES WITHIN FLOOD ZONE X, BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 25005C0392F & 25005C0411F, DATED JULY 7, 2009.
 - THE ON-SITE WETLAND RESOURCE AREAS AND MEAN ANNUAL HIGH WATER (MAHW) SHOWN WERE FLAGGED BY GODDARD CONSULTING, LLC IN FEBRUARY OF 2017 AND FIELD LOCATED BY ATLANTIC DESIGN ENGINEERS, INC. IN FEBRUARY OF 2017. THE OFF-SITE WETLAND RESOURCE AREAS SHOWN HEREON ARE BASED UPON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
 - THE PROPERTY IS NOT LOCATED WITHIN A ZONE II BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
 - THE PROPERTY IS NOT LOCATED WITHIN AN ESTIMATED AND HABITAT OF RARE WILDLIFE AND A PRIORITY HABITAT OF RARE SPECIES BASED UPON A REVIEW OF THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM MAPS OBSERVED ON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
 - THE PROPERTY DOES NOT LIE WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC) BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
 - THE PROPERTY LIES WITHIN NASKETUCKET RIVER BASIN ZONING MAP (NRB) BASED UPON A REVIEW OF THE TOWN OF FAIRHAVEN ZONING MAP REVISED FEBRUARY 12, 2014.

INTERSTATE 195
(PUBLIC - VARIABLE WIDTH)

INTERSTATE 195
(PUBLIC - VARIABLE WIDTH)

I CERTIFY THAT THIS PLAN DEPICTS THE SOLAR AREA AS BUILT CONDITIONS AS THEY EXIST AS OF JULY, 2021.



RICHARD J. TABACZYNSKI P.E. LICENSE # 33746

Atlantic DESIGN ENGINEERS, INC.
P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

Designed by :	
Drawn by :	
Checked by :	
Survey chk. by :	
Approved by :	

SCALE	
SCALE 1" = 100'	
DATE	
NO.	1
BY	JCE
DATE	12/23/21
REVISION	ADDED WETLAND CROSSING DETAILS

PREPARED FOR:
SIGNAL ENERGY DG
1095 MORRIS AVENUE, SUITE 102
UNION, NEW JERSEY 07083

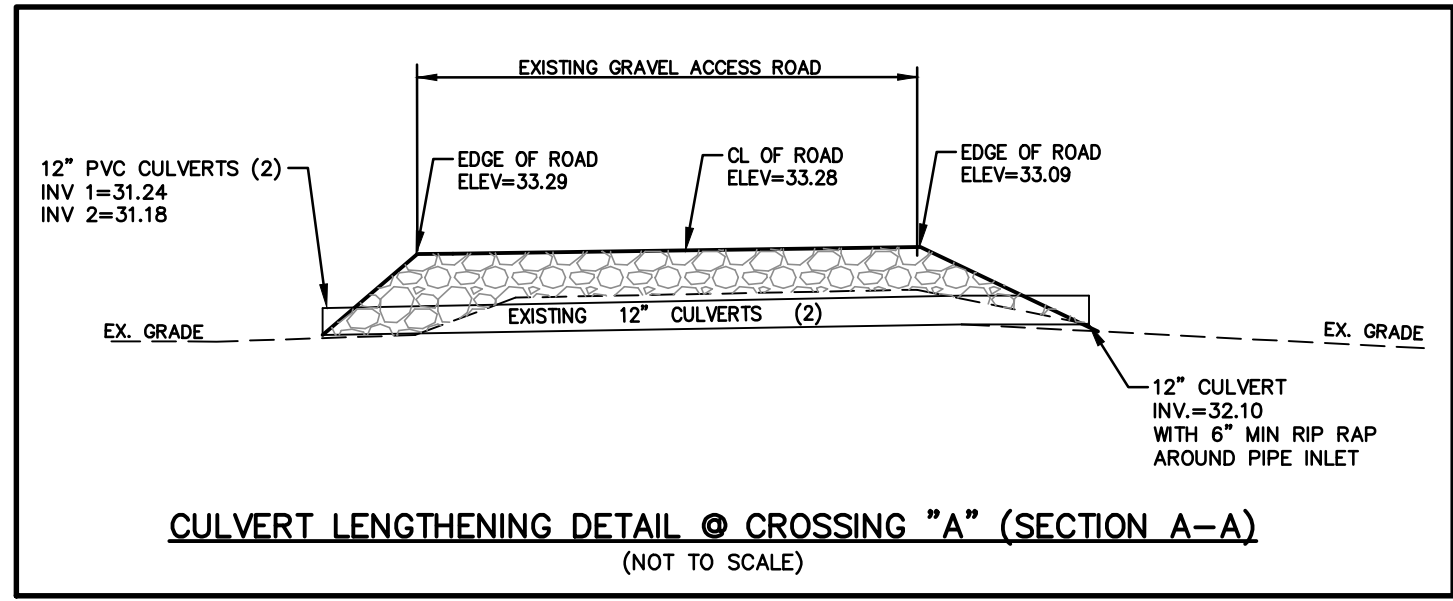
SOLAR SITE ASBUILT
FOR
279 MILL ROAD SOLAR PROJECT
FAIRHAVEN, MASSACHUSETTS
NOVEMBER 2, 2021

Sheet	of
1	3
JOB NUMBER	
2893.06	

FILE: 2893.02-ASBUILT2

LEGEND:

---	EXISTING EDGE OF PAVEMENT
- - -	EXISTING EDGE OF DIRT ROAD/PATH
X	EXISTING CHAIN LINK FENCE
□	EXISTING WOOD POST FENCE W/WIRE
---	EXISTING OVERHEAD WIRES
- - -	EXISTING 1 FOOT CONTOUR LINE
- - -	EXISTING 5 FOOT CONTOUR LINE
~ ~ ~	EXISTING TREE LINE
⊖	EXISTING STONE WALL
⊕	EXISTING UTILITY POLE
⊙	EXISTING GUY WIRE
□	SURVEY MONUMENTS
MHB/LP/FND	MASS. HIGHWAY BOUND W/LEAD PLUG FOUND
SB/DH/FND	STONE BOUND W/DRILL HOLE FOUND
CB/DH/FND	CONCRETE BOUND W/DRILL HOLE FOUND
⊕	TEST PIT LOCATION
△	EDGE OF BORDERING VEGETATED WETLANDS W/FLAG
MAHW14	PERENNIAL STREAM MEAN ANNUAL HIGH WATER (MAHW) W/FLAG
---	LEDGE/ROCK OUT-CROPS
U/G	UNDERGROUND WIRE
⊕	UTILITY POLE
---	GRASSED SWALE
EOD	EDGE OF DIRT



Atlantic DESIGN ENGINEERS, INC.
 P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

Designed by : _____
 Drawn by : _____
 Checked by : _____
 Survey chk. by : _____
 Approved by : _____

SCALE
 SCALE 1" = 60'

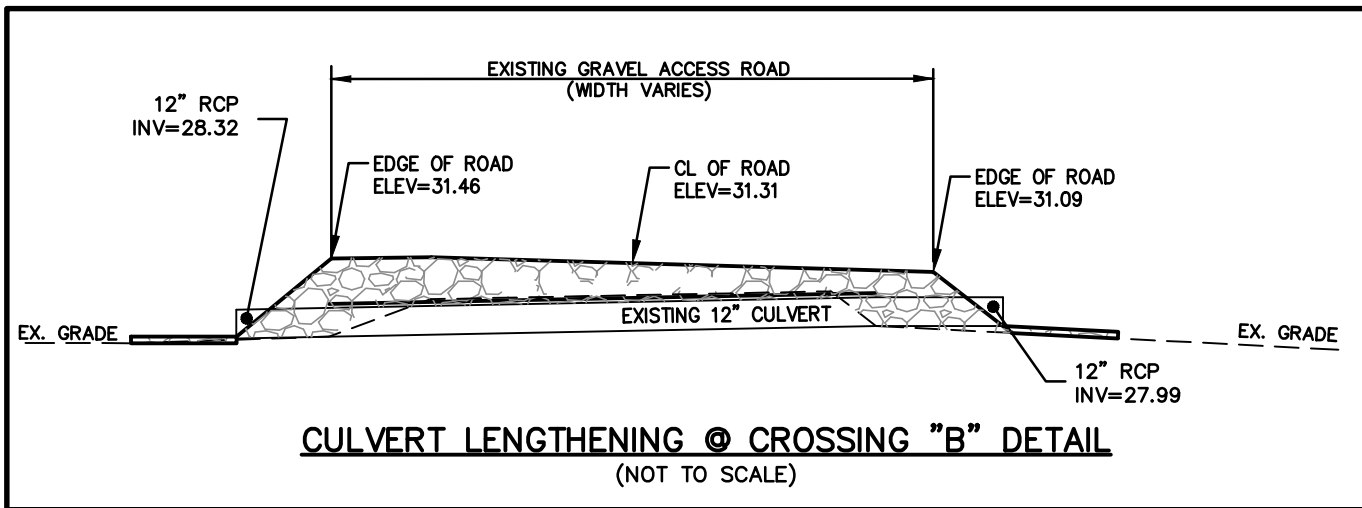
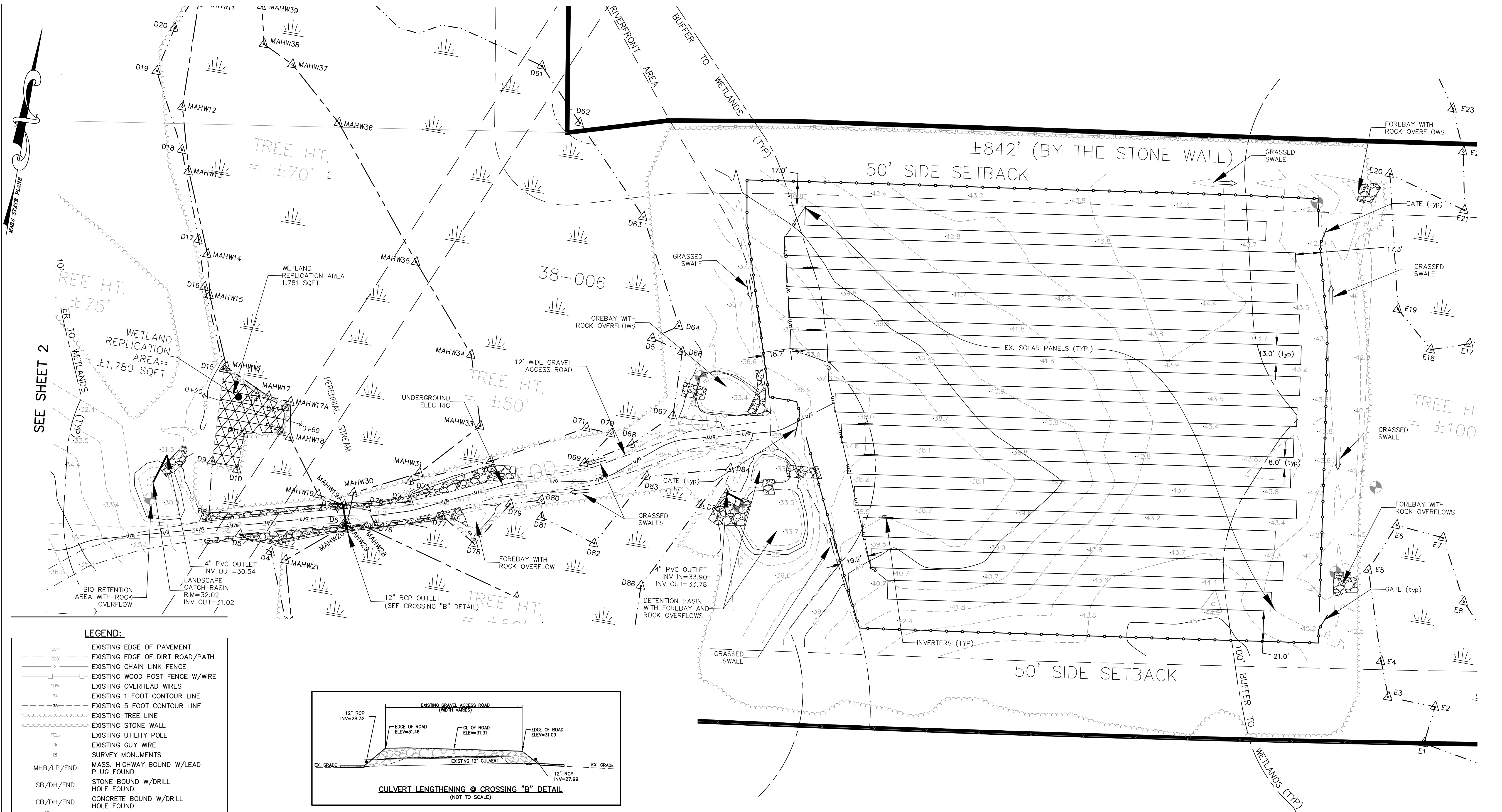
NO.	BY	DATE	REVISION
1	JCE	12/23/21	ADDED WETLAND CROSSING DETAILS

PREPARED FOR:
SIGNAL ENERGY DG
 1095 MORRIS AVENUE, SUITE 102
 UNION, NEW JERSEY 07083

SOLAR SITE ASBUILT
 FOR
279 MILL ROAD SOLAR PROJECT
 FAIRHAVEN, MASSACHUSETTS
 NOVEMBER 2, 2021

FILE: 2893.02-ASBUILT1

Sheet	of
2	3
JOB NUMBER	
2893.02	



LEGEND:

- TOP --- EXISTING EDGE OF PAVEMENT
- 000 --- EXISTING EDGE OF DIRT ROAD/PATH
- X --- EXISTING CHAIN LINK FENCE
- --- EXISTING WOOD POST FENCE W/WIRE
- OHW --- EXISTING OVERHEAD WIRES
- 34 --- EXISTING 1 FOOT CONTOUR LINE
- 35 --- EXISTING 5 FOOT CONTOUR LINE
- --- EXISTING TREE LINE
- --- EXISTING STONE WALL
- --- EXISTING UTILITY POLE
- --- EXISTING GUY WIRE
- --- SURVEY MONUMENTS
- MHB/LP/FND --- MASS. HIGHWAY BOUND W/LEAD PLUG FOUND
- SB/DH/FND --- STONE BOUND W/DRILL HOLE FOUND
- CB/DH/FND --- CONCRETE BOUND W/DRILL HOLE FOUND
- TP-1 --- TEST PIT LOCATION
- --- EDGE OF BORDERING VEGETATED WETLANDS W/FLAG
- MAHW14 --- PERENNIAL STREAM MEAN ANNUAL HIGH WATER (MAHW) W/FLAG
- MAHW15 --- PERENNIAL STREAM MEAN ANNUAL HIGH WATER (MAHW) W/FLAG
- --- LEDGE/ROCK OUT-CROPS
- u/w --- UNDERGROUND WIRE
- --- UTILITY POLE
- --- GRASSED SWALE
- --- EDGE OF DIRT

INTERSTATE 195



LEGEND	
---	EXISTING EDGE OF PAVEMENT
---	EXISTING EDGE OF DIRT ROAD/PATH
---	EXISTING CHAIN LINK FENCE
---	EXISTING WOOD POST FENCE W/WIRE
---	EXISTING OVERHEAD WIRES
---	EXISTING 1 FOOT CONTOUR LINE
---	EXISTING 5 FOOT CONTOUR LINE
---	EXISTING TREE LINE
---	EXISTING STONE WALL
---	EDGE OF BORDERING VEGETATED WETLANDS W/FLAG
---	EDGE OF BORDERING VEGETATED WETLANDS
---	ESTIMATED EDGE OF BORDERING VEGETATED WETLANDS
---	PERENNIAL STREAM MEAN ANNUAL HIGH WATER (MAHW) W/FLAG
---	100' BUFFER TO WETLANDS (TYP)
---	200' RIVERFRONT AREA (TYP)
---	EXISTING UTILITY POLE
---	EXISTING GUY WIRE
---	SURVEY MONUMENTS
---	MASS. HIGHWAY BOUND W/LEAD PLUG FOUND
---	STONE BOUND W/DRILL HOLE FOUND
---	CONCRETE BOUND W/DRILLHOLE FOUND
---	LOCUS PROPERTY LINE NOT BASED UPON A SURVEY
---	AS-BUILT TRELINE
---	UNDERGROUND WIRE
---	OVERHEAD WIRE
---	UTILITY POLE
---	GRASSED SWALE
---	EDGE OF DIRT

- GENERAL NOTES:**
- OWNER OF RECORD(S): ANTONIO S. & INEZ M. LOPES
C/O BRIAN LOPES
20 YANKEE LANE
FAIRHAVEN, MA 02719
BOOK 1706 PAGE 1055
 - THE SUBJECT PROPERTY IS SHOWN AS LOT 16, 23 AND 30 ON THE TOWN OF FAIRHAVEN ASSESSOR MAP 39. TOTAL LAND AREA IS APPROXIMATELY ±59.9 ACRES.
 - THE PROPERTY LIES WITHIN THE RURAL RESIDENTIAL (RR) DISTRICT BASED UPON A REVIEW OF THE TOWN OF FAIRHAVEN ZONING MAP AND PROPERTY CARD.
 - THE PROPERTY LINES SHOWN HEREON, ARE COMPILED FROM PLANS AND DEEDS OF RECORD, THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM, PARTIAL FIELD SURVEYS BY ATLANTIC DESIGN ENGINEERS, INC. IN NOVEMBER AND DECEMBER OF 2017 AND JANUARY OF 2018 AND ARE BASED UPON THE NORTH AMERICAN DATUM OF 1983 (NAD83) AND ARE NOT ENTIRELY BASED UPON A BOUNDARY SURVEY BY ATLANTIC DESIGN ENGINEERS, INC.
 - EXISTING CONDITIONS DEPICTED HEREON ARE BASED UPON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM, THE FAIRHAVEN GEOGRAPHIC INFORMATION SYSTEM AND INFORMATION OBTAINED FROM PUBLIC RECORD AND SUPPLEMENTED WITH PARTIAL FIELD SURVEYS BY ATLANTIC DESIGN ENGINEERS, INC. IN NOVEMBER AND DECEMBER OF 2017, JANUARY OF 2018 AND DECEMBER OF 2020. ELEVATIONS SHOWN ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
 - EXISTING CONDITIONS WITHIN THE LIMIT OF THE SOLAR AREA DEPICTED HERON ARE FROM A FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS, INC. IN OCTOBER AND NOVEMBER OF 2021.
 - THE PROPERTY LIES WITHIN FLOOD ZONE X, BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 25005C0392F, DATED JULY 7, 2009.
 - THE ON-SITE WETLAND RESOURCE AREAS AND MEAN ANNUAL HIGH WATER (MAHW) SHOWN WERE FLAGGED BY GODDARD CONSULTING, LLC IN SEPTEMBER AND OCTOBER OF 2017 AND FIELD LOCATED BY ATLANTIC DESIGN ENGINEERS, INC. IN NOVEMBER OF 2017. THE OFF-SITE WETLAND RESOURCE AREAS SHOWN HEREON ARE BASED UPON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
 - THE PROPERTY IS NOT LOCATED WITHIN A ZONE II BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
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 - THE PROPERTY LIES WITHIN NASKETUCKET RIVER BASIN OVERLAY DISTRICT (NRB) BASED UPON A REVIEW OF THE TOWN OF FAIRHAVEN ZONING MAP REVISED FEBRUARY 12, 2014.

I CERTIFY THAT THIS PLAN DEPICTS THE SOLAR AREA AS BUILT CONDITIONS AS THEY EXIST AS OF NOVEMBER, 2021.

RICHARD J. TABACZYNSKI P.E. REG. # 33746

Atlantic DESIGN ENGINEERS, INC.
 P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

Designed by :	SCALE
Drawn by :	SCALE 1" = 150'
Checked by :	0 75 150 300
Survey chk. by :	DATE
Approved by :	

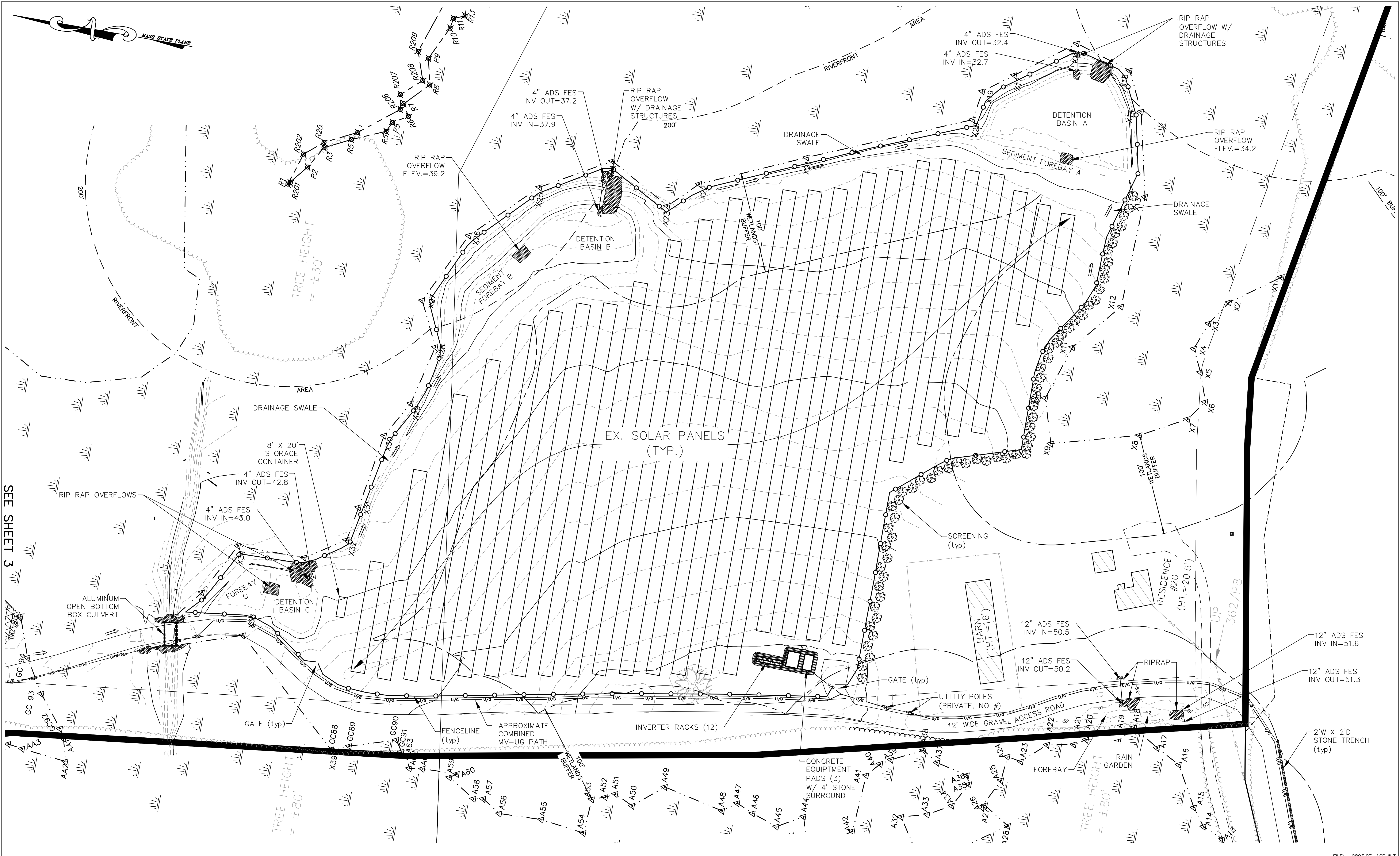
NO.	BY	DATE	REVISION
0	JCE	11/12/21	ISSUED AS ADVANCED DRAFT COPY

PREPARED FOR:
 FAIRHAVEN MA 2, LLC. c/o CON EDISON CLEAN ENERGY BUSINESSES
 P.O. BOX 2002
 PAWCATUCK, CONNECTICUT 06379

SOLAR SITE AS-BUILT
 FOR
20 YANKEE LANE SOLAR PROJECT
 FAIRHAVEN, MASSACHUSETTS
 NOVEMBER 22, 2021

SHEET 1 OF 3
 JOB NUMBER 2893.07

FILE: 2893.07-ASBUILT



SEE SHEET 3

Atlantic DESIGN ENGINEERS, INC.
 P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

Designed by :	
Drawn by :	
Checked by :	
Survey chk. by :	
Approved by :	

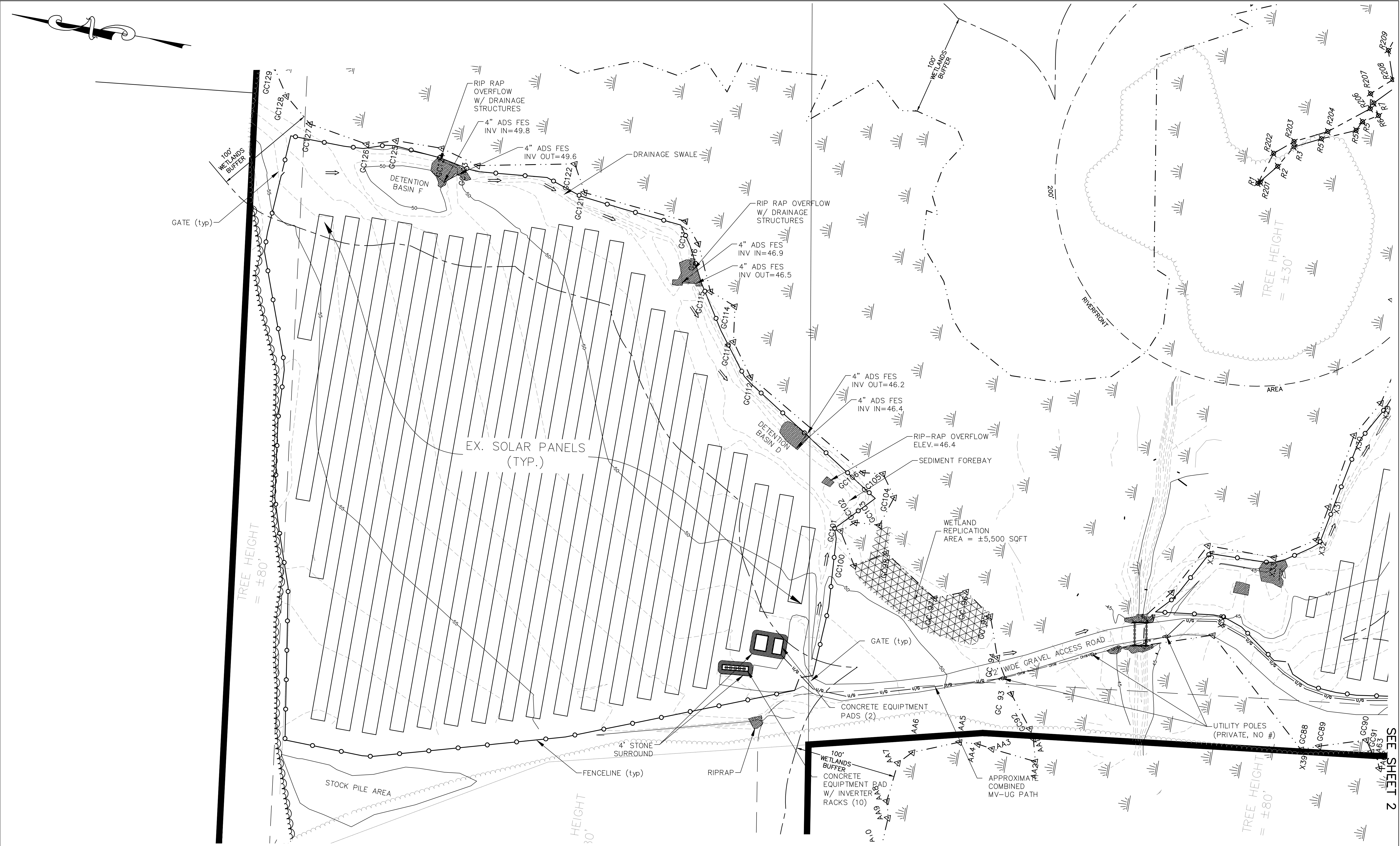
SCALE	
SCALE 1" = 40'	
DATE	

NO.	BY	DATE	REVISION
0	JCE	11/12/21	ISSUED AS ADVANCED DRAFT COPY

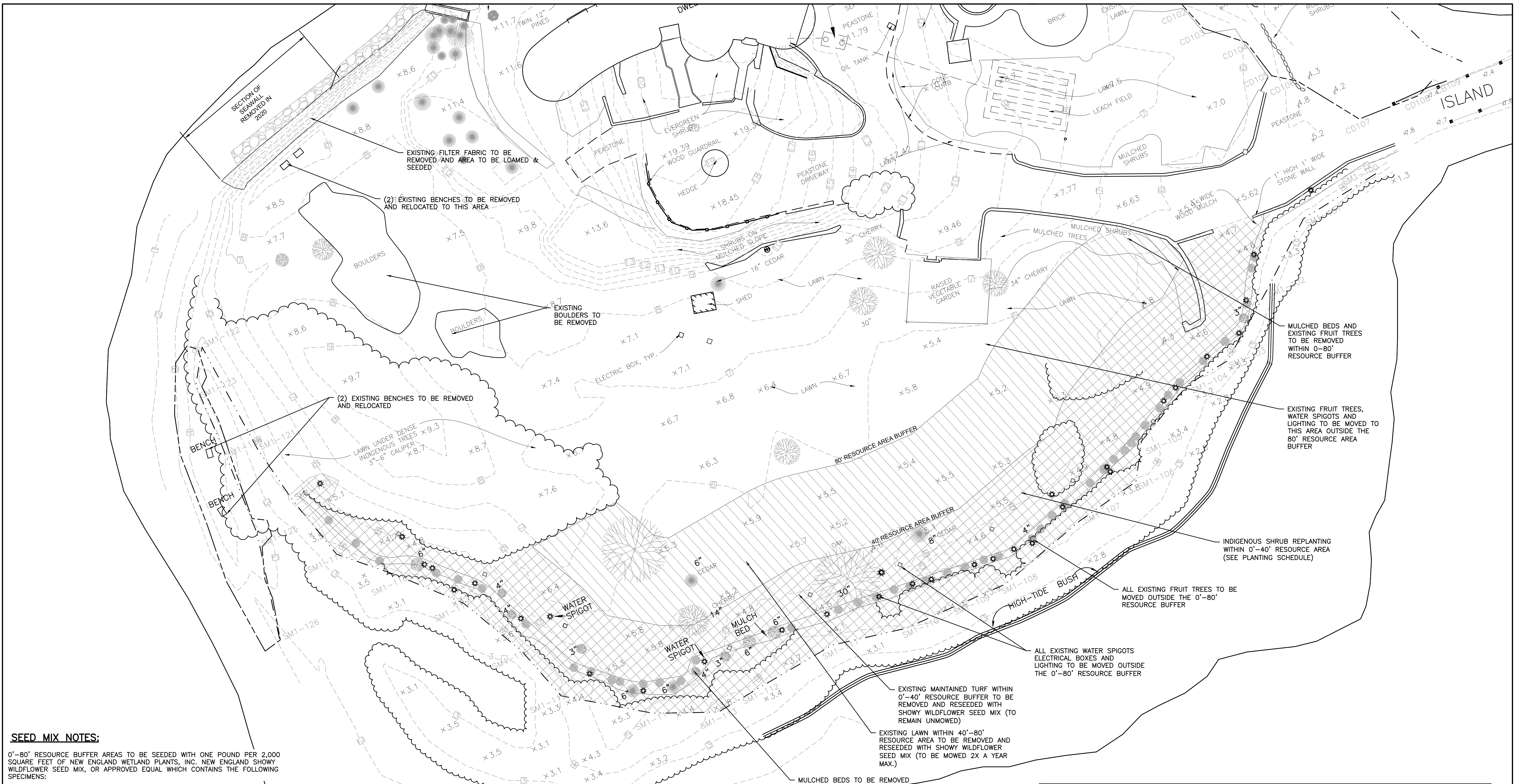
PREPARED FOR:
 FAIRHAVEN MA 2, LLC. c/o CON EDISON CLEAN ENERGY BUSINESSES
 P.O. BOX 2002
 PAWCATUCK, CONNECTICUT 06379

SOLAR SITE AS-BUILT
 FOR
 20 YANKEE LANE SOLAR PROJECT
 FAIRHAVEN, MASSACHUSETTS
 NOVEMBER 22, 2021

FILE: 2893.07-ASBUILT
Sheet 2 of 3
JOB NUMBER 2893.07



SEE SHEET 2



SEED MIX NOTES:

0'-80' RESOURCE BUFFER AREAS TO BE SEEDED WITH ONE POUND PER 2,000 SQUARE FEET OF NEW ENGLAND WETLAND PLANTS, INC. NEW ENGLAND SHOWY WILDFLOWER SEED MIX, OR APPROVED EQUAL WHICH CONTAINS THE FOLLOWING SPECIMENS:

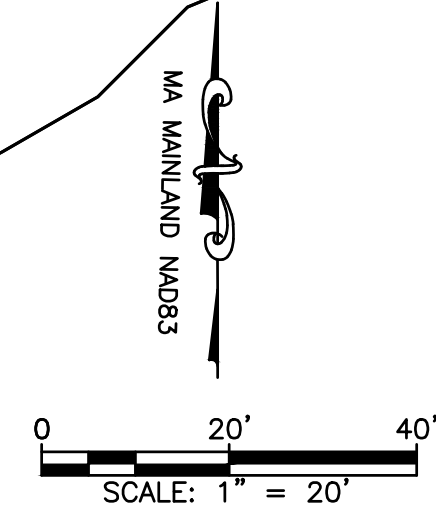
Botanical Name	Common Name	Indicator
<i>Schizachyrium scoparium</i>	Little Bluestem	FACU
<i>Chamaecrista fasciculata</i>	Partridge Pea	FACU
<i>Sorghastrum nutans</i>	Indian Grass	UPL
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Elymus canadensis</i>	Canada Wild Rye	FACU+
<i>Elymus riparius</i>	Riverbank Wild Rye	FACW
<i>Helopsis helianthoides</i>	Ox Eye Sunflower	UPL
<i>Coreopsis lanceolata</i>	Lance Leaved Coreopsis	FACU
<i>Rudbeckia hirta</i>	Black Eyed Susan	FACU-
<i>Liatris spicata</i>	Spiked Gayfeather/Marsh Blazing Star	FAC+
<i>Asclepias syriaca</i>	Common Milkweed	FACU-
<i>Yernonia noveboracensis</i>	New York Ironweed	FACW+
<i>Aster novae-angliae (Symphyotrichum novae-angliae)</i>	New England Aster	FACW-
<i>Eupatorium purpureum (Eutrochium maculatum)</i>	Purple Joe Pye Weed	FAC
<i>Asclepias tuberosa</i>	Butterfly Milkweed	NI
<i>Solidago juncea</i>	Early Goldenrod	FACW
<i>Eupatorium perfoliatum</i>	Boneset	FACW

LEGEND

- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREE
- EXISTING SHRUB (ROSE BUSH)
- ★ EXISTING SOLAR LIGHT
- EXISTING IRRIGATION HANDHOLE

40'-80' RESOURCE BUFFER AREA
 -LAWN TO BE REMOVED
 -MULCHED BEDS TO BE REMOVED
 -RESEEDED WITH SHOWY WILDFLOWER MIX
 -PROPOSED MEADOW TO BE MOWED 2X A YEAR MAXIMUM.

0'-40' RESOURCE BUFFER AREA
 -EXISTING FRUIT TREES, LIGHTING AND SPIGOTS TO BE REMOVED AND RELOCATED OUTSIDE THE 80' RESOURCE BUFFER AREA
 -EXISTING LAWN TO BE REMOVED
 -AREA TO BE REPLANTED WITH INDIGENOUS SHRUBS (SEE SCHEDULE)
 -RESEEDED WITH SHOWY WILDFLOWER MIX
 -TO REMAIN UNMOWED



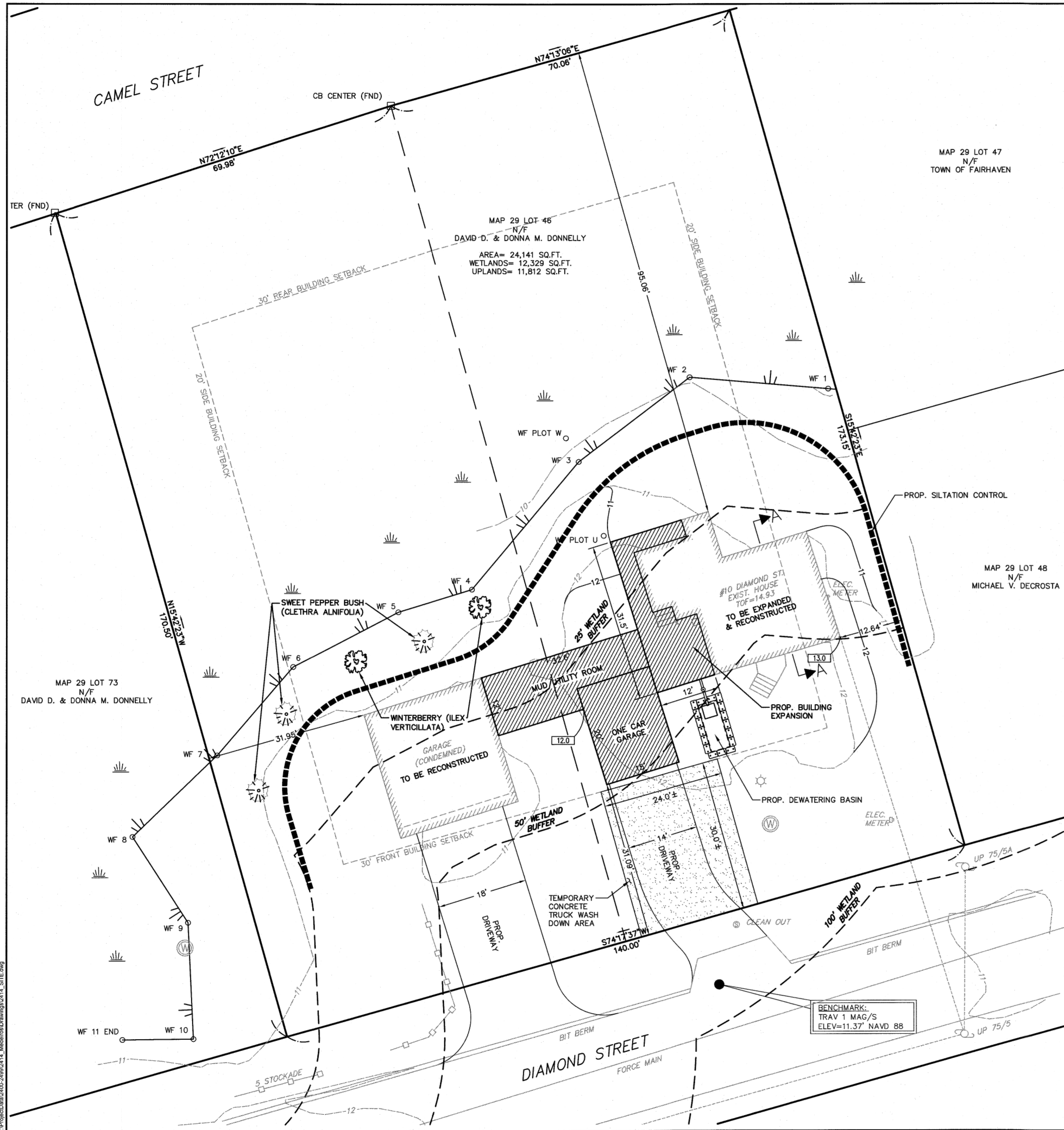
PLANTING SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
55	HIBISCUS MOSCHEUTOS	MARSH MALLOW	2 GAL.
55	AZALEA VISCOSUM	PINK MIST AZALEA	2 GAL.
55	VACCINIUM CORYMBOSUM	HIGH BUSH BLUEBERRY	2 GAL.
51	ILEX VERTICILLATA	WINTERBERRY FEMALE	3 GAL.
4	ILEX VERTICILLATA	WINTERBERRY MALE	3 GAL.
55	MYRICA PENNSYLVANICA	BAYBERRY	2 GAL.

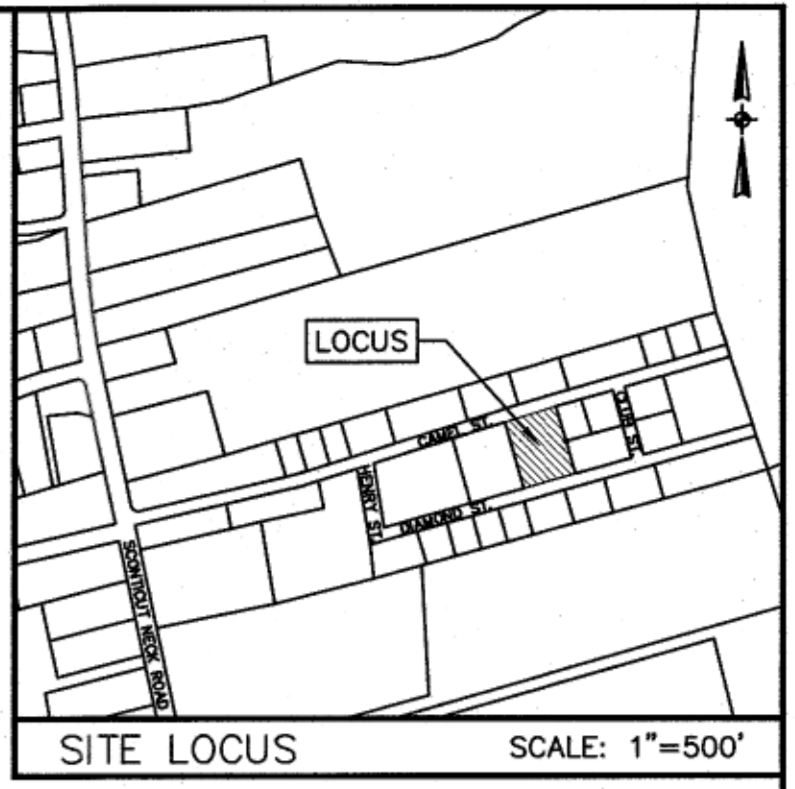
DRAWING TITLE PROPOSED PLANTING PLAN		SCALE: 1" = 20'
PROJECT BELLA VISTA ISLAND FAIRHAVEN MASSACHUSETTS		DATE: APRIL 5, 2021
CLIENT HEIAM ALSWALHI FAIRHAVEN MASSACHUSETTS		DRAWN BY: JAG
DESIGNED BY: RJR		CHECKED BY: RJR
APPROVED BY: RJR		PROJECT NO. 1779-01-01

PRIME ENGINEERING

P.O. BOX 1088
350 BEDFORD ST.
LAKEVILLE, MA 02347
TEL: 508.947.0050
FAX: 508.947.2004



RURAL RESIDENCE DISTRICT (RR)		
REGULATION	REQUIREMENT	PROVIDED
MIN. LOT AREA	30,000 S.F.	24,141 S.F.
LOT FRONTAGE	140 FT.	140 FT.
FRONT SETBACK	30 FT.	31.09 FT. (MIN.)
SIDE SETBACK	20 FT.	12.64 FT. (EXIST.)
REAR SETBACK	30 FT.	95.06 FT. (MIN.)
CONTIGUOUS UPLAND	24,000 S.F.	11,812 S.F.
MAX. BUILDING HEIGHT	35 FT.	< 35 FT.
MAX. LOT COVERAGE	25%	14%
MAX. BLDG. COVERAGE	15%	9.6%



FIELD ENGINEERING CO., INC.
CONSULTING ENGINEERS

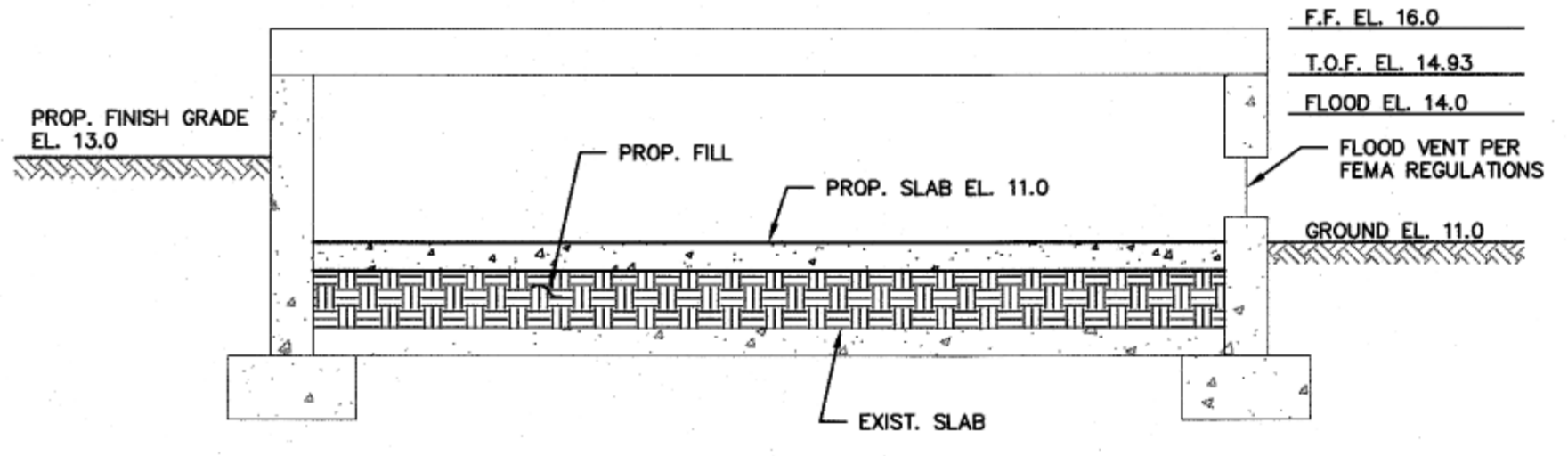
11D INDUSTRIAL DRIVE
P.O. BOX 1178
MATTAPANSETT, MA 02739
TEL: (508) 758-2749
FAX: (508) 758-2849

Revisions			
No.	Description	Date	Apprv.

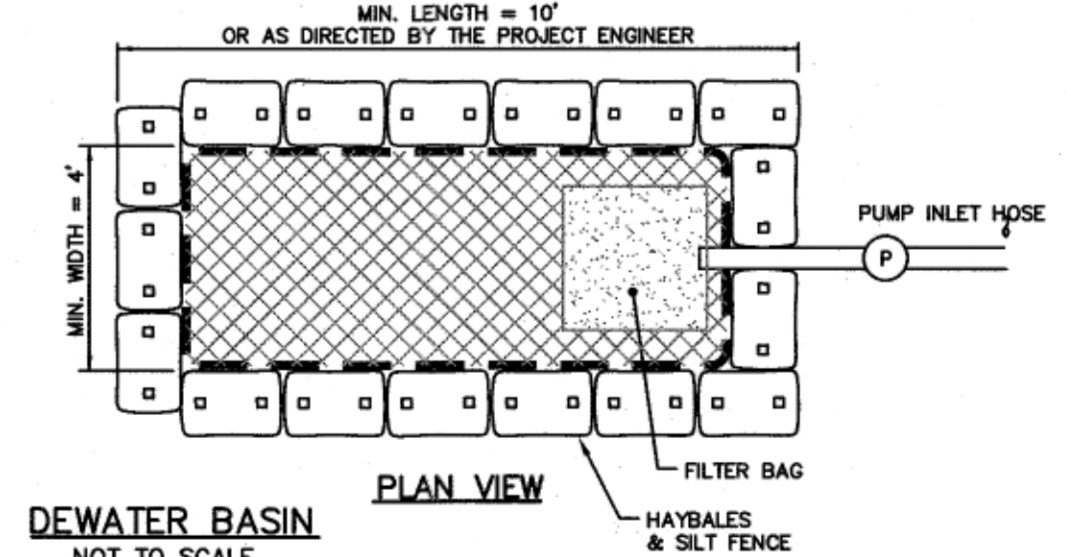
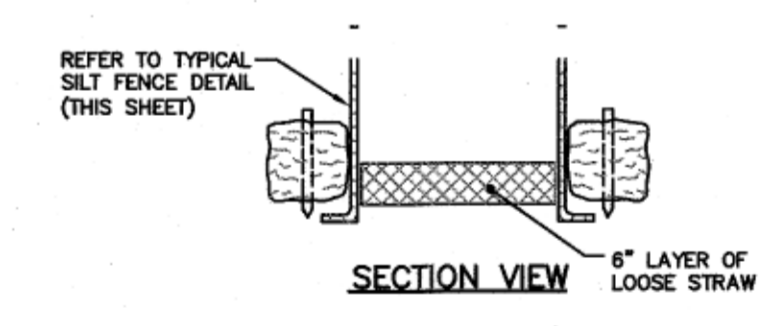
- NOTES:**
- EXISTING CONDITIONS AND PROPERTY LINE INFORMATION SHOWN ON THIS PLAN WAS BASED ON RECORD PLANS AND DEED AND AN ON-THE-GROUND FIELD SURVEY PERFORMED BY MADDIGAN LAND SURVEYING, LLC IN APRIL 2021.
 - ALL ELEVATIONS ARE REFERENCED TO THE NAVD 88 DATUM.
 - THE SUBJECT PARCEL IS SHOWN AS TOWN OF FAIRHAVEN ASSESSORS MAP 29 LOT 46 N/F DAVID D. & DONNA M. DONNELLY.
 - THE SITE IS LOCATED WITHIN ZONE AE (EL 14 FEET) AS DETERMINED BY FIRM COMMUNITY PANEL NO. 25005C0501F, EFFECTIVE DATE 7/7/2009.
 - RESOURCE AREA DELINEATION PERFORMED BY SABATIA, INC. IN APRIL 2021.
 - THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. UNDERGROUND UTILITIES SHOWN ARE FROM FIELD OBSERVATION AND THE BEST AVAILABLE RECORD INFORMATION AND ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND PIPES OR STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES RELATIVE TO THE LOCATION AND ELEVATION OF ALL EXISTING LINES.
 - THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811, 72 HOURS PRIOR TO ANY EXCAVATION AND/OR SUBSURFACE TESTING TO INFORM THE UTILITY COMPANIES OF ANY EXCAVATION.
 - THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE UNDERGROUND GAS AND OVERHEAD ELECTRIC, TELEPHONE AND CATV WITH THE RESPECTIVE UTILITY PROVIDERS.

DEED REFERENCE:
DEED BOOK 3546 PG 78

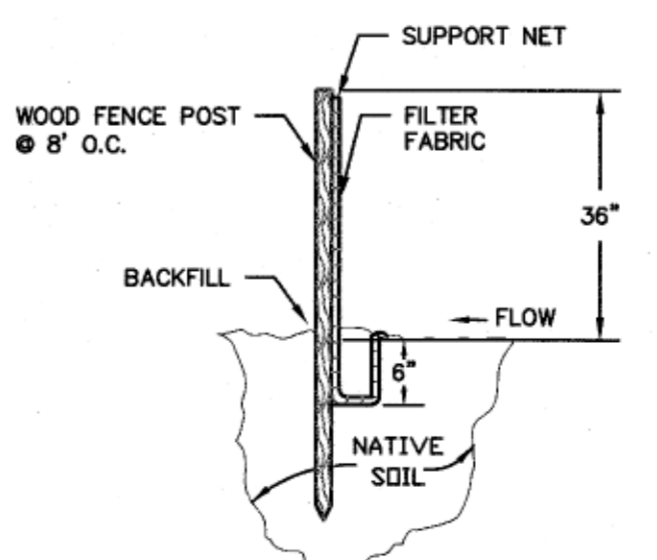
PLAN REFERENCE:
PLAN BOOK 150 PG 54
PLAN BOOK 44 PG 139
PLAN BOOK 100 PG 37



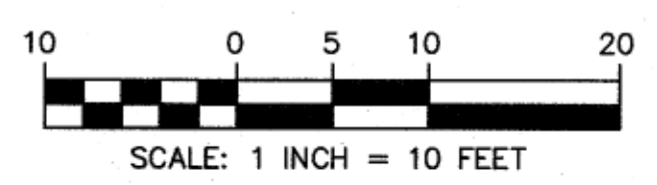
SECTION A-A
NOT TO SCALE



- DEWATERING SPECIFICATIONS**
- DEWATERING BASIN SHALL BE CONSTRUCTED BEFORE ANY DEWATERING OPERATION COMMENCE. DISCHARGE FROM THE DEWATERING BASIN SHALL BE DIRECTED TO THE NEAREST WETLAND DISCHARGE AREA.
 - MAY BALES/SILT DEWATERING BASIN SHALL BE CONSTRUCTED BEFORE DEWATERING BEGINS.
 - ALL SEDIMENT SHALL BE REMOVED AND FINISHED GRADES RESTORED UPON COMPLETION OF DEWATERING OPERATIONS.



TYPICAL SILT FENCE DETAIL
NOT TO SCALE



Date: 11/12/2021
Scale: 1"=10'

Drawn By: RMS
Designed By: RMF
Checked By: RMF

Issued For: **PERMITTING**

11/15/21

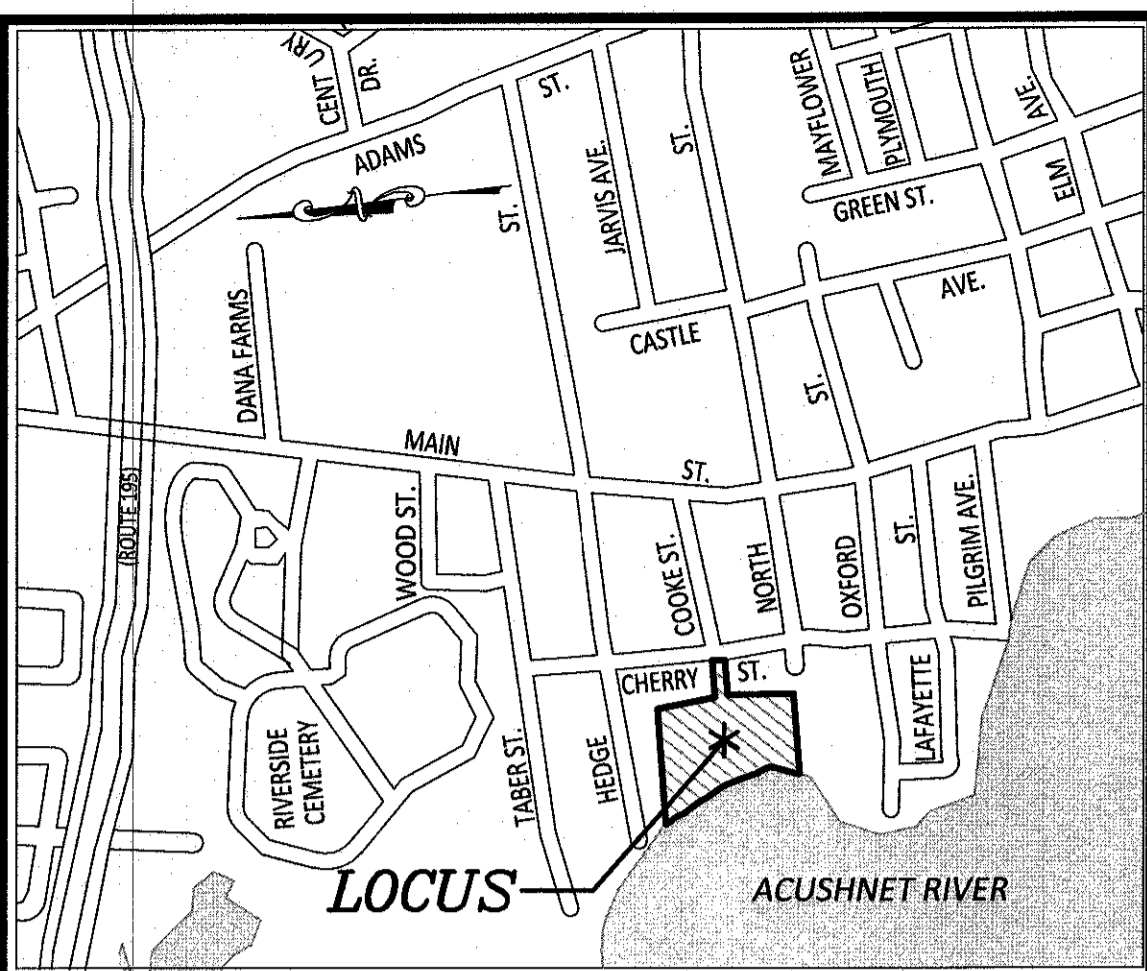
PROPOSED SITE DEVELOPMENT
RUBY MEDEIROS

10 DIAMOND STREET
FAIRHAVEN, MASSACHUSETTS

Drawing Title: **SITE PLAN**

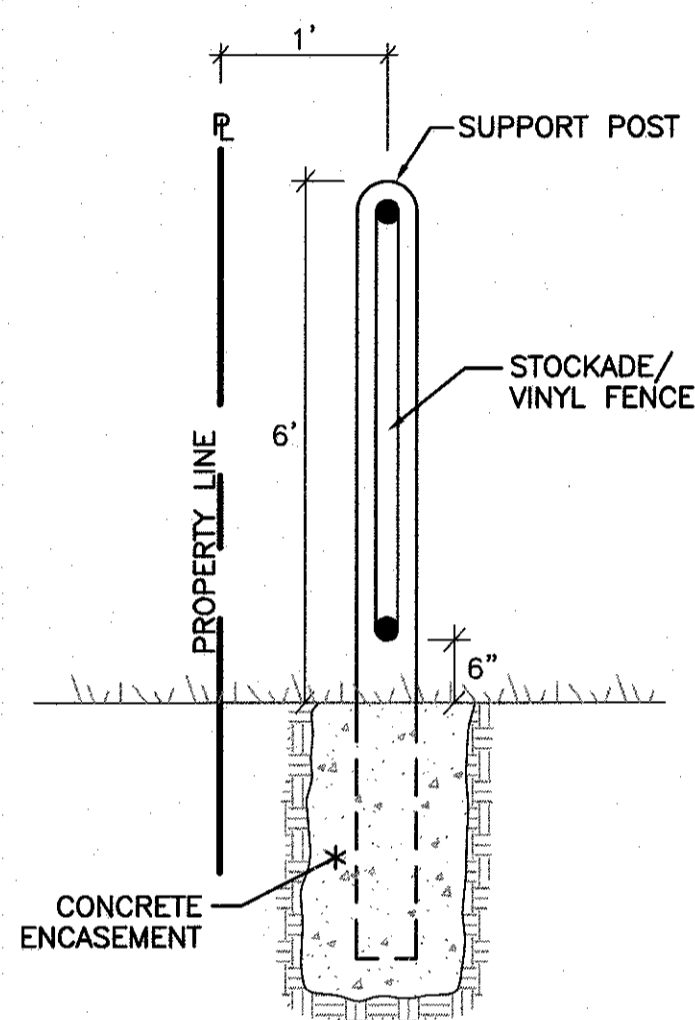
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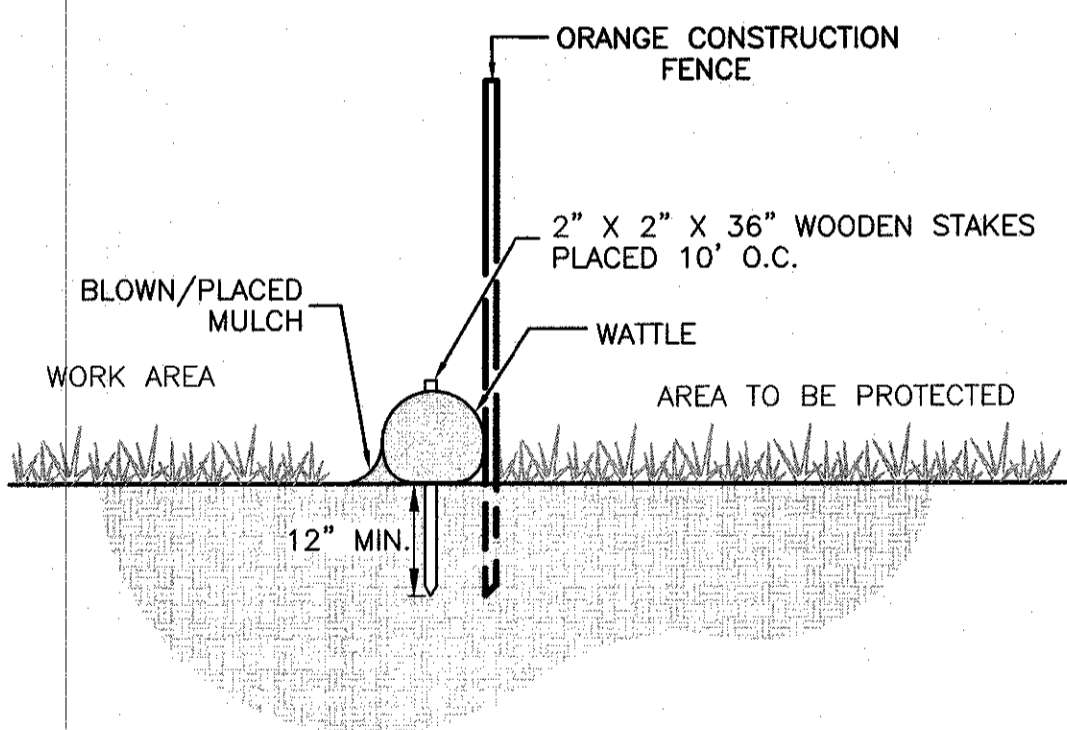


LOCUS MAP

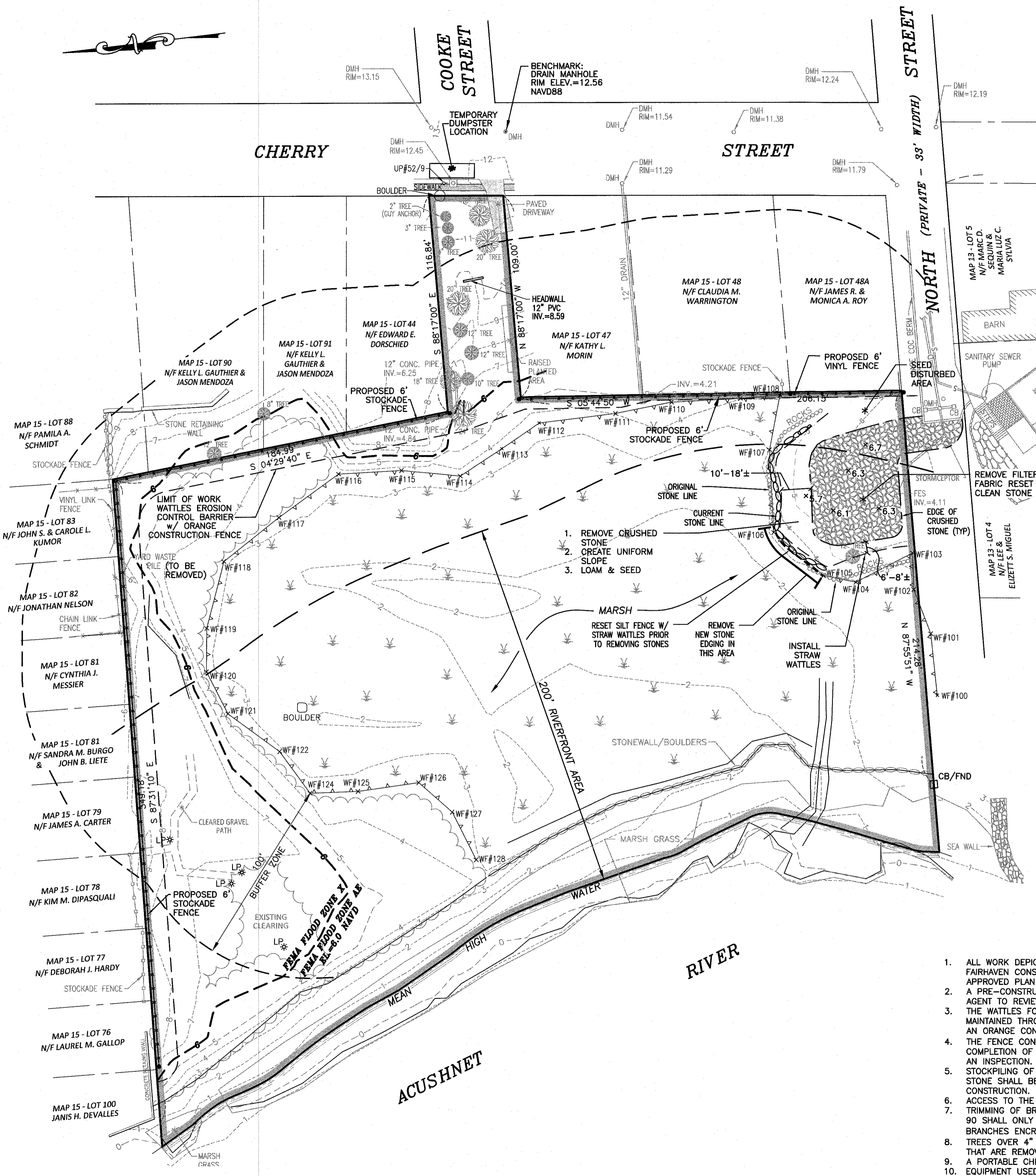
SCALE: 1"=600'±



FENCE DETAIL
(NOT TO SCALE)



WATTLE EROSION CONTROL DETAIL
(NOT TO SCALE)

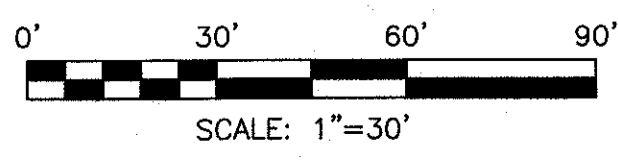


LEGEND

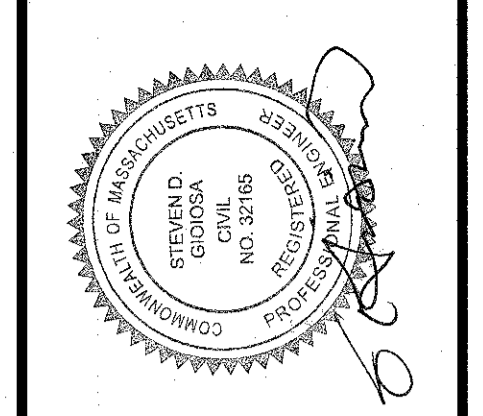
- PROPERTY LINE
- - - - - EXISTING CONTOUR
- ⊖ STONEMASS
- SEWER LINE
- DRAINAGE LINE
- CB CATCH BASIN
- DMH DRAIN MANHOLE
- SMH SEWER MANHOLE
- UP UTILITY POLE
- LP LAMP POST
- CHAIN LINK FENCE
- STOCKADE FENCE
- TREE LINE/BRUSH LINE
- TREE
- WF#111 WF#112 EDGE OF BORDERING VEGETATED WETLANDS
- ×6.7 SPOT GRADE

- RESTORATION**
1. SET & MAINTAIN STRAW WATTLES.
 2. INSTALL ORANGE CONSTRUCTION FENCE UPGRADIENT OF EROSION CONTROL BARRIER.
 3. REMOVE NEW STONE EDGING AS SHOWN.
 4. REGRADE PERIMETER TO PRE-ALTERATION SLOPE.
 5. REMOVE CRUSHED STONE, REMOVE FILTER FABRIC.
 6. BASED ON 2019 AERIAL PHOTOGRAPH, RESET CLEAN CRUSHED STONE TO ORIGINAL LIMITS OF COMPACT GRAVEL SURFACE.
 7. LOAM & SEED PERIMETER DISTURBED AREA OR USE SOD TO OBTAIN STABILIZED SURFACE AS AN ALTERNATIVE.
- NOTE:
RESTORATION WORK SHALL BE COMPLETED USING A BOBCAT SIZED EQUIPMENT AND/OR HAND TOOLS. NO ACTIVITY OR EQUIPMENT WILL BE ALLOWED BEYOND THE EROSION CONTROL BARRIER.

- CONSTRUCTION NOTES**
1. ALL WORK DEPICTED ON THIS PLAN IS SUBJECT TO ALL ORDER OF CONDITIONS ISSUED BY THE FAIRHAVEN CONSERVATION COMMISSION. THE CONTRACTOR SHALL HAVE A COPY OF THE ORDER AND APPROVED PLAN ONSITE AT ALL TIME DURING THE CONSTRUCTION PROVIDED.
 2. A PRE-CONSTRUCTION MEETING WILL BE SCHEDULED BY THE CONTRACTOR WITH THE CONSERVATION AGENT TO REVIEW THE REQUIREMENTS OUTLINED IN THE ORDER OF CONDITIONS.
 3. THE WATTLES FOR EROSION CONTROL SHALL BE SET PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL ALL DISTURBED AREAS ARE STABILIZED. AN ORANGE CONSTRUCTION FENCE SHALL BE INSTALLED BEHIND THE WATTLES.
 4. THE FENCE CONTRACTOR SHALL MARK ANY TREES OVER 4" DIAMETER PRIOR TO CLEARING. UPON COMPLETION OF MARKING THE CONTRACTOR SHALL NOTIFY THE CONSERVATION OFFICE TO SCHEDULE AN INSPECTION.
 5. STOCKPILING OF MATERIALS SHALL BE LIMITED TO THE DESIGNATED UPLAND AREA. CLEAN CRUSHED STONE SHALL BE RE-SPREAD OVER THE STOCKPILE AREA AT THE CONCLUSION OF THE CONSTRUCTION.
 6. ACCESS TO THE SITE SHALL BE THROUGH THE CHERRY STREET FRONTAGE.
 7. TRIMMING OF BRANCHES, AS NEEDED, FROM THE TREE LOCATED ON THE BOUNDARY AT MAP 15-LOT 90 SHALL ONLY BE COMPLETED BY A QUALIFIED ARBORIST. TRIMMING SHALL BE LIMITED TO BRANCHES ENCRANCHING ON APPLICANT'S PROPERTY TO THE EXTENT NEEDED TO INSTALL THE WATTLES.
 8. TREES OVER 4" IN DIAMETER SHALL NOT BE REMOVED UNLESS DIRECTLY ON FENCE LINE. ANY TREES THAT ARE REMOVED SHALL BE REPLACED WITH LEYLAND CYPRESS OR APPROVED EQUAL.
 9. A PORTABLE CHIPPER SHALL BE USED TO CREATE MULCH FROM MATERIAL CUT IN THE WORK ZONE.
 10. EQUIPMENT USED TO COMPLETE THE FENCE INSTALLATION SHALL BE LIMITED TO HAND TOOLS AND HAND AUGER. THE FENCE ALONG THE WEST LINE OF LOTS 47, 48, 48A, AS SHOWN, SHALL BE INSTALLED USING HAND TOOLS AND HAND AUGER ONLY.
 11. EXCESS SOILS SHALL BE SPREAD NEAR THE FENCE POSTS, AND THE AREA SEED FOR STABILIZATION. IF REQUIRED, THE SOILS WILL BE AMENDED WITH ORGANIC TOPSOIL TO FACILITATE GRASS GROWTH.
 12. IF REQUIRED, A LINED CONCRETE WASHOUT PIT SHALL BE SET IN THE STOCKPILE AREA WITH SILT FENCING SET ALONG THE DOWNGRADIENT PERIMETER OF THE PIT.



OWNER/APPLICANT:
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No.	Date	Revision Description
7	JANUARY 13, 2021	REVISE REMEDIATION PLAN
8	NOVEMBER 26, 2021	REVISE REMEDIATION PLAN
5	NOVEMBER 08, 2021	REVISION PLAN
6	OCTOBER 18, 2021	ASBUILT CRUSHED STONE
4	MARCH 15, 2021	MODIFY CONSTRUCTION NOTES
3	FEBRUARY 26, 2021	ADD CONSTRUCTION NOTES
2	DECEMBER 28, 2020	ELIMINATE PORTION OF FENCE
1	DECEMBER 07, 2020	REVISIONS PER CONSERVATION COMMISSION COMMENTS

Project: ASSESSORS MAP 15, LOT 43
NORTH STREET / CHERRY STREET
FAIRHAVEN, MASSACHUSETTS

Scale: 1"=30'
Date: JULY 2, 2020

Drawn: KJ
Checked: SDG
Approved: SDG

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Drawing Number: SP-1

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