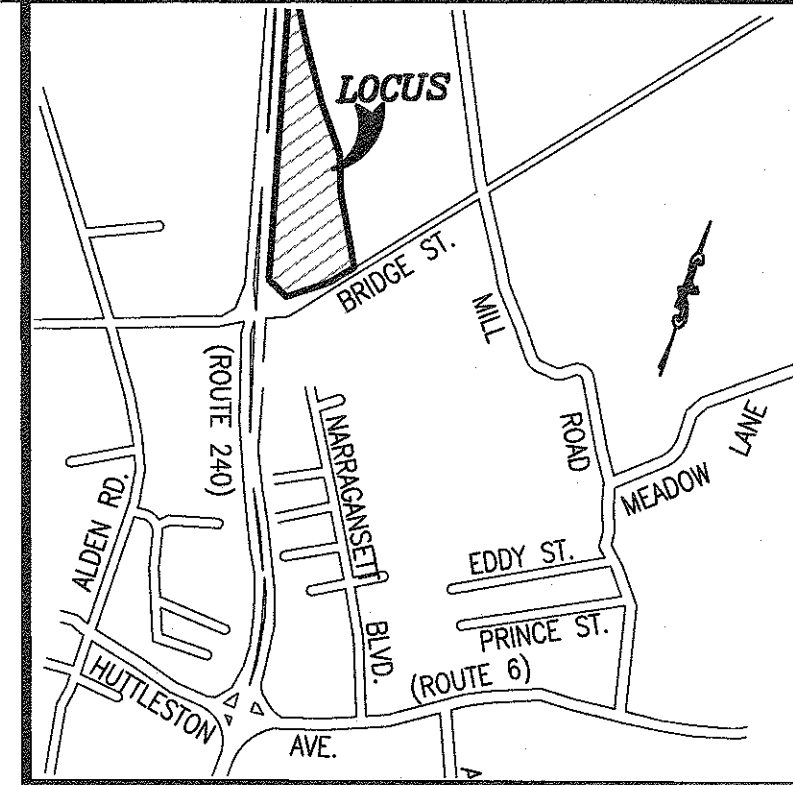


**LEGEND**

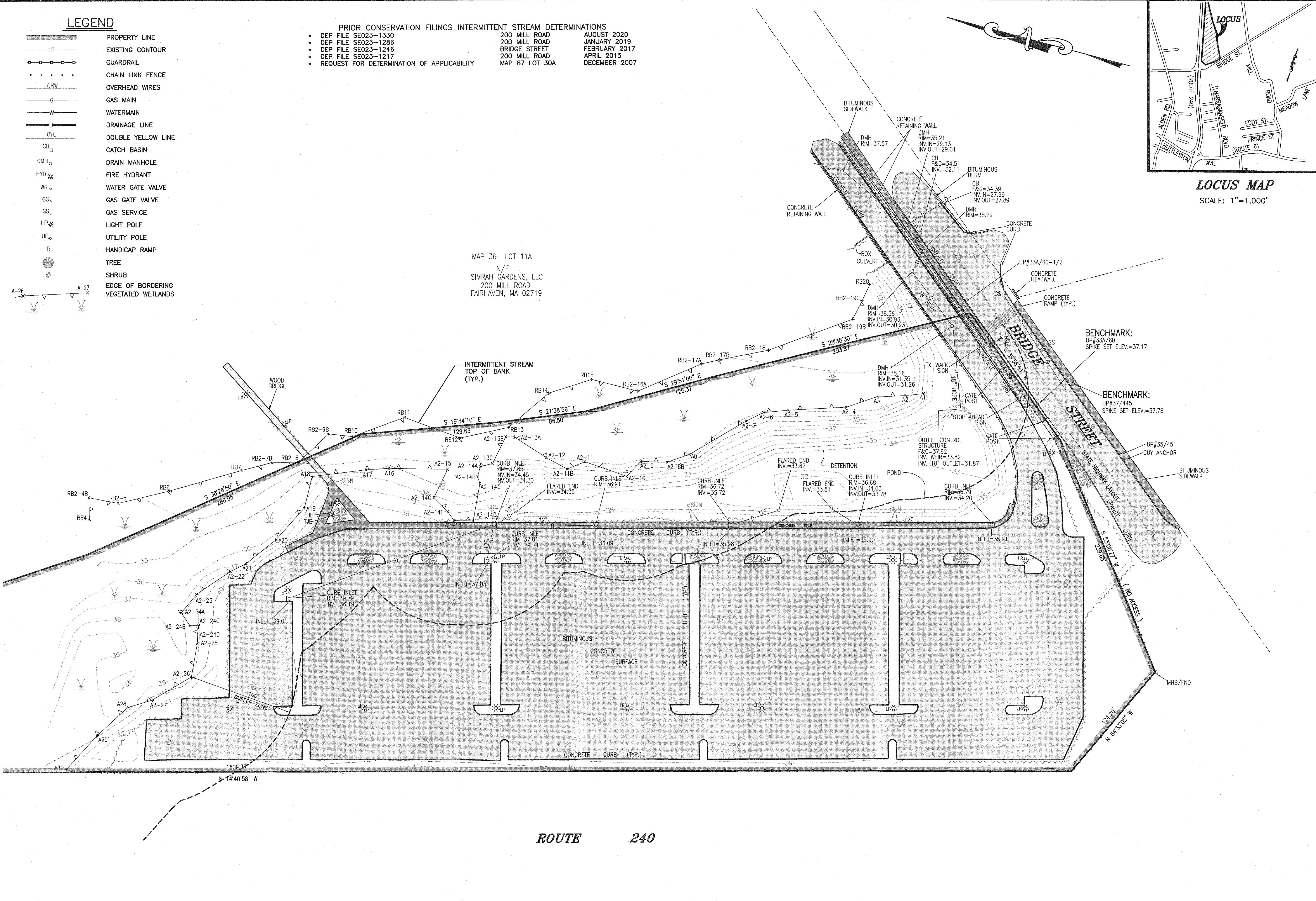
- 12 — PROPERTY LINE
- - - - - EXISTING CONTOUR
- □ □ □ □ GUARDRAIL
- — — — — CHAIN LINK FENCE
- — — — — OVERHEAD WIRES
- — — — — GAS MAIN
- — — — — WATERMAIN
- — — — — DRAINAGE LINE
- — — — — DOUBLE YELLOW LINE
- CB □ CATCH BASIN
- DMH ○ DRAIN MANHOLE
- HYD ✱ FIRE HYDRANT
- WG ✱ WATER GATE VALVE
- GG ✱ GAS GATE VALVE
- GS ✱ GAS SERVICE
- LP ✱ LIGHT POLE
- UP ✱ UTILITY POLE
- R HANDICAP RAMP
- TREE
- SHRUB
- EDGE OF BORDERING
- VEGETATED WETLANDS

- PRIOR CONSERVATION FILINGS INTERMITTENT STREAM DETERMINATIONS**
- DEP FILE SE023-1330 200 MILL ROAD AUGUST 2020
  - DEP FILE SE023-1286 200 MILL ROAD JANUARY 2019
  - DEP FILE SE023-1246 BRIDGE STREET FEBRUARY 2017
  - DEP FILE SE023-1217 200 MILL ROAD APRIL 2015
  - REQUEST FOR DETERMINATION OF APPLICABILITY MAP 87 LOT 30A DECEMBER 2007

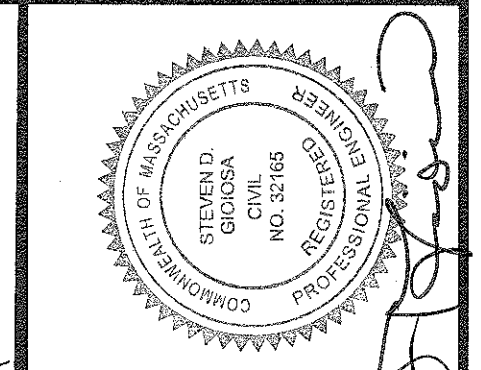
MAP 36 LOT 11A  
N/F  
SIMRAH GARDENS, LLC  
200 MILL ROAD  
FAIRHAVEN, MA 02719



**LOCUS MAP**  
SCALE: 1"=1,000'



**ROUTE 240**



No.	Date	Revision Description
1		
2		
3		
4		

scale: 1"=40'  
date: AUGUST 5, 2021  
drawn: DJF  
checked: SDG  
approved: SDG  
sheet number: EC-1  
drawing number: EC-1

Project: SELF-STORAGE FACILITY ASSESSORS MAP 36 - LOT 15J FAIRHAVEN, MASSACHUSETTS  
client: FAIRHAVEN PROPERTIES, LLC  
drawing title: EXISTING CONDITIONS

SITEC, Inc.  
445 F Street  
Dorchester, MA 02747  
(949) 998-2125  
(949) 998-998-7954  
WWW.SITEC-ENGINEERING.COM

**SITEC**  
Civil and Environmental Engineering  
Land Use Planning

Acad No. FVN 20-7565 EC.dwg  
File No. 304-338

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

DATE

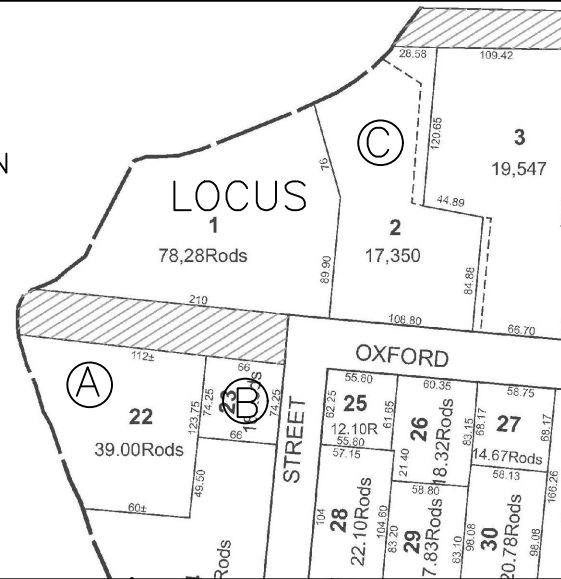
**ABUTTERS:**

N/F  
Ⓐ RUTH & LARS OLSON  
MAP 13, LOT 22 & 23  
2 WEST STREET

N/F  
Ⓑ NINA BONNOYER  
MAP 13, LOT 23  
7 OXFORD STREET

N/F  
Ⓒ HUGETTE WHITE  
MAP 13, LOT 2  
10 OXFORD STREET

NEW  
BEDFORD/FAIRHAVEN  
UPPER  
HARBOR



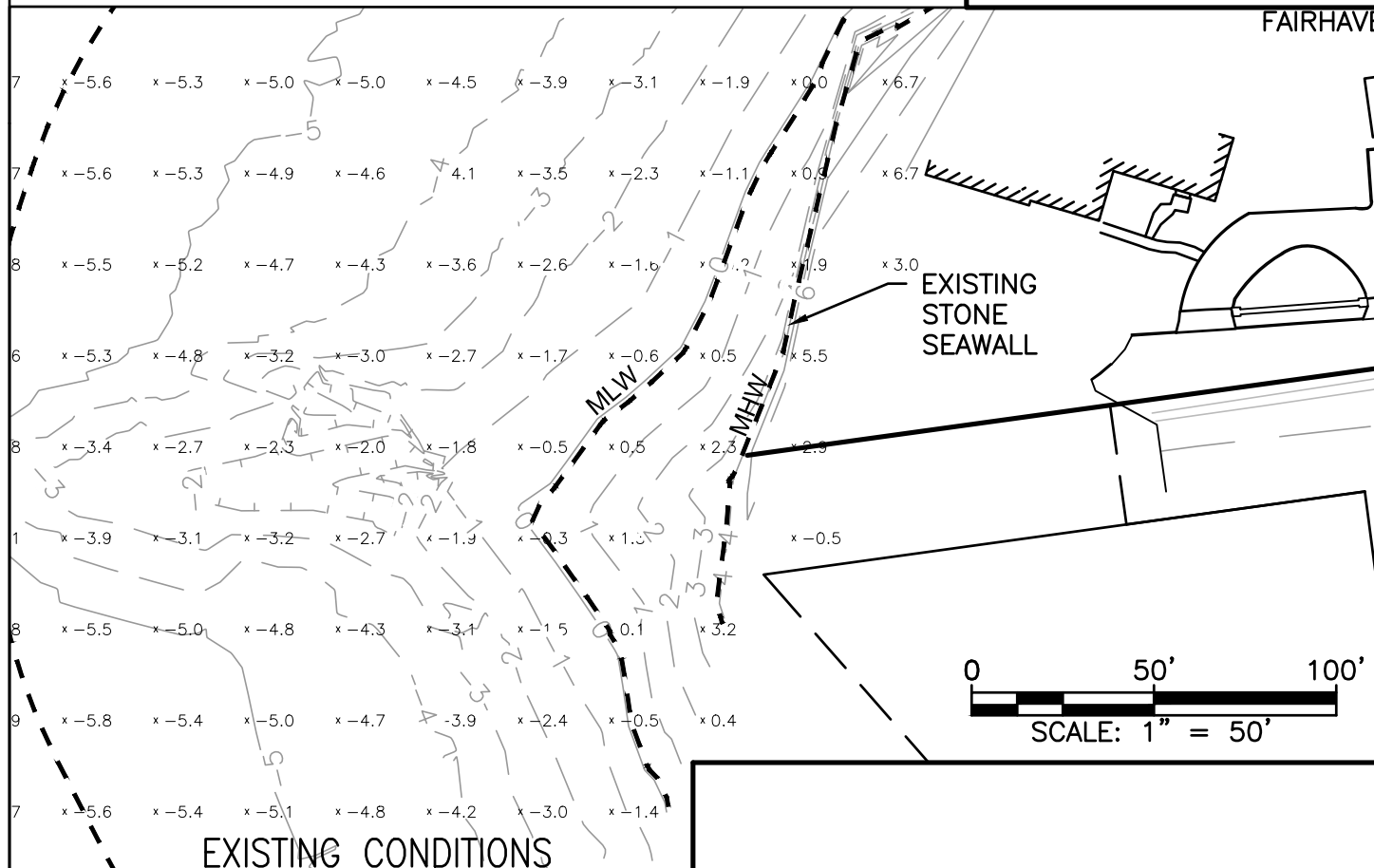
**NOTES:**

1. VERTICAL DATUM SHOWN IS MEAN LOW WATER DATUM.
2. CONVERSION OF NAVD88 DATUM TO MEAN LOW WATER DATUM IS BASED ON DATA PROVIDED BY NOAA ONLINE VERTICAL DATUM TRANSFORMATION PROGRAM.
3. THE SUBJECT PROPERTY IS SHOWN ON THE TOWN OF FAIRHAVEN ASSESSORS' MAP 13 LOT 001.

MA MAINLAND NAD83



**LOCUS MAP**  
APPROX. SCALE: 1"=3,500'



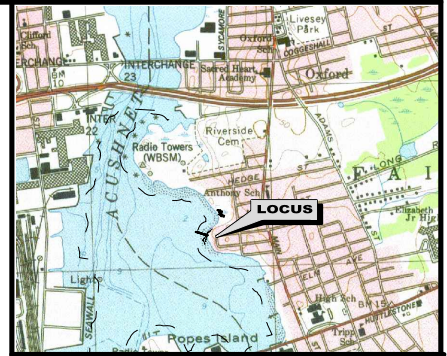
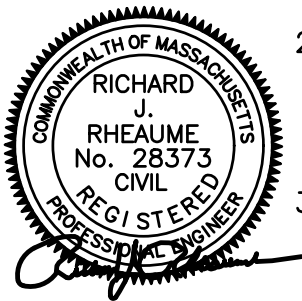
PLAN ACCOMPANYING THE PETITION OF OXFORD STREET LLC FOR A PROPOSED PIER, GANGWAY, AND FLOATS AT NEW BEDFORD/FAIRHAVEN UPPER HARBOR IN FAIRHAVEN, MA

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

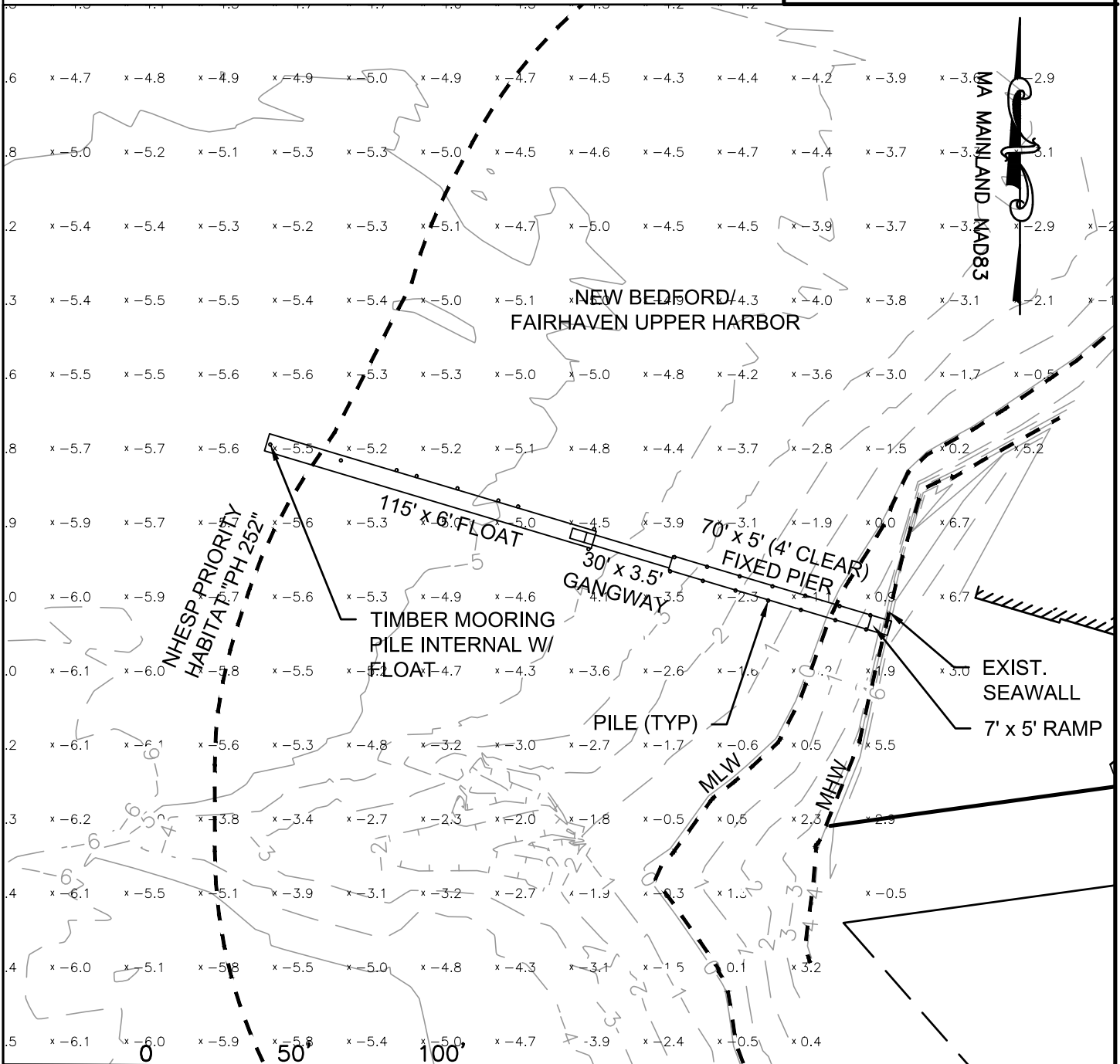
DATE

NOTES:

1. VERTICAL DATUM SHOWN IS MEAN LOW WATER DATUM.
2. CONVERSION OF NAVD88 DATUM TO MEAN LOW WATER DATUM IS BASED ON DATA PROVIDED BY NOAA ONLINE VERTICAL DATUM TRANSFORMATION PROGRAM.
3. THE SUBJECT PROPERTY IS SHOWN ON THE TOWN OF FAIRHAVEN ASSESSORS' MAP 13 LOT 001.



LOCUS MAP  
APPROX. SCALE: 1"=3,500'



SCALE: 1" = 50'  
PLAN VIEW

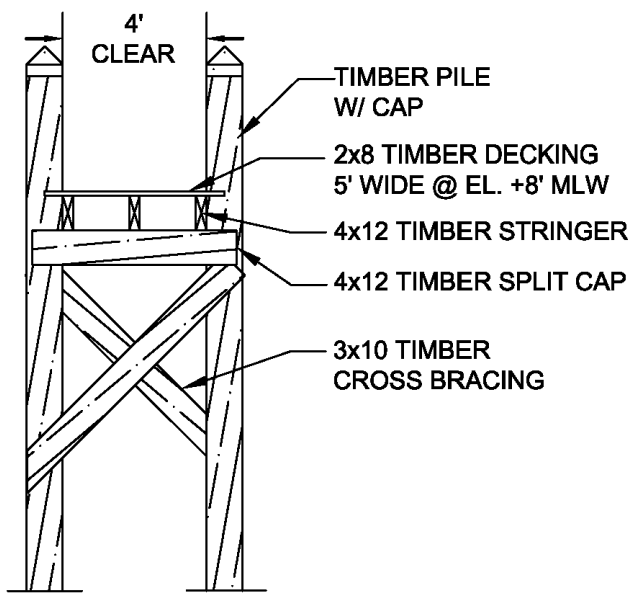
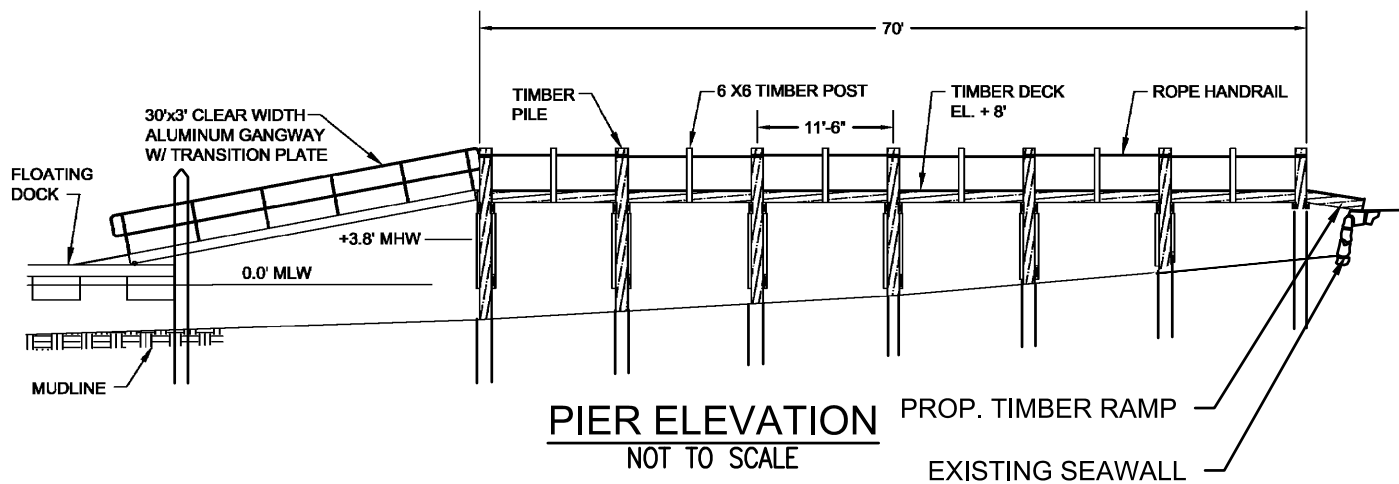
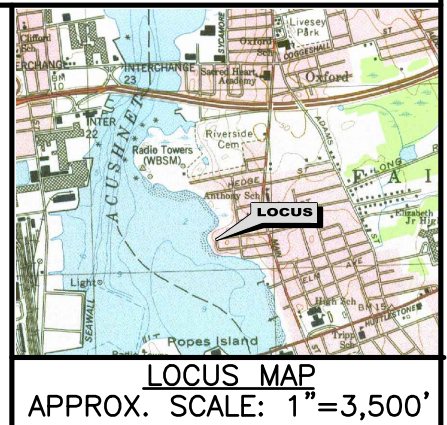


PLAN ACCOMPANYING THE PETITION OF OXFORD STREET LLC FOR A PROPOSED PIER, GANGWAY, AND FLOATS AT NEW BEDFORD/FAIRHAVEN UPPER HARBOR IN FAIRHAVEN, MA

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

DATE

3.89	MEAN HIGH WATER	1.8'
2.03	MEAN SEA LEVEL	
0.12	MEAN LOW WATER	
<u>TIDE ELEVATIONS</u>		



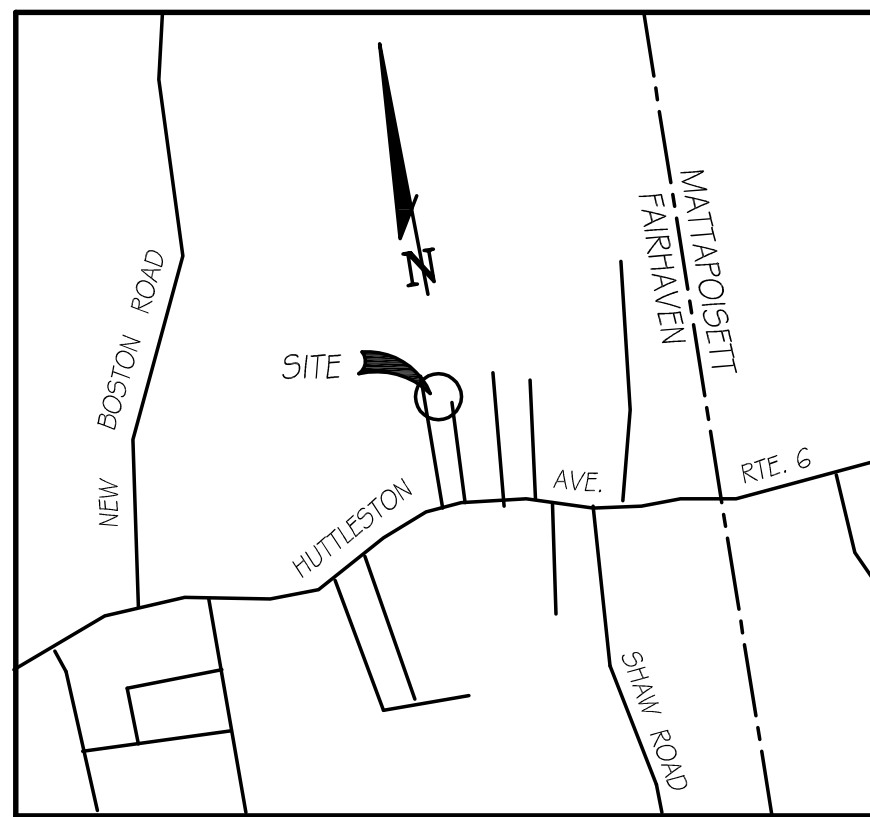
**PIER CROSS SECTION**

NOT TO SCALE

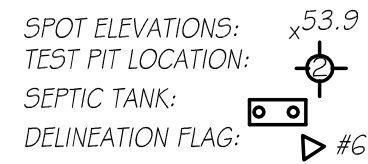
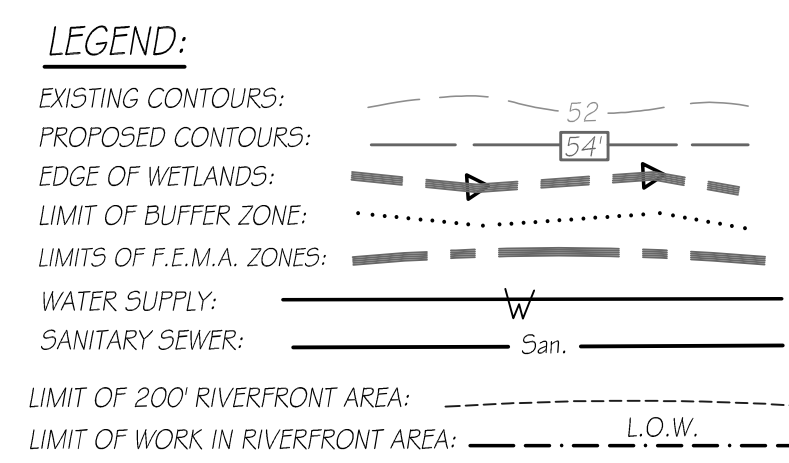
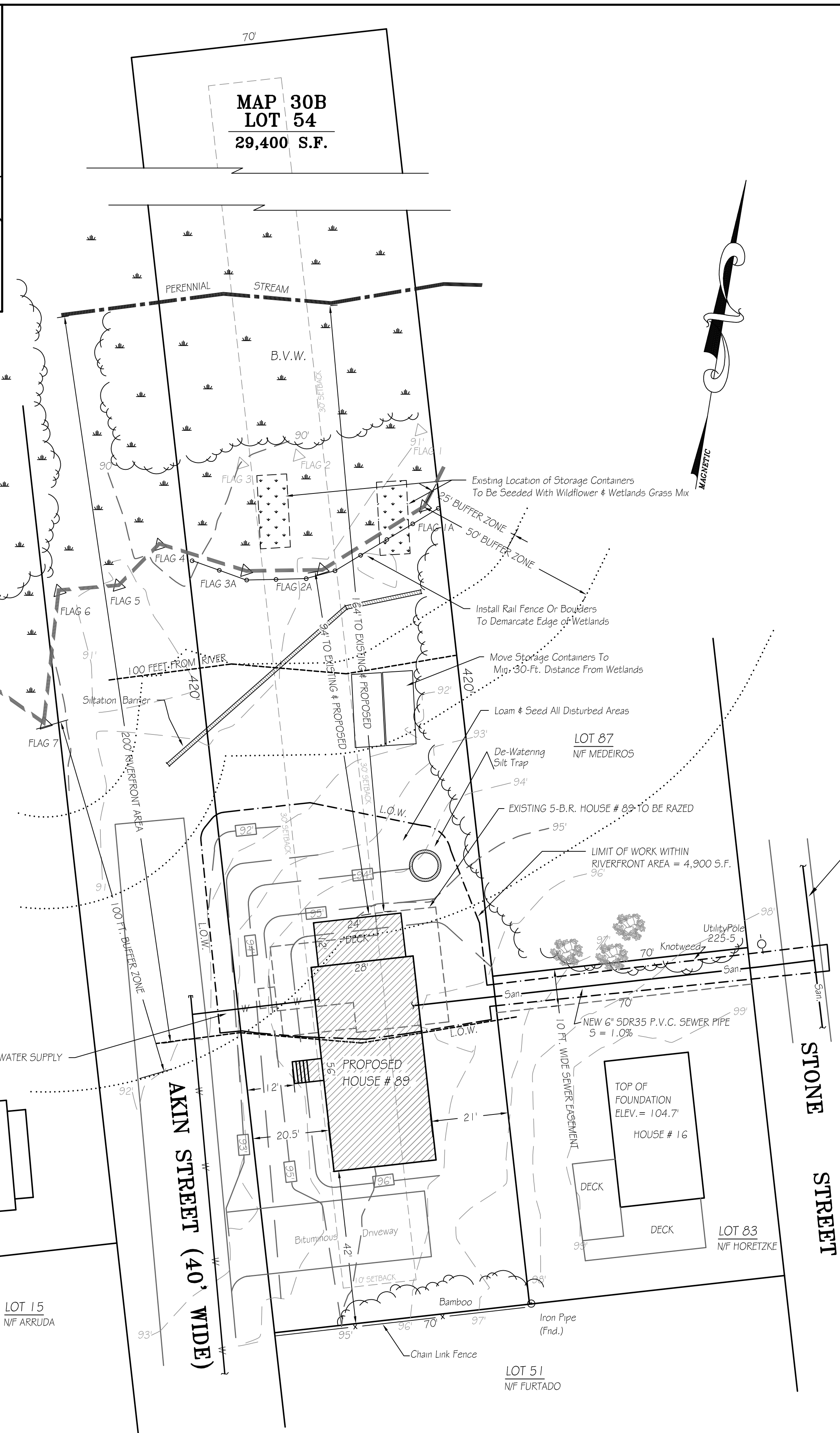
**PROFILE AND DETAILS**



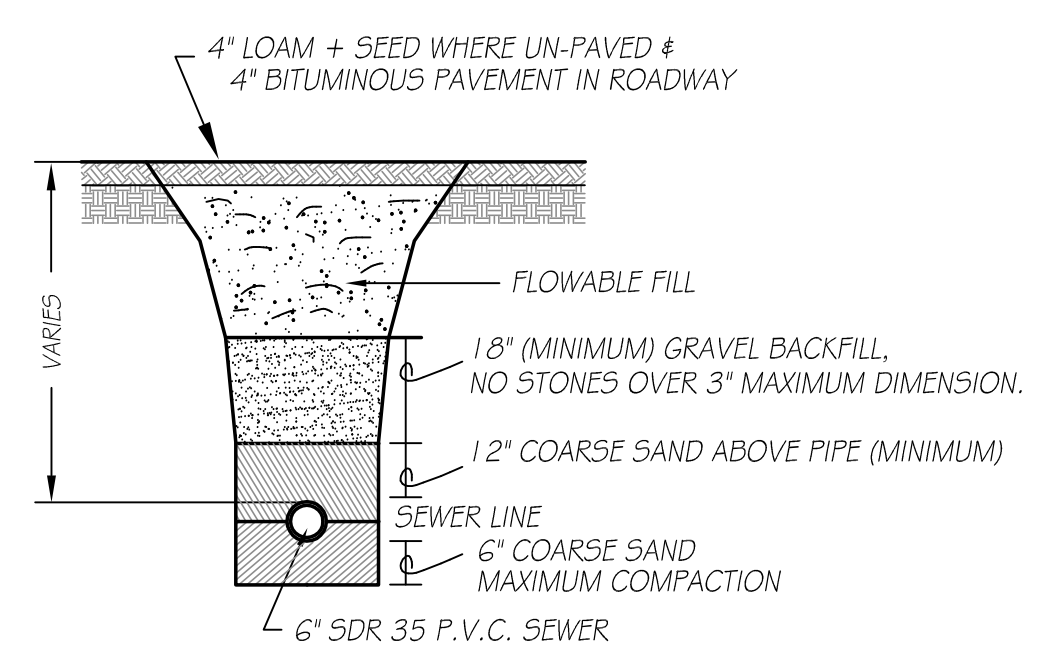
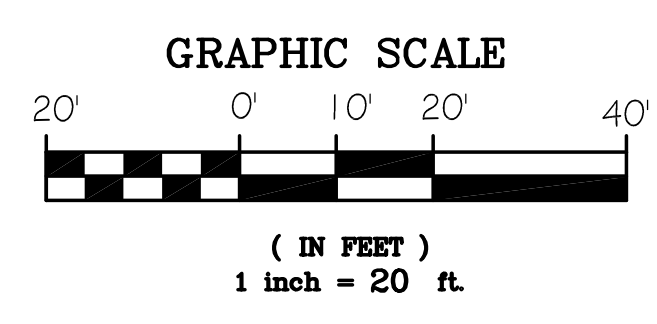
PLAN ACCOMPANYING THE PETITION OF OXFORD STREET LLC FOR A PROPOSED PIER, GANGWAY, AND FLOATS AT NEW BEDFORD/FAIRHAVEN UPPER HARBOR IN FAIRHAVEN, MA



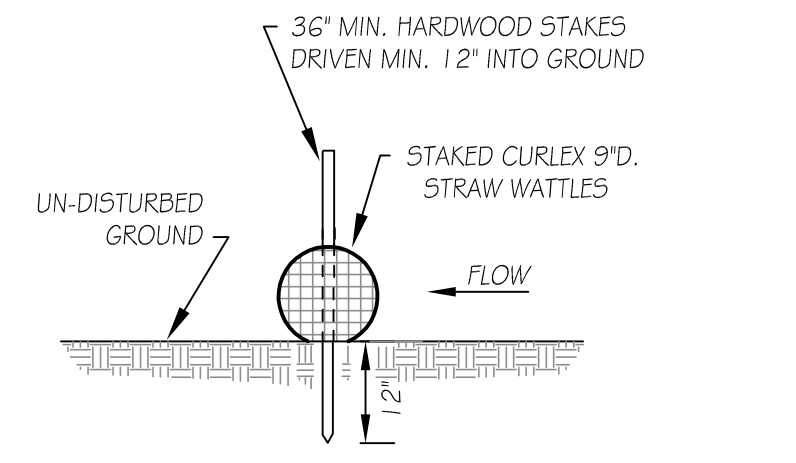
**LOCUS PLAN**  
1 INCH = 2000 FT. ±



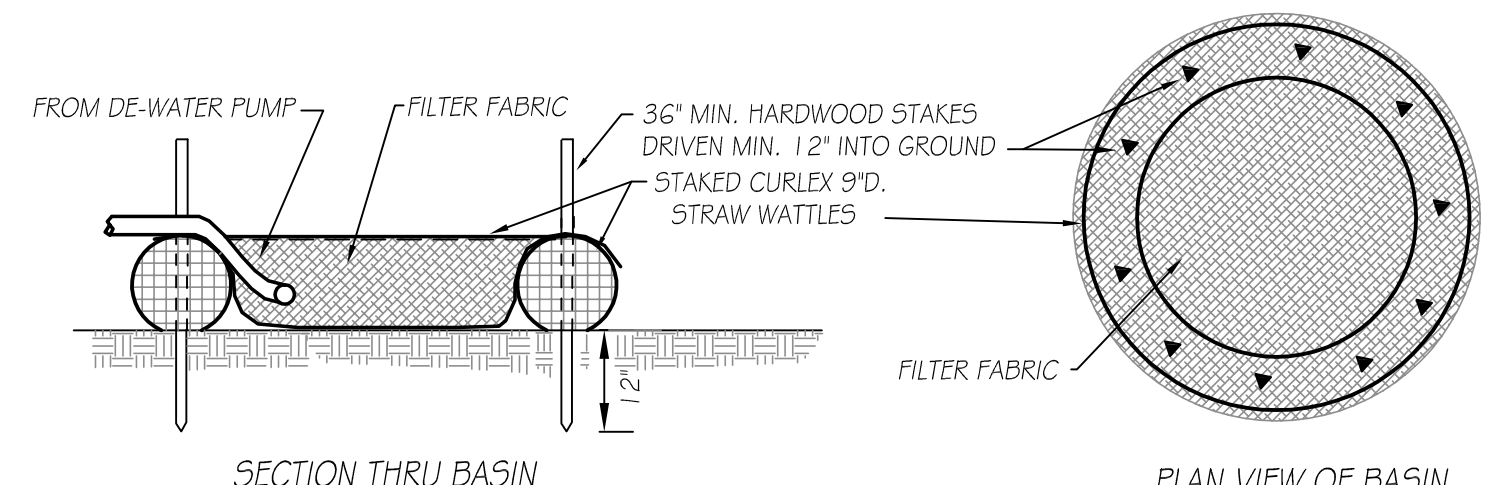
**SITE PLAN**  
SCALE: 1" = 20 FT.



**TRENCH PIPE BEDDING DETAIL**  
NOT TO SCALE

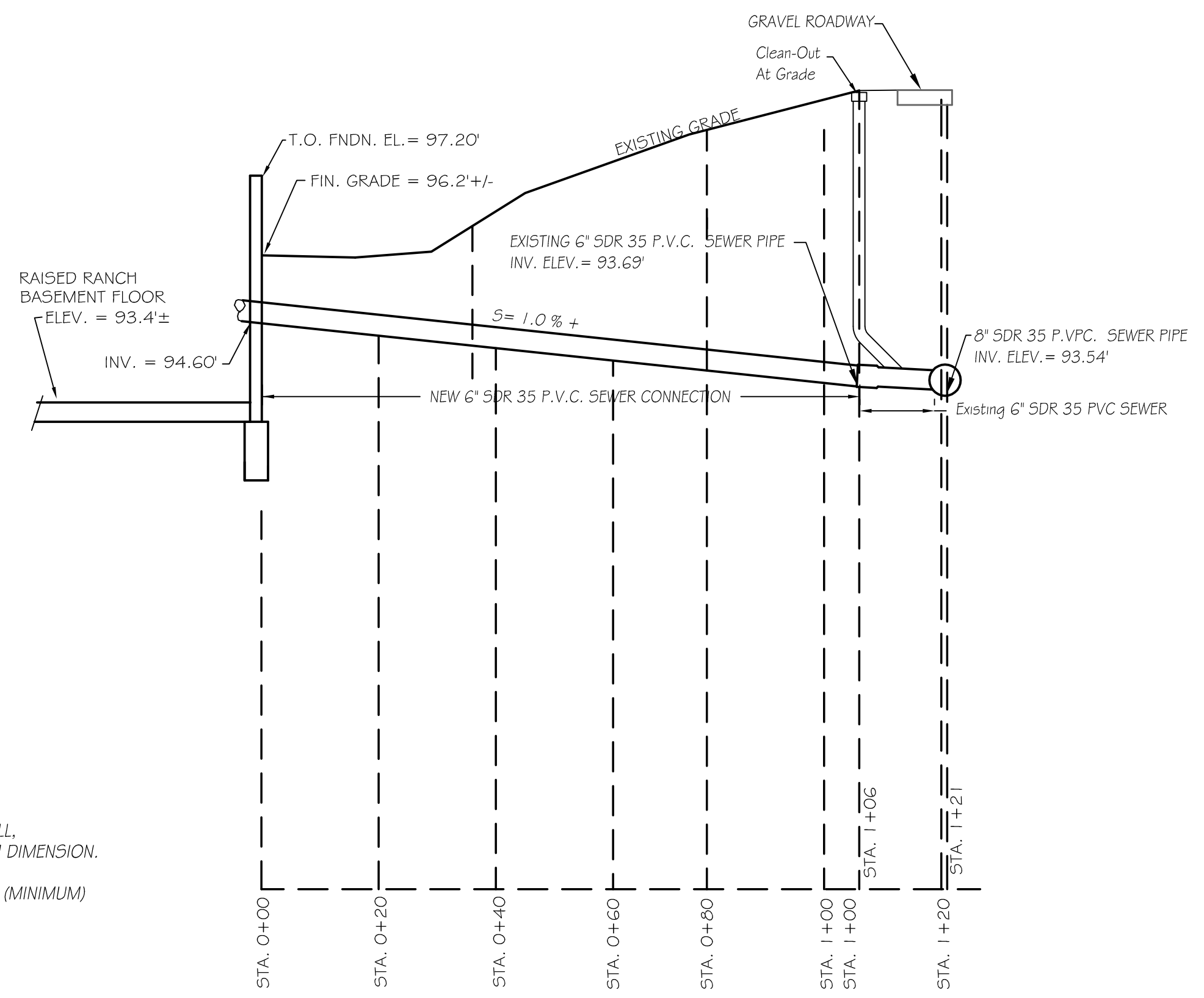


**SILTATION BARRIER DETAIL**  
N.T.S.



**DE-WATERING SILT TRAP**  
NOT TO SCALE

NOTE:  
1. ALL EXCAVATION BELOW THE GROUND WATER TABLE SHALL BE DE-WATERED WITH PUMP DISCHARGE TO DE-WATERING SILT TRAP.



**SEWER PROFILE**

HORIZONTAL: 1" = 20 FT.  
VERTICAL: 1" = 2 FEET

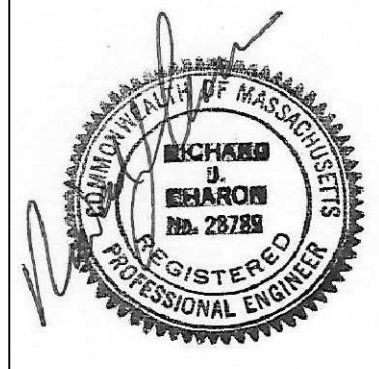
**SPECIFICATIONS:**

- SEWER PIPE SHALL BE S.D.R. 35 P.V.C. PIPE WITH GASKETED JOINTS, LAID TRUE TO GRADE. PIPE SHALL BE BEDDED IN COMPACTED SAND AS SHOWN ON PIPE BEDDING DETAIL. PIPE SHALL BE INSPECTED IN PLACE BY THE ENGINEER AND THE FAIRHAVEN B.P.W. REPRESENTATIVE PRIOR TO FINAL COVER.
- OWNER OF SUBJECT LOT ENJOYS RIGHTS OF EASEMENT OVER LOT 83 FOR INSTALLATION OF SEWER CONNECTION FROM PROPOSED HOUSE #89 AND A PRIVATE SEWER INSTALLED IN STONE STREET.

**GENERAL NOTES:**

- NOTE 'A': THE SUBJECT PARCEL IS SHOWN AS LOT 15 OF ASSESSORS MAP 30B, COMPRISED OF LOTS 15 THRU 20.  
 NOTE 'B': ZONING IS RESIDENCE A WITH MINIMUM FRONTAGE = 100 FT. & LOT AREA = 15,000 S.F. SETBACKS ARE: FRONT = 20 FT.; SIDE = 10 FT. & REAR = 30 FT. MAX. BUILDING COVERAGE = 30%; MAX. LOT COVERAGE = 50% PROPOSED BUILDING COVERAGE = 1,776 S.F. / 13,286 S.F. = 13.4% PROPOSED LOT COVERAGE = (1,776 S.F. + 626 S.F.) / 13,286 S.F. = 18.1% PROPOSED HOUSE SETBACKS REQUIRE APPROVAL FROM THE ZONING BOARD OF APPEALS.  
 NOTE 'C': THE DWELLING SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DELINEATED ON F.E.M.A. COMMUNITY PANEL NO. 25005C0413G DATED JULY 6, 2021.  
 NOTE 'D': NOTIFY DIG-SAFE CENTER, LOCAL UTILITIES AND FAIRHAVEN B.P.W. 72 HOURS PRIOR TO START OF WORK!  
 NOTE 'E': WETLANDS DELINEATION (FLAGS #1 - 9) WAS PERFORMED BY SABATIA, INC.; REVISED FLAGS #1A - 3A WERE SET BY CONSERVATION AGENT AT 1/11/92 SITE INSPECTION.  
 NOTE 'F': NO WORK IS PROPOSED WITHIN 100 FT. OF THE PERENNIAL STREAM.

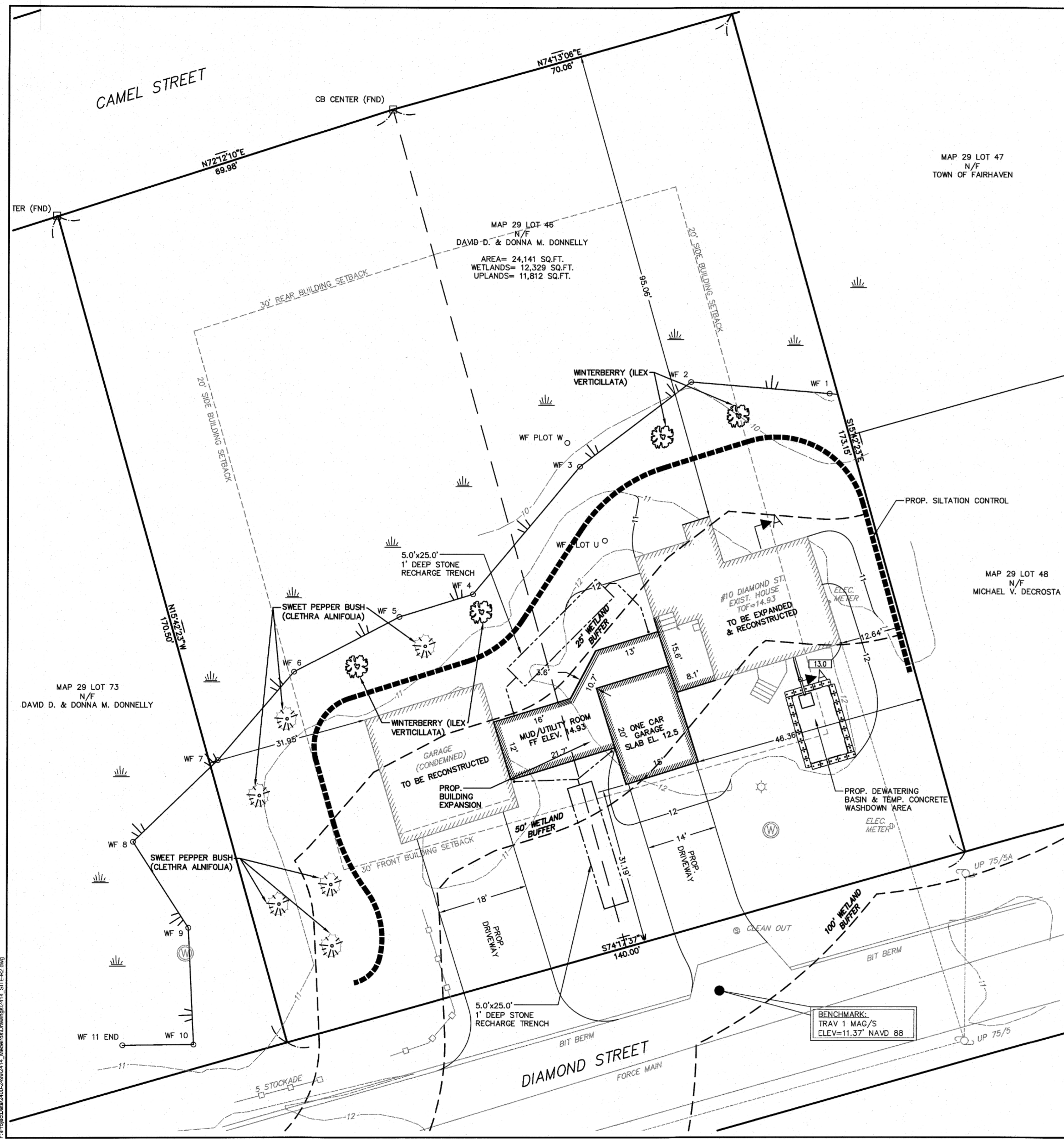
**PLAN OF SITE, PROPOSED HOUSE & SEWER CONNECTION**  
PREPARED FOR  
**DANIEL POUNDS**  
89 AKIN STREET  
FAIRHAVEN, MASS.



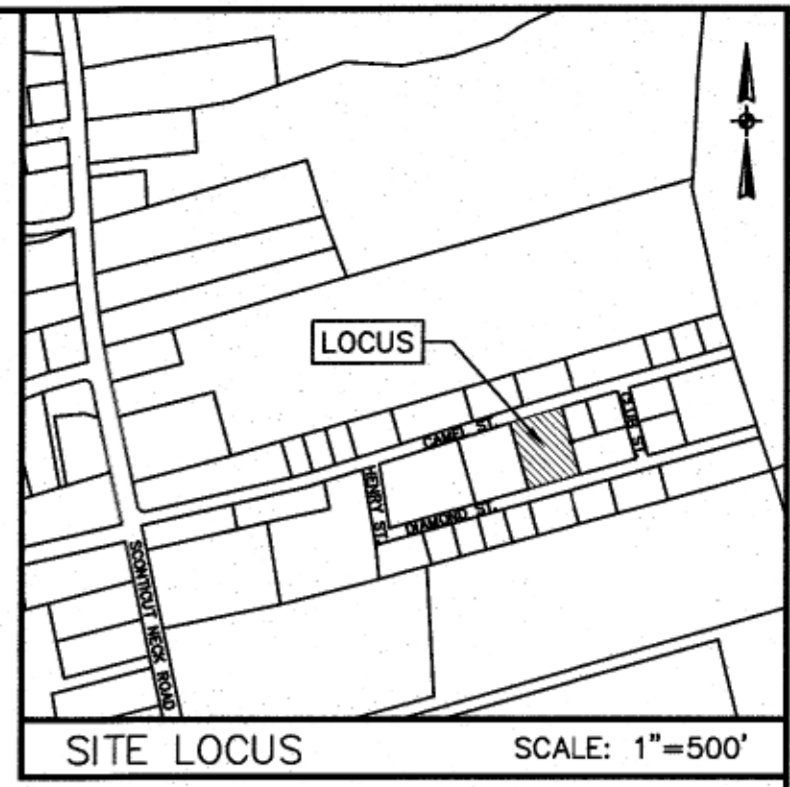
**CAI** Charon Associates, Inc.  
Consulting Engineers  
323 Neck Road - Rochester, MA 02770  
Tel: 508-763-8362 Fax: 508-763-9582

SCALE: AS NOTED  
DATE: NOVEMBER 22, 2021  
REV. 1: FEB. 1, 2022

DWG. NO.  
**L-1**



RURAL RESIDENCE DISTRICT (RR)		
REGULATION	REQUIREMENT	PROVIDED
MIN. LOT AREA	30,000 S.F.	24,141 S.F.
LOT FRONTAGE	140 FT.	140 FT.
FRONT SETBACK	30 FT.	31.09 FT. (MIN.)
SIDE SETBACK	20 FT.	12.64 FT. (EXIST.)
REAR SETBACK	30 FT.	95.06 FT. (MIN.)
CONTIGUOUS UPLAND	24,000 S.F.	11,812 S.F.
MAX. BUILDING HEIGHT	35 FT.	< 35 FT.
MAX. LOT COVERAGE	25%	13.4%
MAX. BLDG. COVERAGE	15%	9.2%



- NOTES:
1. EXISTING CONDITIONS AND PROPERTY LINE INFORMATION SHOWN ON THIS PLAN WAS BASED ON RECORD PLANS AND DEED AND AN ON-THE-GROUND FIELD SURVEY PERFORMED BY MADDIGAN LAND SURVEYING, LLC IN APRIL 2021.
  2. ALL ELEVATIONS ARE REFERENCED TO THE NAVD 88 DATUM.
  3. THE SUBJECT PARCEL IS SHOWN AS TOWN OF FAIRHAVEN ASSESSORS MAP 29 LOT 46 N/F DAVID D. & DONNA M. DONNELLY.
  4. THE SITE IS LOCATED WITHIN ZONE AE (EL 14 FEET) AS DETERMINED BY FIRM COMMUNITY PANEL NO. 25005C0501F, EFFECTIVE DATE 7/7/2009.
  5. RESOURCE AREA DELINEATION PERFORMED BY SABATIA, INC. IN APRIL 2021.
  6. THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. UNDERGROUND UTILITIES SHOWN ARE FROM FIELD OBSERVATION AND THE BEST AVAILABLE RECORD INFORMATION AND ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND PIPES OR STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES RELATIVE TO THE LOCATION AND ELEVATION OF ALL EXISTING LINES.
  7. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811, 72 HOURS PRIOR TO ANY EXCAVATION AND/OR SUBSURFACE TESTING TO INFORM THE UTILITY COMPANIES OF ANY EXCAVATION.
  8. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE UNDERGROUND GAS AND OVERHEAD ELECTRIC, TELEPHONE AND CATV WITH THE RESPECTIVE UTILITY PROVIDERS.

DEED REFERENCE:  
DEED BOOK 3546 PG 78

PLAN REFERENCE:  
PLAN BOOK 150 PG 54  
PLAN BOOK 44 PG 139  
PLAN BOOK 100 PG 37

**FIELD ENGINEERING CO., INC.**  
CONSULTING ENGINEERS

11D INDUSTRIAL DRIVE  
P.O. BOX 1178  
MATTAPAN, MA 02739  
TEL: (508) 758-2749  
FAX: (508) 758-2849

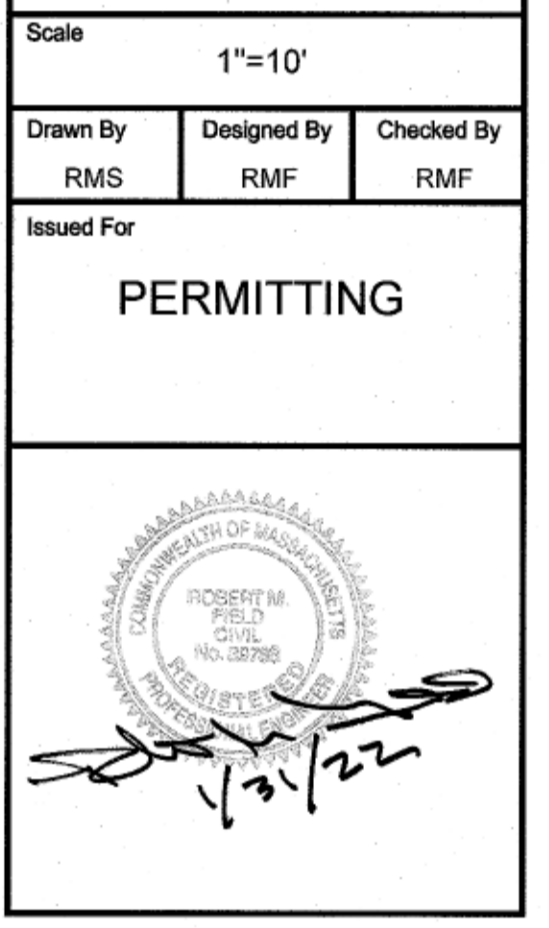
Revisions			
No.	Description	Date	Apprv.
3	REVISE GRADING & SILTATION CONTROL LOCATION	1/28/2022	RMF
2	REVISE BUILDING FOOTPRINT	1/15/2022	RMF
1	REVISE BUILDING FOOTPRINT	12/01/2021	RMF

Date: 11/12/2021

Scale: 1"=10'

Drawn By: RMS  
Designed By: RMF  
Checked By: RMF

Issued For: PERMITTING



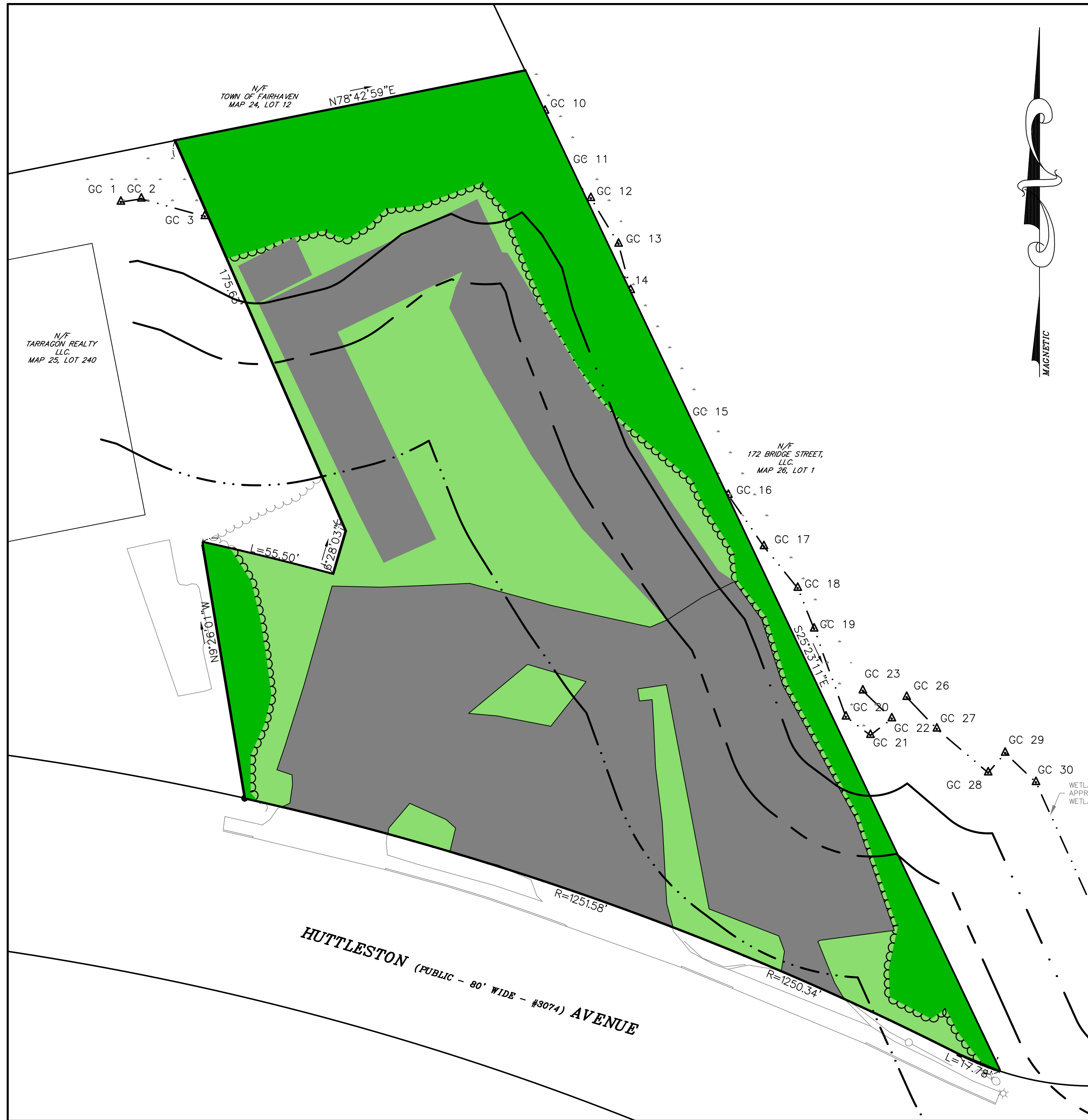
PROPOSED SITE DEVELOPMENT  
JAMIE MEDEIROS

10 DIAMOND STREET  
FAIRHAVEN, MASSACHUSETTS

Drawing Title: SITE PLAN

Project No. 2414      Sheet 1 OF 1

1



EXISTING CONDITIONS  
SCALE: 1"=30'



PROPOSED CONDITIONS  
SCALE: 1"=30'

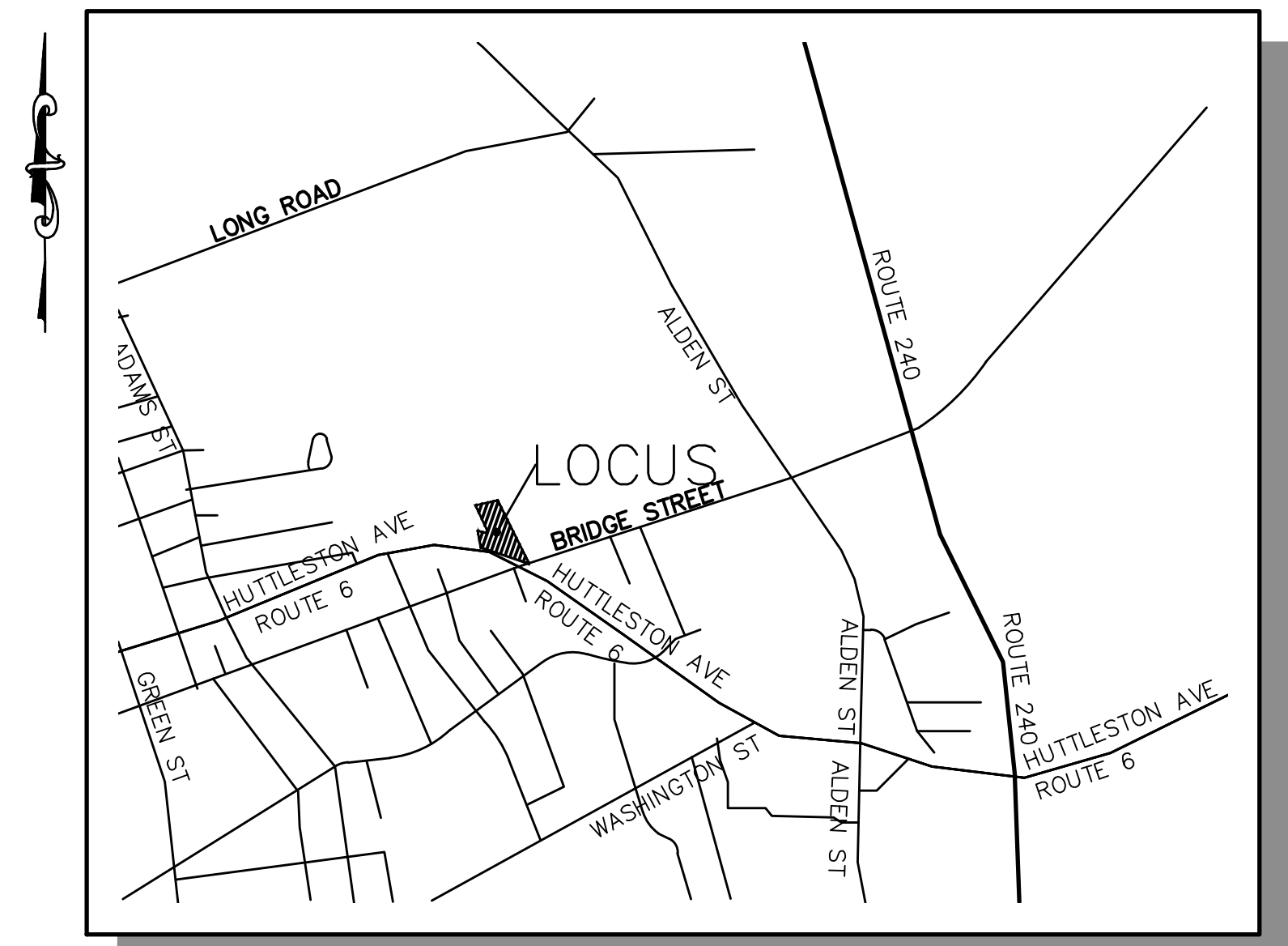
# SITE PLANS FOR WASH ASHORE CAR WASH

LOCATED AT  
128 HUTTLESTON AVENUE  
FAIRHAVEN, MASSACHUSETTS 02719  
DATE: JANUARY 21, 2022

INDEX OF PLANS		
SHEET NO.	TITLE	SCALE
1	COVER SHEET	1" = 50'
2	EXISTING CONDITIONS PLAN	1" = 20'
3	SITE LAYOUT PLAN	1" = 20'
4	GRADING AND DRAINAGE PLAN	1" = 20'
5	UTILITY PLAN	1" = 20'
6	DEMOLITION PLAN	1" = 20'
7	LANDSCAPE PLAN	1" = 20'
8	DETAIL PLAN	N.T.S.
9	DETAIL PLAN	N.T.S.



OVERALL LOCUS PLAN  
SCALE: 1" = 50'



LOCUS MAP  
SCALE: 1" = 1,000'

SEE SHEET 2 FOR GENERAL NOTES  
SEE SHEET 4 FOR CONSTRUCTION  
NOTES AND LEGEND



**OWNER(S):**

TEAM VENTURES TWO, LLC  
PO BOX 1805  
SAGAMORE BEACH, MA 02562

**APPLICANT:**

TEAM VENTURES LLC,  
DBA WASH ASHORE CAR WASH  
PO BOX 1805  
SAGAMORE BEACH, MASSACHUSETTS 02719

SITE PLAN APPROVED \_\_\_\_\_

DATE \_\_\_\_\_

**ENGINEER:**

**Atlantic** DESIGN ENGINEERS, INC.  
P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

FILE: 3269.00-SITE	
Sheet	of
1	9
JOB NUMBER	
3269.00	

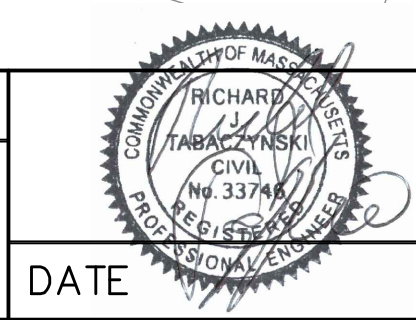




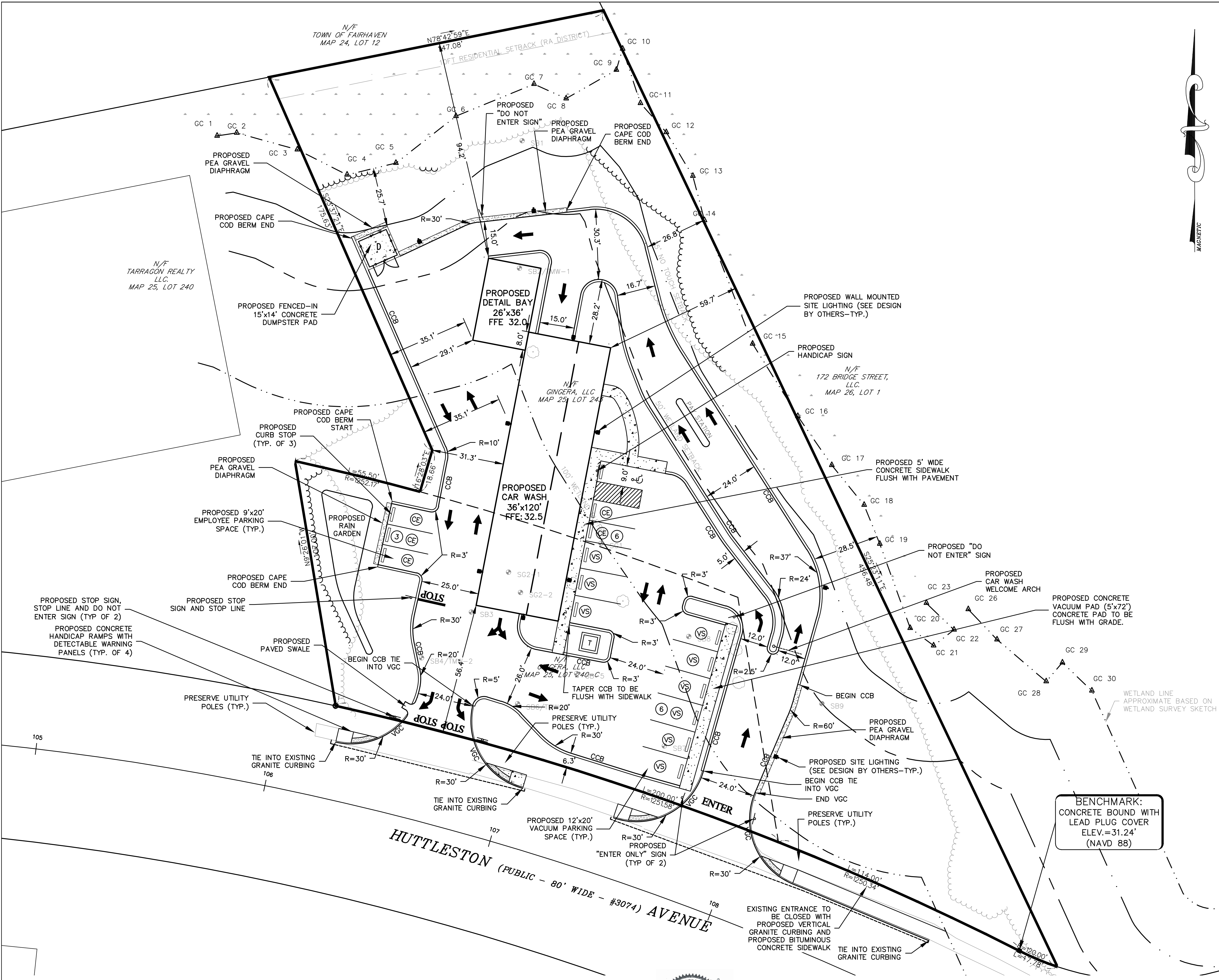
LEGEND	
--- (dashed line)	25 NO TOUCH SETBACK
--- (dashed line)	50 WETLAND SETBACK
--- (dashed line)	100' WETLAND BUFFER
--- (dashed line)	EXISTING EDGE OF PAVEMENT W/ VERTICAL GRANITE CURBING
--- (dashed line)	EXISTING EDGE OF PAVEMENT
--- (dashed line)	EXISTING 1 FOOT CONTOUR LINE
--- (dashed line)	EXISTING 5 FOOT CONTOUR LINE
--- (dashed line)	EXISTING WATER LINE
--- (dashed line)	EXISTING GAS LINE
--- (dashed line)	EXISTING OVERHEAD WIRES
--- (dashed line)	EXISTING UNDERGROUND UTILITY
--- (dashed line)	EXISTING TREE LINE/BRUSH LINE
--- (dashed line)	EXISTING DRAINAGE CATCH BASIN
--- (dashed line)	EXISTING DRAINAGE MANHOLE
--- (dashed line)	EXISTING SEWER MANHOLE
--- (dashed line)	EXISTING UTILITY POLE
--- (dashed line)	EXISTING HYDRANT
--- (dashed line)	EXISTING WATER VALVE
--- (dashed line)	CONCRETE BOUND W/DRILL HOLE
--- (dashed line)	BORING SAMPLE
--- (dashed line)	EXISTING CONCRETE
--- (dashed line)	EXISTING BRICK PAVERS
--- (dashed line)	EXISTING STONE DRIVEWAY
--- (dashed line)	EXISTING RIP-RAP

**GENERAL NOTES:**

- OWNER OF RECORD:  
GINGERA LLC  
331 UNION STREET  
NEW BEDFORD, MA 02740  
BOOK 10587 PAGE 116
- THE SUBJECT PROPERTY IS SHOWN AS LOT 243 AND 240C HUTTLESTON AVE. ON ASSESSORS MAP 25, LAND AREA IS APPROXIMATELY 1.54± ACRES.
- THE PROPERTY LIES WITHIN THE BUSINESS (B) ZONING DISTRICT BASED UPON A REVIEW OF THE TOWN OF FAIRHAVEN ZONING MAP.
- THE PROPERTY LINES SHOWN HEREON, ARE COMPILED FROM PLANS AND DEEDS OF RECORD AND FIXED TO RECORD MONUMENTS LOCATED AS PART OF A FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS, INC. AND HAVE BEEN ROTATED ONTO THE HORIZONTAL NORTH AMERICAN DATUM OF 1983 (NAD83), MASSACHUSETTS STATE PLANE, MAINLAND ZONE, BASED UPON A GPS SURVEY BY ATLANTIC DESIGN ENGINEERS, INC. IN OCTOBER AND NOVEMBER OF 2021.
- EXISTING CONDITIONS SHOWN HEREON IS BASED UPON A FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS, INC. IN OCTOBER OF 2021.
- THE PROPERTY LIES WITHIN FLOOD ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 25005C0394H, EFFECTIVE DATE JULY 6, 2021.
- THE PROPERTY IS NOT LOCATED WITHIN A ZONE II OR INTERIM WELHEAD PROTECTION AREA BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM AND IS NOT LOCATED WITHIN THE GROUNDWATER PROTECTION OVERLAY DISTRICT PER THE TOWN OF FAIRHAVEN ZONING MAP.
- THE SITE IS NOT LOCATED WITHIN AN ESTIMATED HABITAT OF RARE WILDLIFE OR A PRIORITY HABITAT OF RARE SPECIES BASED UPON A REVIEW OF THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM MAPS OBSERVED ON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
- THE PROPERTY DOES NOT LIE WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC) BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.



NO.	BY	DATE	REVISION



ZONING DISTRICT: B (BUSINESS DISTRICT) (PER TOWN OF FAIRHAVEN-CODE - CHAPTER 240 ZONING)		
	REQUIRED	PROVIDED
MINIMUM LOT SIZE:	15,000 SQFT	67,400 SQFT
MINIMUM FRONTAGE:	100'	332.0'±
MINIMUM YARDS:		
FRONT <sup>1</sup>	-	56.4'
REAR <sup>2</sup>	-	93.9'
SIDE <sup>2</sup>	-	31.3'
MAXIMUM LOT COVERAGE:	70%	±47.0%
CONTIGUOUS UPLAND:	14,250 SQFT	61,040 SQFT
% OF MINIMUM LOT AREA:	95%	90.6%
MAXIMUM BUILDING HEIGHT:	40'	<40'
MAXIMUM BUILDING COVERAGE:	25%	7.8%

- 1) MINIMUM OF 20FT REQUIRED WHEN NONE SPECIFIED
- 2) 10FT WHEN ABUTTING A RESIDENCE DISTRICT ONLY

LEGEND	
	25 NO TOUCH SETBACK
	50 WETLAND SETBACK
	100' WETLAND BUFFER
	EXISTING EDGE OF PAVEMENT W/ VERTICAL GRANITE CURBING
	EXISTING EDGE OF PAVEMENT
	EXISTING 1 FOOT CONTOUR LINE
	EXISTING 5 FOOT CONTOUR LINE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING UNDERGROUND UTILITY
	EXISTING TREE LINE/BRUSH LINE
	EXISTING DRAINAGE CATCH BASIN
	EXISTING DRAINAGE MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING UTILITY POLE
	EXISTING HYDRANT
	EXISTING WATER VALVE
	CONCRETE BOUND W/DRILL HOLE
	BORING SAMPLE
	EXISTING CONCRETE
	EXISTING BRICK PAVERS
	EXISTING STONE DRIVEWAY
	EXISTING RIP-RAP
	PROPOSED VACUUM PARKING SPACE
	PROPOSED CUSTOMER/EMPLOYEE PARKING SPACE
	PROPOSED TOTAL OF PARKING SPACES
	PROPOSED EDGE OF PAVEMENT W/CAPE COD BERM
	PROPOSED EDGE OF PAVEMENT W/VERTICAL GRANITE CURB
	PROPOSED EDGE OF PAVEMENT W/ MONOLITHIC (CAST-IN-PLACE) CURB

PARKING REQUIREMENTS			
	AREA	REQUIRED	PROVIDED
OTHER USE: (CAR WASH)	-	AS DETERMINED BY PLANNING BOARD	15 SPACES
TOTAL:		AS DETERMINED BY PLANNING BOARD	15 SPACES*

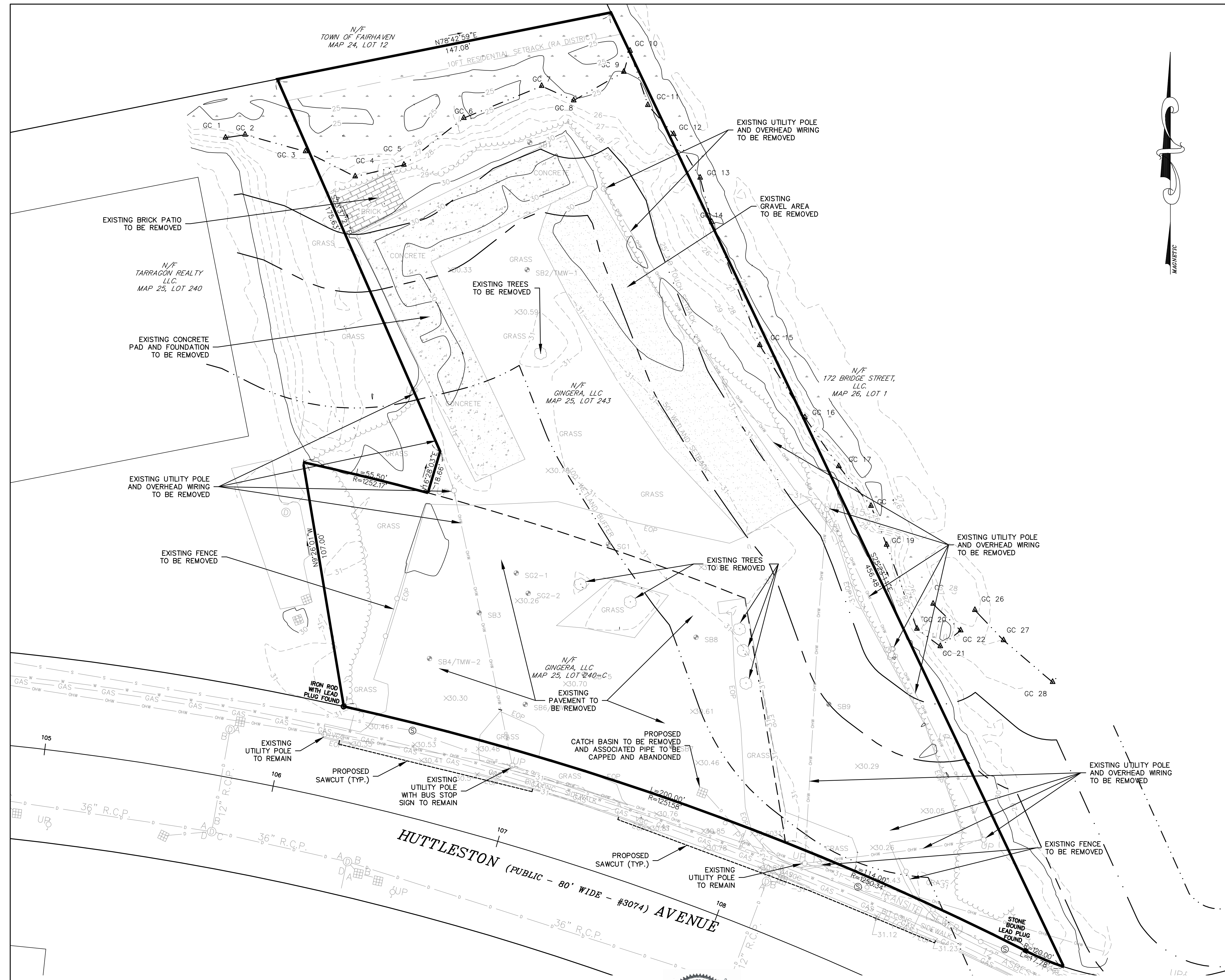
\* INCLUDES (1) HANDICAP PARKING SPACE.

IMPERVIOUS COVERAGE SUMMARY	
EXISTING	PROPOSED
36,800 S.F.	32,409 S.F.

SEE SHEET 2 FOR GENERAL NOTES  
SEE SHEET 4 FOR CONSTRUCTION NOTES AND LEGEND



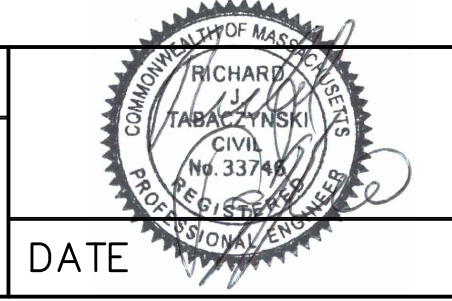




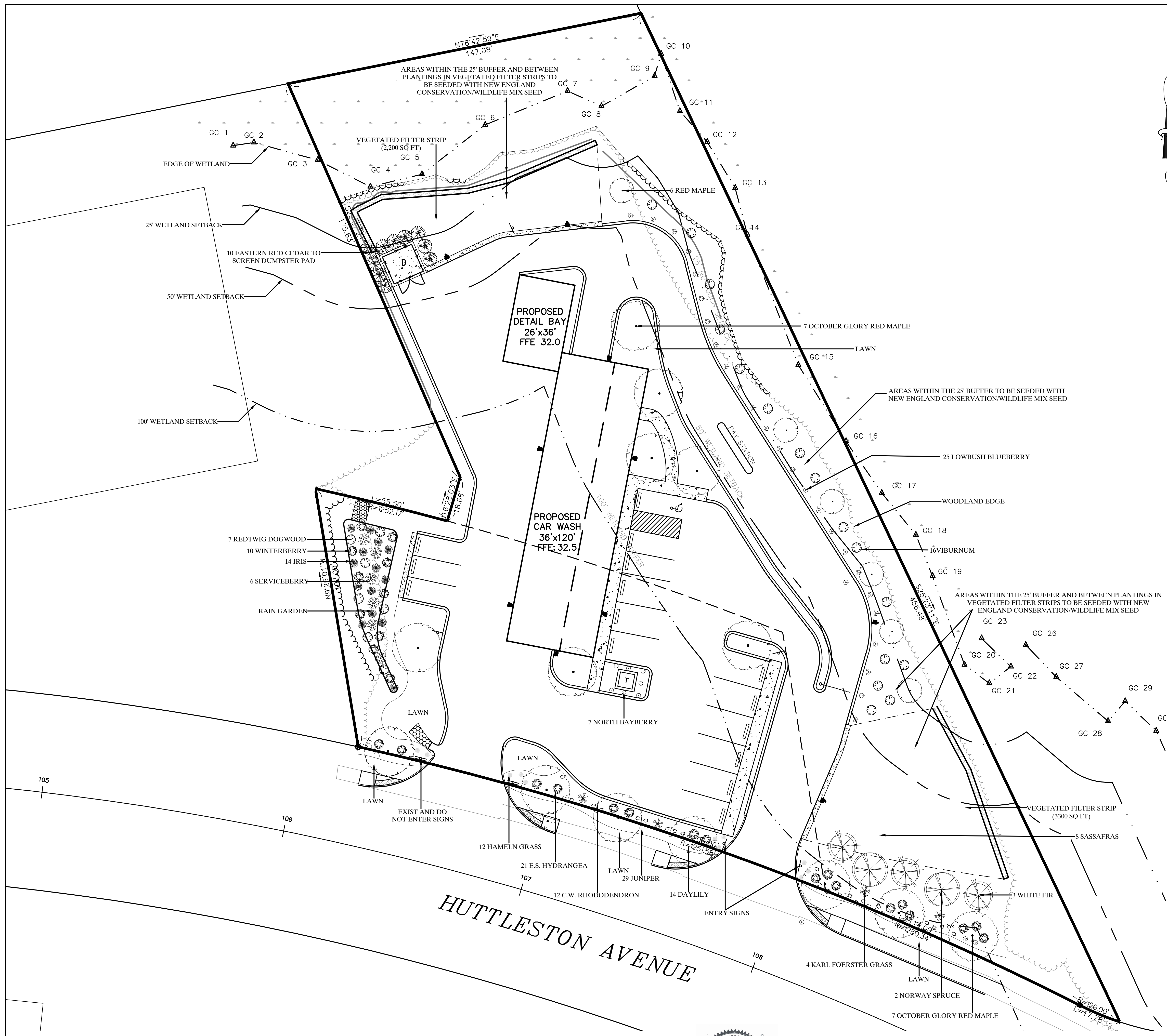
- DEMOLITION NOTES:**
1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
  2. LOCATION BUILDING DEMOLITION EQUIPMENT THROUGH THE STRUCTURE AND REMOVE MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
  3. PROVIDE APPROPRIATE SHORING, BRACING AND SUPPORTS TO PREVENT UNCONTROLLED MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
  4. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS, SLABS, AND OTHER MATERIALS WITHIN THE AREA DESIGNATED ON THE PLANS.
  5. ERECT AND MAINTAIN PROTECTED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION.
  6. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE TO STRUCTURES, ADJACENT BUILDINGS, AND PROPERTY AND IN A MANNER THAT WILL PREVENT PERSONNEL INJURY TO ALL PERSONS.
  7. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION FROM THE APPROPRIATE AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED.
  8. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF AIRBORNE DUST, DIRT, AND DEBRIS. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
  9. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
  10. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH COMPACTED GRAVEL, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
  11. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENT.
  12. DISCONNECT, SHUT OFF AND SEAL PER UTILITY COMPANY SPECIFICATIONS ALL UTILITIES SERVICING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK AND PROTECT FOR POSITION ALL ACTIVE UTILITY LINES THAT ARE TO REMAIN IN SERVICE AFTER DEMOLITION PER UTILITY COMPANY SPECIFICATIONS. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
  13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIGSAFE, THE TOWN OF FAIRHAVEN DEPARTMENT OF PUBLIC WORKS, AND ALL UTILITY COMPANIES A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION ACTIVITIES FOR LOCATION OF ALL UNDERGROUND UTILITIES AND UTILITY COMPANY AND DPW APPROVALS.
  14. A REPRESENTATIVE OF THE TOWN OF FAIRHAVEN WATER SUPPLY DIVISION MUST WITNESS THAT EXISTING SERVICES ARE CUT AND CAPPED AT THE WATER MAIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE WATER SUPPLY DIVISION AND SCHEDULE AN INSPECTION.

SEE SHEET 2 FOR GENERAL NOTES  
 SEE SHEET 4 FOR CONSTRUCTION NOTES AND LEGEND  
 SEE SHEET 5 FOR UTILITY NOTES

**NOTE TO CONTRACTOR**  
 ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN HEREON.  
 CONTRACTOR SHALL NOTIFY DIGSAFE PRIOR TO COMMENCING DEMOLITION ACTIVITIES



NO.	BY	DATE	REVISION



PLANT LIST					
	COMMON NAME	LATIN NAME	QNTY	SIZE	
TREES	OCTOBER GLORY RED MAPLE	ACER RUBRUM 'OCTOBER GLORY'	14	4" CAL.	
	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	10	6-7'	
	NORWAY SPRUCE	PICEA ABIES	2	7-8'	
	WHITE FIR	ABIES CONCOLOR	3	7-8'	
SHRUBS	BAR HARBOR JUNIPER	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	29	3 GAL.	
	CUNNINGHAM WHITE RHODODENDRON	RHODODENDRON 'CUNNINGHAM WHITE'	12	7 GAL.	
	ENDLESS SUMMER HYDRANGEA	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	21	7 GAL.	
PERENNIALS	DWARF HAMELN GRASS	PENNESETUM ALOPECUROIDES 'HAMELN'	12	3 GAL.	
	KARL FOERSTER GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	4	3 GAL.	
	STELLA D ORO DAYLILY	HEMEROCALLIS STELLA D ORO	14	1 GAL.	
TREES	RED MAPLE	ACER RUBRUM	6	6-8"	
	SHRUBS	VIBURNUM	VIBURNUM DENTATUM	16	24"
		NORTHERN BAYBERRY	MYRICA PENNSYLVANICA	7	24"
LOWBUSH BLUEBERRY		VACCINIUM ANGSTIFOLIUM	25	24"	
GROUND COVER	NE CONSERVATION/WILDLIFE MIX		TBD		
RAINGARDEN					
TREES	SERVICEBERRY	AMELANCHIER CANADENSIS	6	6-8"	
	SHRUBS	WINTERBERRY	ILEX VERTICILLATA	10	24"
REDTWIG DOGWOOD		CORNUS SERICEA	7	24"	
PERENNIALS	IRIS	IRIS VERSICOLOR	14	1 GAL.	

**PLANTING NOTES**

- LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- CONTRACTOR TO VERIFY ALL UTILITIES ON PROPERTY AND TO PROTECT ALL UTILITIES DURING EXCAVATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN THE PLANT LIST, THE NUMBER OF PLANTS SHOWN ON THE LIST WILL TAKE PRECEDENCE.
- ALL CONTAINER MATERIAL TO BE GROWN IN CONTAINER A MINIMUM OF SIX MONTHS.
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ACCORDING TO THE AMERICAN ASSOCIATION OF NURSERYMEN.
- CONTRACTOR SHALL REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM TIME OF PROVISIONAL ACCEPTANCE.
- ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS AND THE PLACEMENT SHALL BE APPROVED BY THE LANDSCAPE DESIGNER BEFORE THE INSTALLATION.
- ALL DISTURBED AREAS NOT TO BE PAVED OR PLANTED SHALL BE LOAMED AND SEEDED AS SHOWN. SEE SPECIFICATIONS FOR SOIL PREPARATION AND SEED MIX.
- TWO INCH (2") DEEP, FINELY SHREDDED BARK MULCH WILL BE INSTALLED AROUND ALL TREES AND SHRUBS THAT ARE ISOLATED FROM GROUND COVER AREAS AND GENERAL SHRUB MASSES.
- ALL PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE DESIGNER ON SITE PRIOR TO INSTALLATION. THE LANDSCAPE DESIGNER WILL TAG ALL TREES AT THE NURSERY AND INSPECT THEM AFTER DELIVERY TO THE SITE. SEE SPECIFICATIONS FOR TAGGING, INSPECTION, AND ACCEPTANCE OF PLANT MATERIAL.
- LANDSCAPE DESIGNER SHALL CONFIRM PLANT LIST AND APPROVE SUBSTITUTIONS OF PLANT VARIETIES PRIOR TO ORDERING OF MATERIAL.
- SOIL MIX: 1/3 PEAT MOSS, 1/3 SCREENED LOAM, 1/3 DEHYDRATED MANURE.
- THE OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT SELECTIONS WITH PLANTS OF SIMILAR CHARACTERISTICS IF THE SPECIFIED PLANTS ARE NOT AVAILABLE IN ACCEPTABLE QUANTITIES OR CONDITIONS.

**NOTES:**

1. PLANTING AND LANDSCAPING DESIGN, LIST AND NOTES ARE FROM LANDSCAPE PLAN BY ML CURADOSSI DATED 12/11/19.

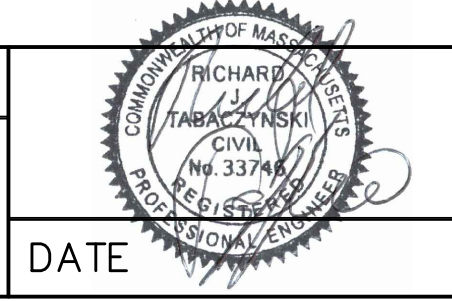
**GENERAL NOTES**

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND UTILITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE DESIGNER.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES BY NOTIFYING DIG-SAFE AT 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL CONDUCT PRELIMINARY INVESTIGATIONS INCLUDING ALL NECESSARY EXCAVATION TO DETERMINE IF THE WORK CAN BE DONE AS SHOWN ON THE PLANS. CHANGES MAY BE MADE AS REQUIRED BY FIELD CONDITIONS AND AS DIRECTED BY THE LANDSCAPE DESIGNER.
- ALL EXISTING UTILITIES MAY NOT BE SHOWN ON THE DRAWING. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DETERMINING THE EXACT LOCATION, SIZE, AND TYPE OF ALL UNDERGROUND UTILITIES AND FOR PROTECTING ALL LINES DURING CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.

**Atlantic** DESIGN ENGINEERS, INC.  
 P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

Designed by : \_\_\_\_\_  
 Drawn by : \_\_\_\_\_  
 Checked by : \_\_\_\_\_  
 Survey chk. by : \_\_\_\_\_  
 Approved by : \_\_\_\_\_

**SCALE**  
 SCALE 1" = 20'  
 0 5 10 20 40



NO.	BY	DATE	REVISION

PREPARED FOR:  
**TEAM VENTURES TWO, LLC**  
 DBA WASH ASHORE CAR WASH  
 PO BOX 1805  
 SAGAMORE BEACH, MA 02562

**LANDSCAPING PLAN**  
 FOR  
**WASH ASHORE CAR WASH**  
 FAIRHAVEN, MASSACHUSETTS 02719  
 JANUARY 21, 2022

FILE: 3269.00-SITE	Sheet	of
	7	9
JOB NUMBER	3269.00	

