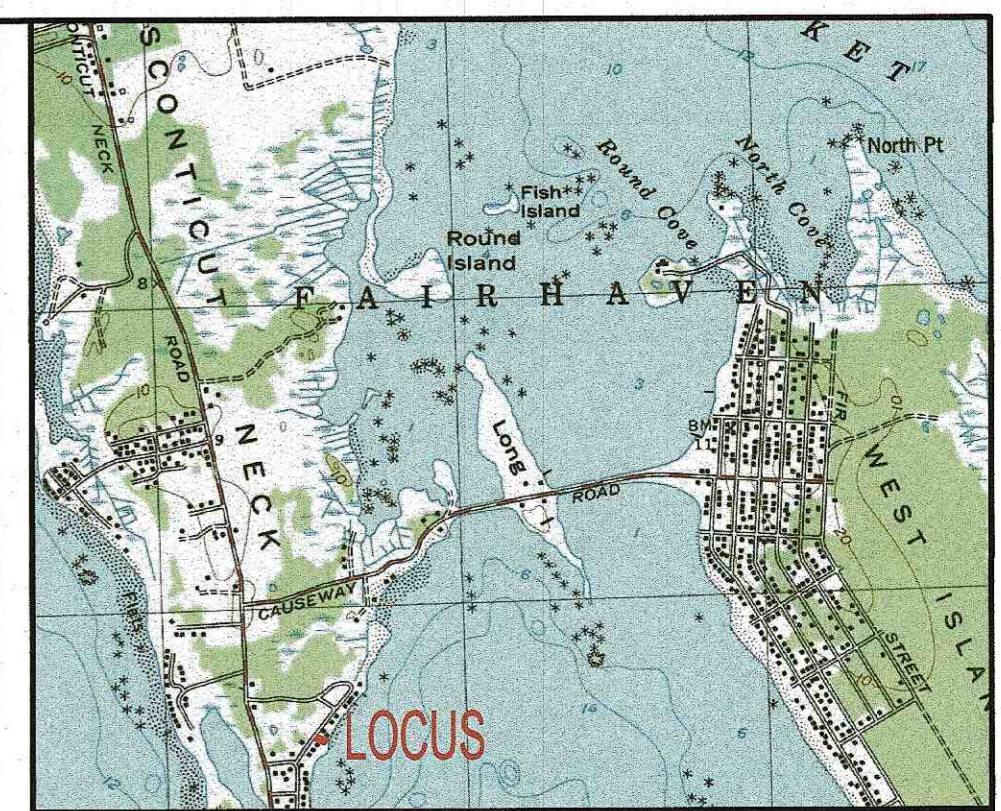


EXISTING CONDITIONS & DEMOLITION

SCALE: 1"=10'
0 10 20 40

NOTES:

- CONTRACTOR SHALL PROVIDE AND MAINTAIN STAKED SILT FENCE EROSION CONTROL BARRIERS AS SHOWN ON THE PLANS. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL VEGETATIVE OR STABILIZED COVER HAS BEEN FIRMLY ESTABLISHED.
- ALL DEBRIS FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND NOT STOCKPILED.
- FILL ALL EXCAVATED AREAS WITH COARSE SAND TO MATCH ADJACENT FINISH GRADE AS A TEMPORARY MEASURE PRIOR TO FINAL CONSTRUCTION.
- CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL EXISTING ABOVE AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. ALL EXISTING UTILITIES TO THE EXISTING DWELLING SHALL BE REMOVED, CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER.
- CONTRACTOR SHALL CONFIRM THE LOCATION OF THE EXISTING WATER SERVICE PRIOR TO CONSTRUCTION. THE EXISTING WATER SERVICE SHALL BE REMOVED TO THE PROPERTY LINE AND A NEW CURB STOP SHALL BE INSTALLED. CONTRACTOR SHALL COORDINATE WITH THE FAIRHAVEN DEPARTMENT.
- THE EXACT LOCATION AND DETAILS OF CONSTRUCTION FOR THE EXISTING SEWAGE DISPOSAL SYSTEM IS NOT KNOWN. CONTRACTOR TO CONFIRM AT TIME OF CONSTRUCTION AND COORDINATE WITH THE HEALTH DEPARTMENT AND ENGINEER. THE EXISTING SYSTEM SHALL BE EXCAVATED AND DISPOSED OF OFF SITE, BACKFILL WITH CLEAN TITLE V SAND.



LOCUS MAP : SCALE 1" = 2083'

LOT DATA:

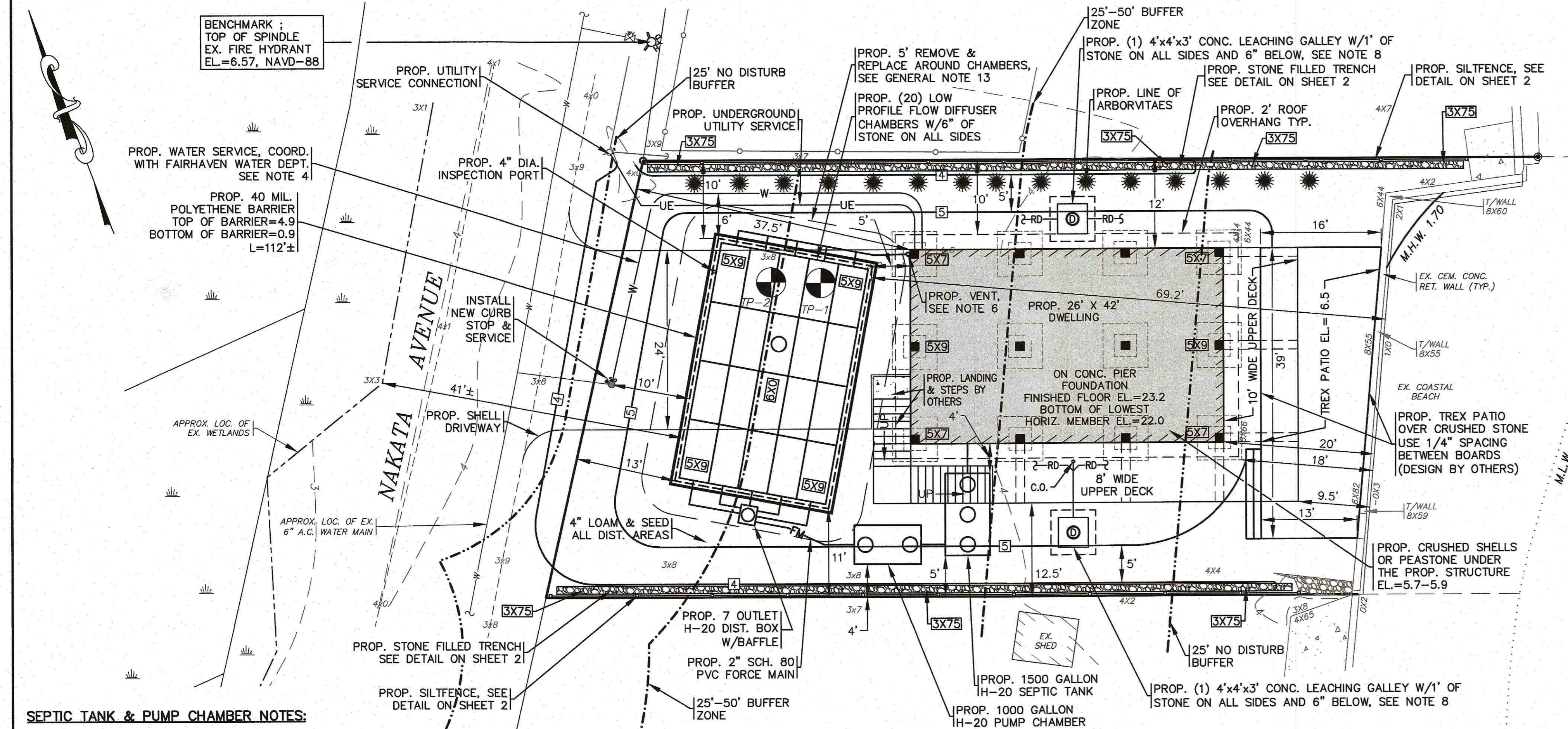
ASSESSORS : MAP 43 / LOT 119
ADDRESS: 29 NAKATA AVENUE
OWNER:
29 NAKATA AVENUE REALTY TRUST
473 WASHINGTON STREET
ATTLEBORO, MA 02703

ZONING DATA:

ZONE: RURAL RESIDENCE (RR)
MINIMUM LOT AREA: 30,000 SQ.FT.
MINIMUM FRONTAGE: 140'
MINIMUM FRONT SETBACK: 30'
MINIMUM SIDE SETBACK: 20'
MINIMUM REAR SETBACK: 30'
MAXIMUM BUILDING HEIGHT: 35'
MAXIMUM LOT COVERAGE: 25%
(EXIST. LOT COVERAGE: 34%)
(PROP. LOT COVERAGE: 10.3%)
MAXIMUM BUILDING COVERAGE: 15%
(EXIST. BLDG. COVERAGE: 11.5%)
(PROP. BLDG. COVERAGE: 14.8%)

LEGEND

EXISTING	DESC.
	CONTOURS
	SPOT GRADES
	WETLANDS
	25' NO DISTURB ZONE
	25'-50' BUFFER ZONE
	100' BUFFER ZONE
	F.E.M.A. FLOOD ZONE
	LIMWA
	OVERHEAD WIRES
	UTILITY POLE
	GUY POLE
	WATER GATE VALVE
	WATER SHUTOFF/CURB STOP
	WATER LINE
	UNDERGROUND ELECTRIC
	TREE/BRUSH LINE
	FENCE
	REBAR
	DRILLHOLE
PROPOSED	DESC.
	CONTOURS
	SPOT GRADES
	EROSION CONTROL
	CHAIN LINK FENCE
	UNDERGROUND ELECTRIC
	WATER SERVICE
	FORCE MAIN
	REMOVE & DISPOSE
	ROOF DRAIN
	CLEAN OUT (C.O.)



PROPOSED CONDITIONS

SCALE: 1"=10'
0 10 20 40

NOTES:

- REFER TO ARCHITECTURAL AND STRUCTURAL FOUNDATION PLANS BY OTHERS FOR COMPLETE DWELLING & DECK DIMENSIONS AND DETAILS OF CONSTRUCTION. CONTRACTOR SHALL CONFIRM FINISHED FLOOR ELEVATION WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SHALL COMPLY WITH ALL ASCE 24-14, MASSACHUSETTS AND INTERNATIONAL BUILDING CODE REQUIREMENTS, AS APPLICABLE FOR CONSTRUCTION IN FLOOD ZONES. REFER TO ARCHITECTURAL & STRUCTURAL PLANS BY OTHERS.
- CONTRACTOR SHALL SIZE, PROVIDE AND MAINTAIN DEWATERING EQUIPMENT FOR THE CONTROL, COLLECTION AND DISPOSAL OF GROUND WATER WHERE NECESSARY TO COMPLETE THE WORK. FINAL SIZE AND LOCATION FOR DEWATERING EQUIPMENT SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AT TIME OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH OWNER ON LOCATION.
- CEMENT CONCRETE WASHOUT AREA SHALL BE A RING OF DOUBLE STAKED HAY BALES WITH SILTATION FENCE AND LINED WITH A 40 MIL. POLYETHYLENE BARRIER. FINAL WASHOUT LOCATION SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH OWNER ON LOCATION.
- WHERE THE NEW WATER SERVICE IS WITHIN 10 FEET OF THE LEACHING FIELD THE WATER LINE SHALL BE CONSTRUCTED OF CLASS 150 PRESSURE PIPE AND BE PRESSURE TESTED TO ASSURE WATERTIGHTNESS.
- FORCE MAIN TO SLOPE BACK A MINIMUM OF 1% TO THE PUMP CHAMBER.
- PROPOSED VENT SHALL BE INSTALLED ABOVE THE FLOOD ZONE ELEVATION. CONTRACTOR SHALL COORDINATE WITH OWNER FOR FINAL VENT LOCATION.
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR FINAL LOCATION OF THE UTILITY SERVICE CONNECTION AND FOR DETAILS OF CONSTRUCTION OF THE PROPOSED UNDERGROUND UTILITY SERVICE.
- DOWNSPOUTS FOR PROPOSED DWELLING SHALL BE PIPED TO THE 4'x4'x3' CONCRETE LEACHING GALLEYS. REFER TO ARCHITECTURAL PLANS BY OTHERS FOR PROPOSED DOWNSPOUT LOCATIONS. ALL ROOF DRAIN PIPE SHALL BE 4" ADS N-12 WITH 1.0% MINIMUM SLOPE OR AN APPROVED EQUAL.
- LOAM AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY.

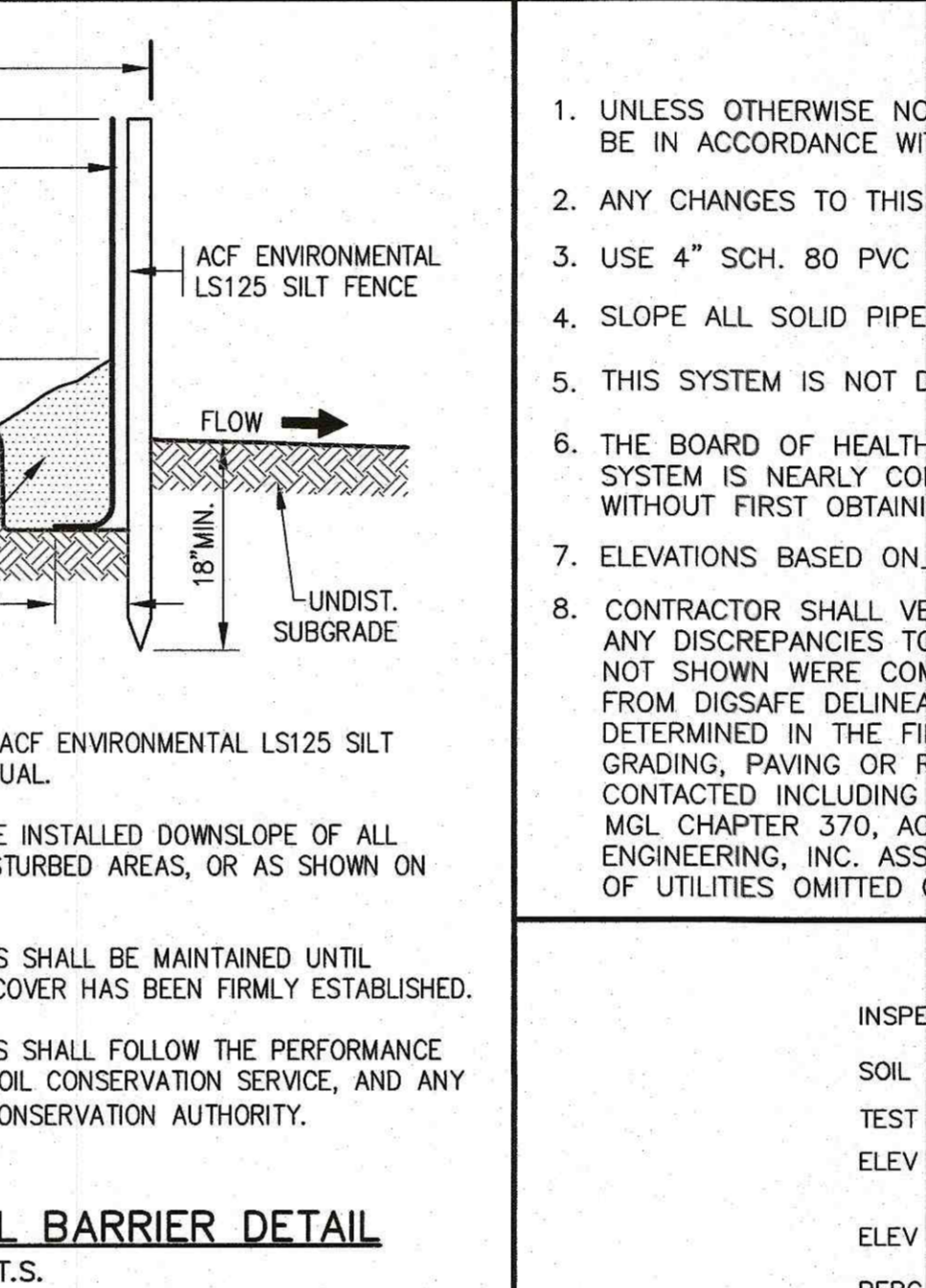
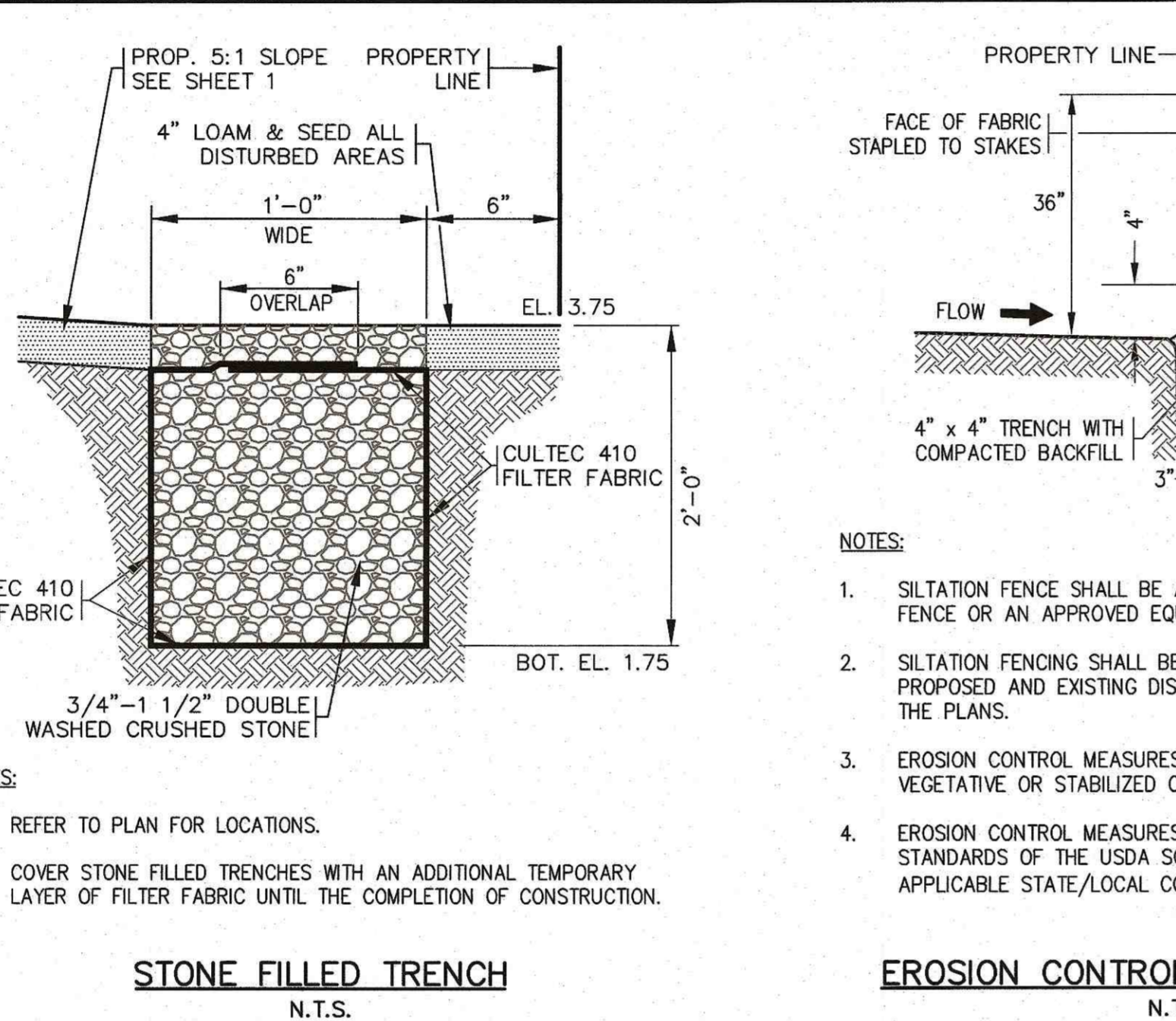
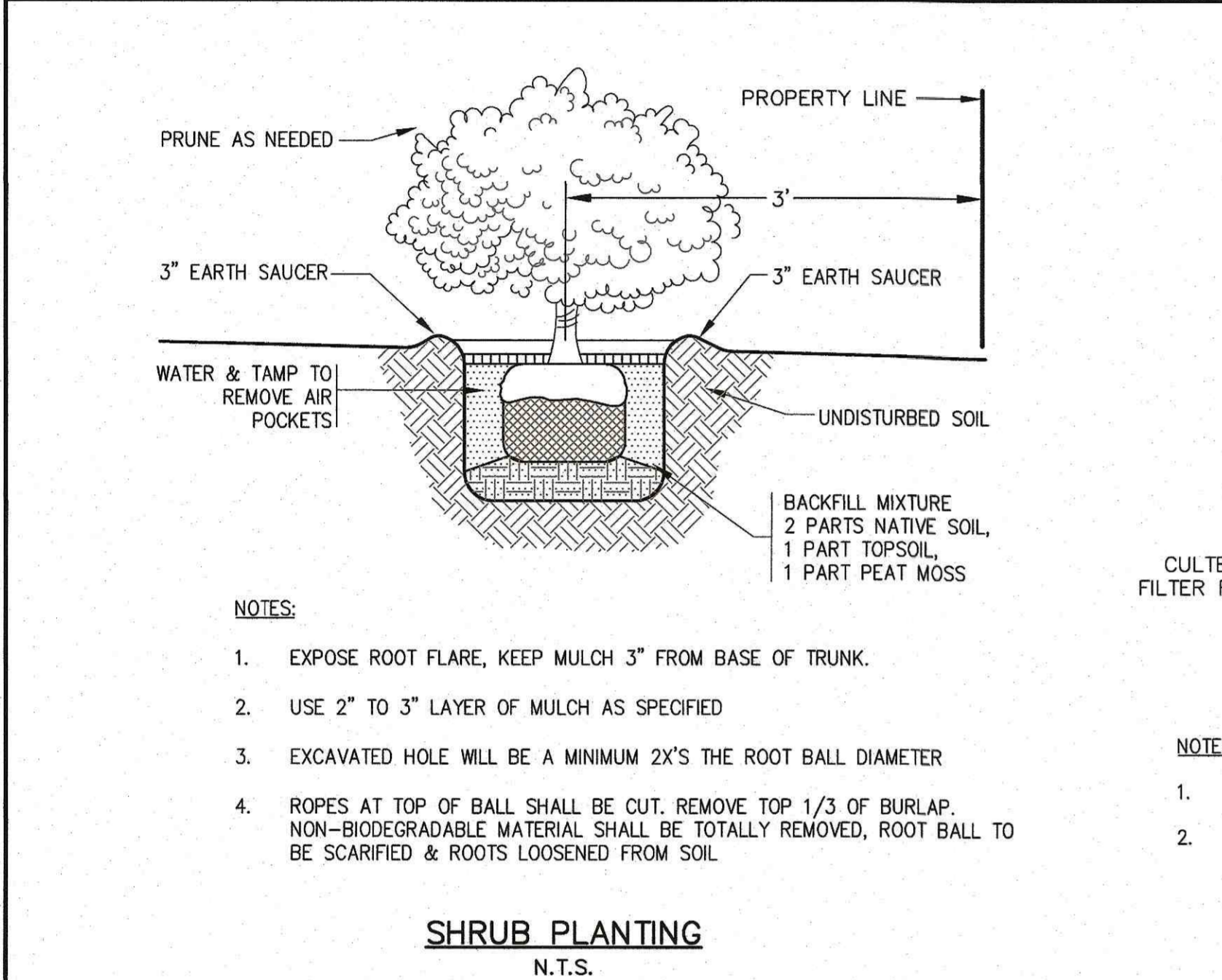
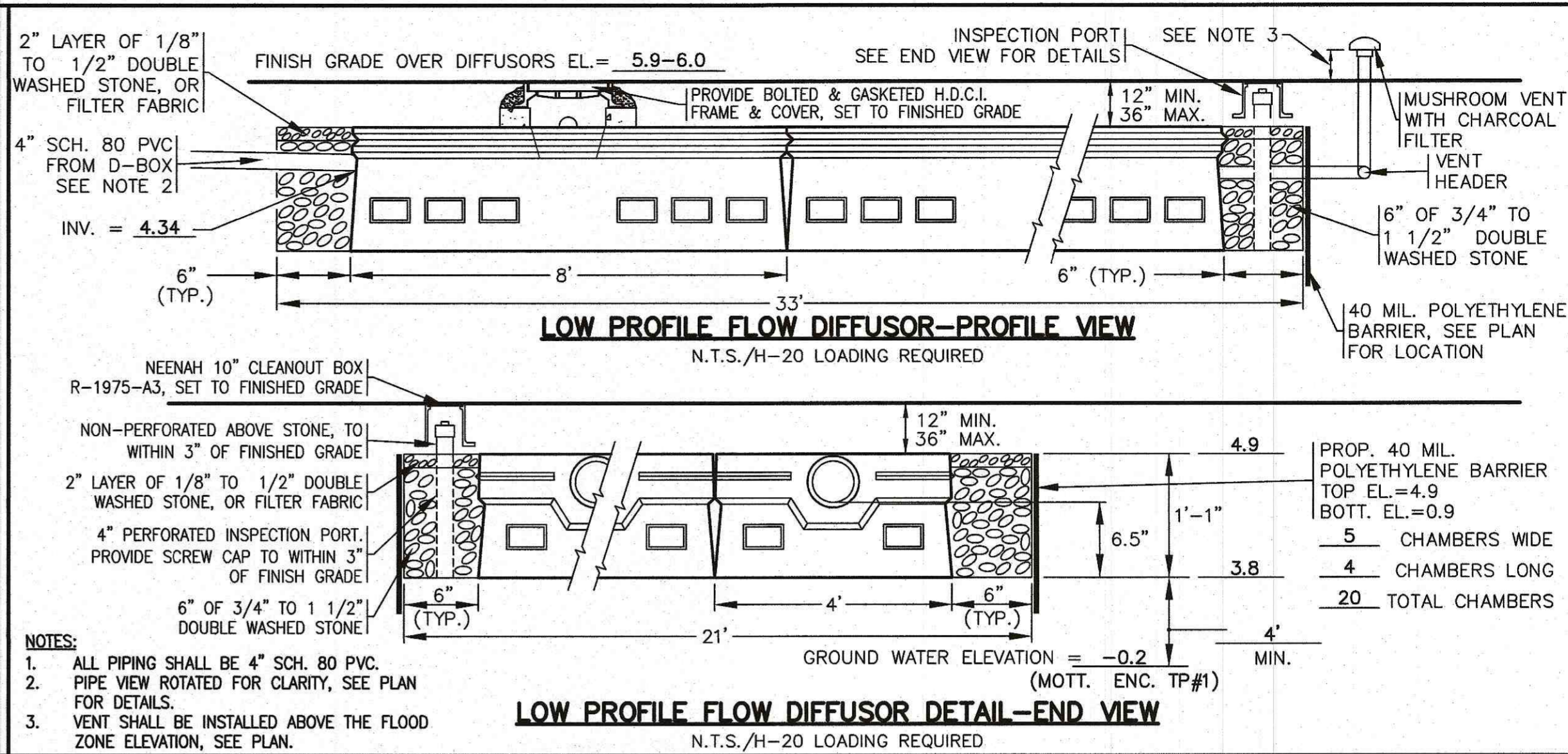
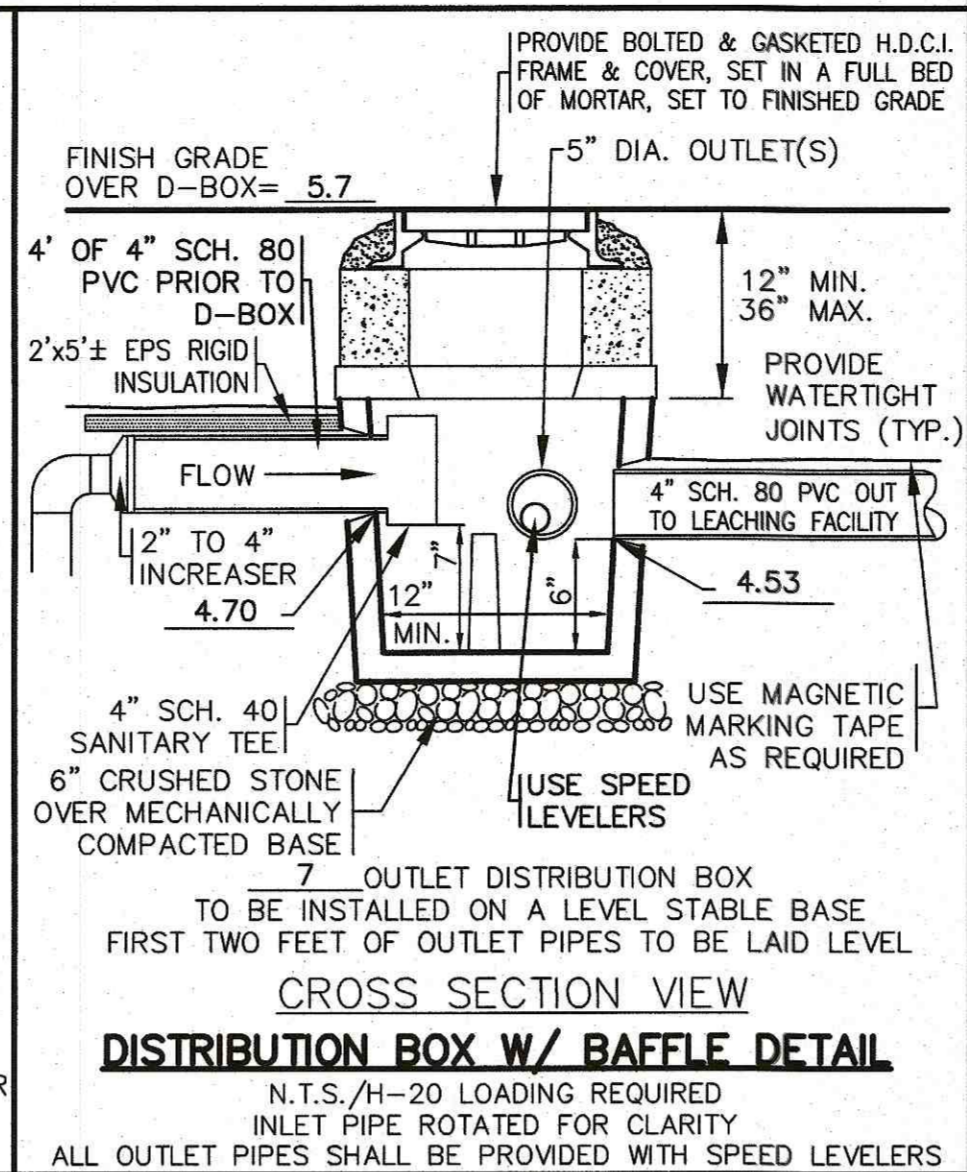
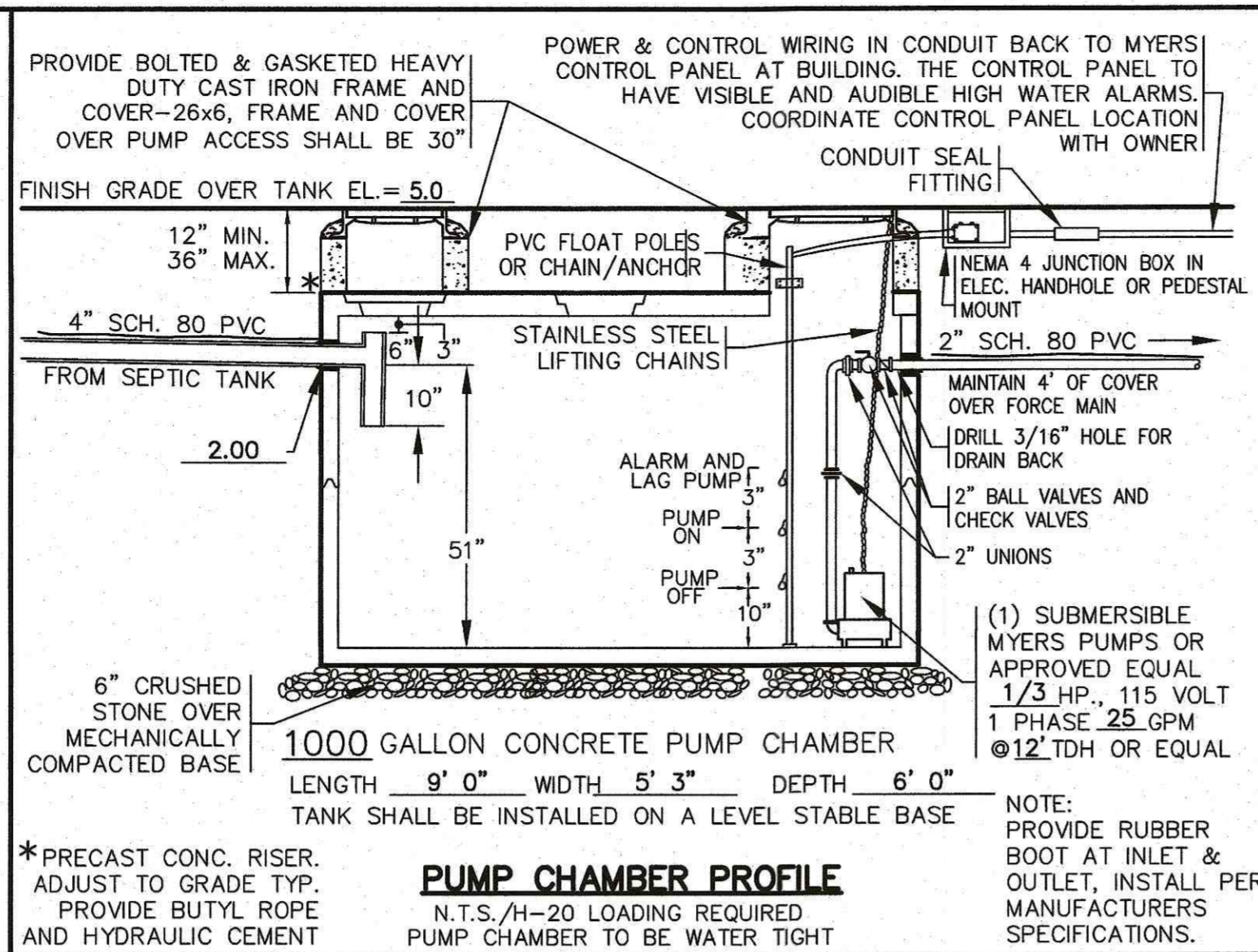
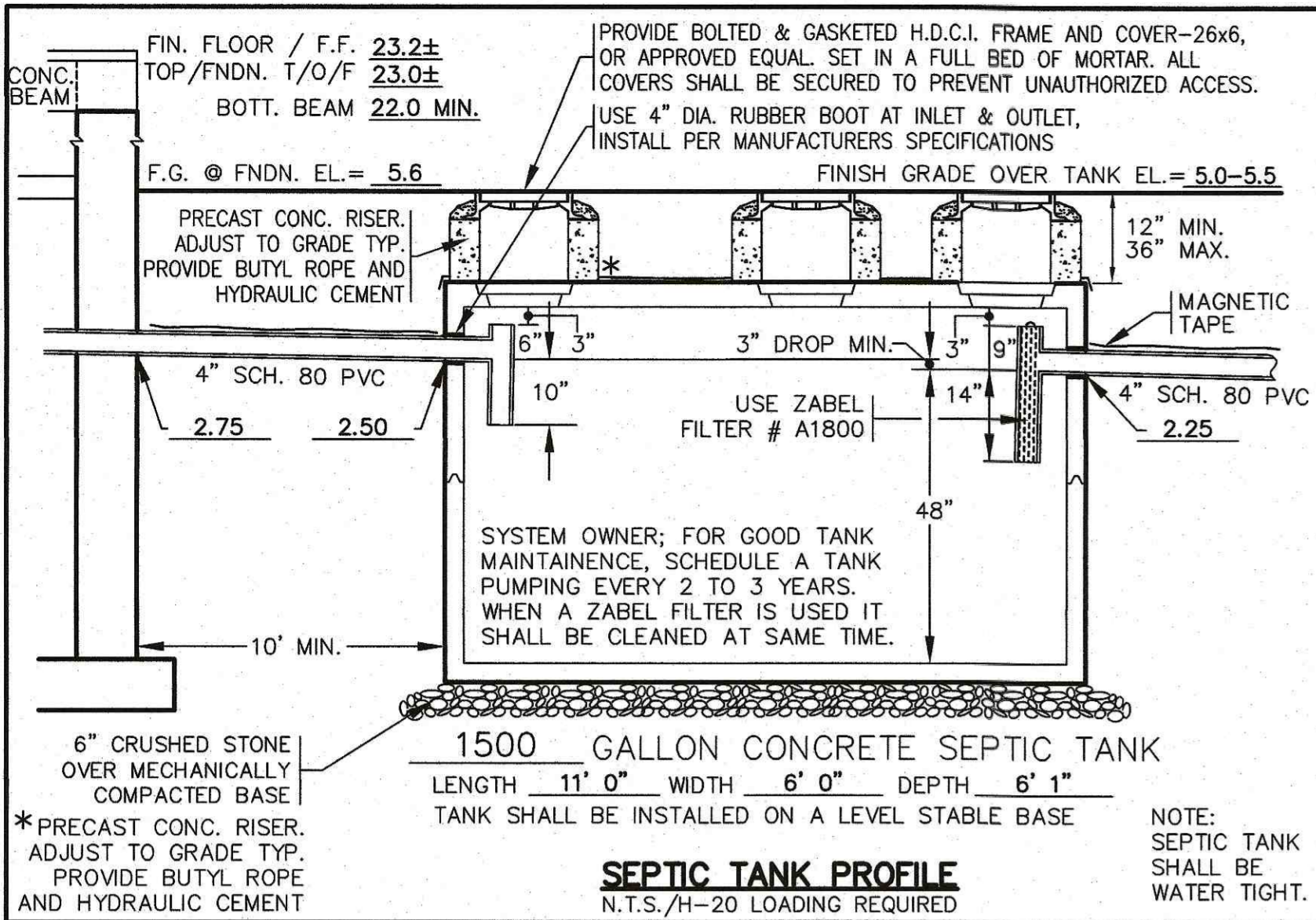
SEPTIC TANK & PUMP CHAMBER NOTES:

- THE SEPTIC TANK AND PUMP CHAMBER ARE TO BE MADE WATER TIGHT PER MANUFACTURERS SPECIFICATIONS.
- THE SEPTIC TANK AND PUMP CHAMBER SHALL BE SEALED PER MANUFACTURERS SPECIFICATIONS AND TANK JOINTS SHALL ALSO BE SEALED WITH EPDM BUTYL RUBBER SEALANT TAPE MIN. 9" IN WIDTH, CENTER TAPE ON TANK JOINTS.

1	4-18-24	JH	WFM	REMOVED CONC. PATIO & RESTORE LAWN
REV.	DATE	BY	APP'D.	DESCRIPTION
APPROVED BY: APPROVED BY:				
SEWAGE DISPOSAL SYSTEM PLAN PREPARED FOR 29 NAKATA AVENUE REALTY TRUST MAP 43 / LOT 119 NAKATA AVENUE FAIRHAVEN, MA G.A.F. ENGINEERING, INC. PROFESSIONAL ENGINEERS & LAND SURVEYORS 266 MAIN STREET, WAREHAM, MA 02571 TEL: (508) 295-6600 FAX: (508) 295-6634 E-MAIL: info@gafenginc.com				
COPYRIGHT © 2024 G.A.F. ENGINEERING, INC. NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED, OR TRANSMITTED BY ANY MEANS, ELECTRONIC AND/OR MECHANICAL, PHOTOCOPYING, WHATSOEVER, WITHOUT THE EXPRESS WRITTEN CONSENT OF G.A.F. ENGINEERING, INC. WITH THE EXCEPTION OF ANY REGULATORY AUTHORITY WHICH MAY REPRODUCE IT IN CONNECTION WITH THE PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF G.A.F. ENGINEERING, INC. SHALL RENDER IT UNUSABLE.				
DATE: FEB. 20, 2024 SCALE: 1" = 10' JOB NO. 23-10055 DRN BY: JH/JMP CHK BY: WFM SHEET No. 1 OF 2				

FLOOD ZONE DATA:

THE PROJECT IS WITHIN FLOOD ZONE VE-20. REFER TO THE F.E.M.A. FLOOD INSURANCE RATE MAP PANEL NUMBER 25005C0503-F, DATED: JULY 7, 2009.



GENERAL NOTES

- UNLESS OTHERWISE NOTED, ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH 310 CMR (TITLE 5) AND ANY APPLICABLE LOCAL RULES.
- ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER & BOARD OF HEALTH.
- USE 4" SCH. 80 PVC PIPE W/WATER TIGHT JOINTS UNLESS OTHERWISE NOTED.
- SLOPE ALL SOLID PIPE AT 1.0% MINIMUM.
- THIS SYSTEM IS NOT DESIGNED FOR A GARBAGE DISPOSAL.
- THE BOARD OF HEALTH & ENGINEER SHALL BE NOTIFIED PRIOR TO BACKFILLING WHEN THE SYSTEM IS NEARLY COMPLETE & READY FOR INSPECTION. SYSTEM IS NOT TO BE BACKFILLED WITHOUT FIRST OBTAINING APPROVAL FROM BOARD OF HEALTH AND DESIGN ENGINEER.
- ELEVATIONS BASED ON NAVD-88
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION & REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER. ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS AND IN PART FROM DIGSAFE DELINEATIONS AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE EXCAVATING, BLASTING, INSTALLING, BACK-FILLING, GRADING, PAVING OR REPAIRING, ALL UTILITY COMPANIES, PUBLIC AND PRIVATE MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE MGL CHAPTER 370, ACTS OF 1963. CONTRACTORS MUST CALL DIG-SAFE. G.A.F. ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.

TEST PIT DATA

INSPECTOR: DAVE FLAHERTY DATE: 9/29/23

SOIL EVALUATOR: BRIAN GRADY CERT. #SE 923

TEST PIT # 1 TEST PIT # 2

ELEV TOP = 3.8 ELEV TOP = 3.8

MOTT. ENC. MOTT. ENC.

ELEV WATER = -0.2 ELEV WATER = -0.2

PERC RATE = * MIN/IN PERC RATE = * MIN/IN

DEPTH OF PERC = * DEPTH OF PERC = *

TEXTURAL CLASS II* TEXTURAL CLASS II*

LEGEND

F.F. = 00.00 FINISHED FLOOR ELEVATION T/O/F = 00.00 TOP OF FOUNDATION

G.F. = 00.00 GARAGE FLOOR ELEVATION INV. = 00.00 INVERT ELEVATION

B.F. = 00.00 BASEMENT FLOOR ELEVATION AS-BUILT ELEVATION

00.00 EXISTING CONTOURS

00.00 PROPOSED CONTOURS

00.00 EXISTING SPOT GRADE

00.00 TEST PIT LOCATION

00.00 LIMITS OF WETLANDS

00.00 SEPTIC TANK

00.00 LIMITS OF OVERDIG

00.00 DISTRIBUTION BOX

LOCAL UPGRADE APPROVALS PURSUANT TO 310 CMR 15.403

THE FOLLOWING VARIANCE IS REQUESTED PURSUANT TO D.E.P. POLICY "TITLE 5 ALTERNATIVE TO PERCOLATION TESTING GUIDANCE FOR SYSTEM UPGRADES".

1) TO ALLOW THE USE OF A SIEVE ANALYSIS AS A SUBSTITUTE FOR A PERCOLATION TEST.

310 CMR 15.211: (1) MINIMUM SETBACK DISTANCES

REQUIRED: THE SOIL ABSORPTION SYSTEM SHALL BE 10 FEET FROM A SLAB FOUNDATION.
PROVIDED: THE SOIL ABSORPTION SYSTEM IS 4.5 FEET FROM THE SLAB FOUNDATION.

REQUIRED: THE SOIL ABSORPTION SYSTEM SHALL BE 10 FEET FROM THE WATER SUPPLY LINE.
PROVIDED: THE SOIL ABSORPTION SYSTEM IS 6 FEET FROM THE PROPOSED WATER SUPPLY LINE.
(THE WATER LINE WILL BE CONSTRUCTED OF CLASS 150 PRESSURE PIPE, AND BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS.)

REQUIRED: THE SOIL ABSORPTION SYSTEM SHALL BE 50 FEET FROM A WETLAND.
PROVIDED: THE SOIL ABSORPTION SYSTEM IS 41' FROM A WETLAND.

REQUIRED: THE SEPTIC TANK SHALL BE 10 FEET FROM A PROPERTY LINE.
PROVIDED: THE SEPTIC TANK IS 5 FEET FROM THE PROPERTY LINE WITH LOT 118.

REQUIRED: THE SEPTIC TANK SHALL BE 10 FEET FROM A SLAB FOUNDATION.
PROVIDED: THE SEPTIC TANK IS 5 FEET FROM THE SLAB FOUNDATION.

REQUIRED: THE PUMP CHAMBER SHALL BE 10 FEET FROM A PROPERTY LINE.
PROVIDED: THE PUMP CHAMBER IS 4 FEET FROM THE PROPERTY LINE WITH LOT 118.

310 CMR 15.240: (5) SOIL ABSORPTION SYSTEMS

REQUIRED: ALL SOIL ABSORPTION SYSTEMS DESIGNED TO SERVE SINGLE FAMILY DWELLINGS SHALL BE DESIGNED TO SERVE A MINIMUM OF THREE BEDROOMS.
PROVIDED: THE SYSTEM IS DESIGNED TO SERVE TWO BEDROOMS. A DEED RESTRICTION LIMITING THE PROPERTY TO TWO BEDROOMS WILL BE RECORDED WITH THE REGISTRY OF DEEDS.

LOCAL VARIANCE TO REGULATIONS BOARD OF HEALTH FAIRHAVEN, MASSACHUSETTS:

CHAPTER V: INDIVIDUAL SEWAGE DISPOSAL SYSTEMS (SECTION 14):

REQUIRED: THE SOIL ABSORPTION SYSTEM SHALL BE 100 FEET FROM A WETLAND.
PROVIDED: THE SOIL ABSORPTION SYSTEM IS 41' FROM A WETLAND.

CONSTRUCTION NOTES:

- IN GENERAL, THE PLANS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EVERY FITTING, CHANGE IN DIRECTION OR DETAIL OF CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF PERSONNEL AND PROTECTION OF PROPERTY AT THE SITE OR ADJACENT THERETO INCLUDING TREES, SHRUBS, LAWN, PAVEMENTS, ROADWAYS, STRUCTURES AND UNDERGROUND UTILITIES NOT DESIGNED FOR REMOVAL, RELOCATION, OR REPLACEMENT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION REQUIRED FOR THE INSTALLATION OF THIS WORK.
- ALL MATERIALS SHALL BE NEW AND FREE FROM DEFECTS AND OF GOOD QUALITY.
- THE CONTRACTOR SHALL INSTITUTE ALL SAFETY MEASURES NECESSARY TO PROTECT THE PUBLIC SAFETY. THIS SHALL INCLUDE, BUT NOT LIMITED TO, BARRICADES, SIGNS, LIGHTING, FENCES, POLICE DETAILS, AND ANY OTHER MEANS AS DIRECTED. NO TRENCHES ARE TO REMAIN OPEN OVERNIGHT.
- GRADING SHALL BE AS NOTED ON THE PLAN AND SIDE SLOPES SHALL BE DRESSED WITH 4 INCHES OF TOPSOIL.
- ALL METHODS AND MATERIALS SHALL CONFORM WITH MassDOT STANDARDS AND SPECIFICATIONS, AND THE REQUIREMENTS OF THE TOWN OF FAIRHAVEN MUNICIPAL MAINTENANCE DEPARTMENT.
- ALL UTILITY INSTALLATIONS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE TOWN, STATE AND FEDERAL REQUIREMENTS & REGULATIONS.

EROSION CONTROL NOTES:

- THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENTATION CONTROL DEVICES ON SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING THE SITE. SILT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS. ADDITIONAL PROTECTION: ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNFORESEEN CONDITIONS OR ACCIDENTS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE SUFFICIENT EROSION AND SEDIMENT CONTROL, ADDITIONAL CONTROL MEASURES SHALL BE IMPLEMENTED. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING EROSION CONTROL DEVICES WHICH BECOME INEFFECTIVE.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL GRADING AND OTHER LAND DISTURBING ACTIVITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CLEANUP AND REMOVAL OF ANY BUILDUP OF SEDIMENT WHICH ESCAPES FROM THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY FINES LEVIED AGAINST THE SITE FOR VIOLATIONS OF EROSION CONTROL REGULATIONS.
- CONTRACTOR SHALL PROVIDE TEMPORARY GROUND COVER FOR ALL AREAS WITH EXPOSED SOIL WHICH WILL NOT BE DISTURBED BY GRADING OPERATIONS FOR A PERIOD OF THIRTY DAYS OR MORE.
- IF WORK ON THIS PROJECT IS SUSPENDED FOR ANY REASON, THE CONTRACTOR SHALL MAINTAIN THE SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES IN GOOD CONDITION DURING THE SUSPENSION OF WORK.
- SPRINKLE OR APPLY DUST SUPPRESSERS TO MINIMIZE DUST AT THE CONSTRUCTION SITE. MAINTAIN DUST CONTROL MEASURES UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
- THE CONTRACTOR WILL ALSO NEED TO COMPLY TO ANY ORDER OF CONDITIONS THAT MAY BE ISSUED BY THE TOWN OF FAIRHAVEN CONSERVATION COMMISSION.

DESIGN DATA

NUMBER OF BEDROOMS: 2

NUMBER OF PERSONS: 4

DESIGN FLOW: 110 GAL/DAY/BEDROOM

TOTAL DESIGN FLOW: 220 GAL/DAY

SEPTIC TANK: 220 GAL. X 200% = 440 GALS. DESIGN CAPACITY

USE 1500 GALLON SEPTIC TANK. (MIN. SIZE PER REGS)

LEACHING FIELD:

BOTTOM CAPACITY: 33 (LENGTH) X 21 (WIDTH) = 693 SQ.FT.

693 SQ.FT. X 0.33* GAL/SQ.FT. = 228.7 GAL. LEACHING/DAY

*NOTE: A SIEVE ANALYSIS IN ACCORDANCE WITH D.E.P. POLICY "TITLE 5 ALTERNATIVE TO PERCOLATION TESTING GUIDANCE FOR SYSTEM UPGRADES" HAS BEEN UTILIZED. SAMPLE TAKEN FROM TP#2 AT C1 LAYER. RESULTS-67.1% SAND, 32.9% SILT, 0.0% CLAY. THIS IS CLASS II, SANDY LOAM PER 310 CMR 15.243.

SEWAGE DISPOSAL SYSTEM PLAN

PREPARED FOR
29 NAKATA AVENUE REALTY TRUST
MAP 43 / LOT 119
NAKATA AVENUE
FAIRHAVEN, MA

G.A.F. ENGINEERING, INC.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
266 MAIN STREET, WAREHAM, MA 02571
TEL: (508) 295-6600 FAX: (508) 295-6634
E-MAIL: info@gefinc.com

APPROVED BY: *[Signature]*

DATE: FEB. 20, 2024 SCALE: AS NOTED JOB No. 23-10055
DRN BY: JH/JMP CHK BY: WFM SHEET No. 2 OF 2