

Project Description & Methodology:
 The construction access will be through the existing lawn area along the northerly side of the house.

The work will be performed using an excavator set up on the landward side of the seawall. All excavated materials will be temporarily stockpiled on the sandy upland area and then loaded into dump trucks for proper offsite disposal.

The work will begin with the incremental removal of the existing seawall beginning at the southwesterly corner of the sandy boat launch ramp, then working towards the northerly end at the property line. Once the waterfront section of wall is complete, the easterly wall will then be incrementally constructed working towards the house.

Upon removal of the existing wall, construction of the new precast concrete block wall will also be done incrementally. Steel plates will be used for the installation base blocks for dewatering. Water will be pumped through a dewatering filter bag situated near within the sandy boat launch ramp as shown on the plan.

All work to install the crushed stone base and lower 2- courses of blocks will occur within 2 hours of normal low tidal cycle to minimize the bottom disturbance.

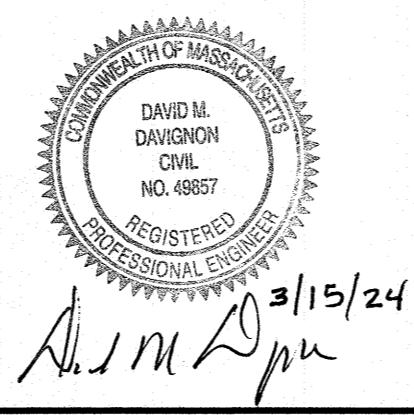
Upon completion of the project all disturbed coastal beach, sandy recreational and lawn areas will be restored to their pre-construction condition.

LEGEND

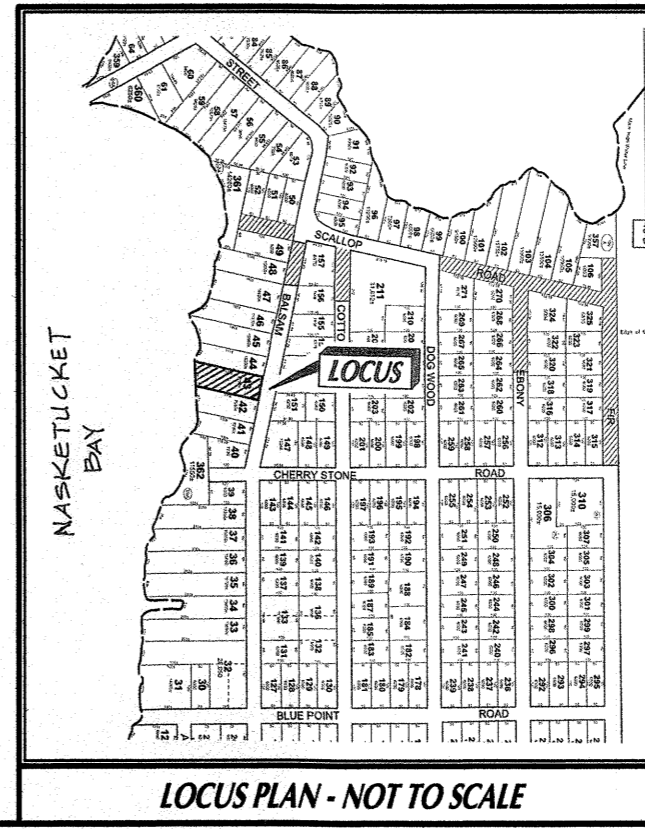
	PROPOSED CONTOURS
	EXISTING CONTOURS
	FLOOD ZONE LINES
	MEAN HIGH WATER
	MEAN LOW WATER

- CONTRACTOR NOTES:**
- CONTRACTOR SHALL NOTIFY THE CONSERVATION COMMISSION PRIOR TO THE START OF WORK AND SHALL PROVIDE ALL CONTACT INFORMATION AT THIS TIME.
 - THE CONTRACTOR SHALL POST A DEP SIGN AS REQUIRED BY THE ORDER OF CONDITIONS.
 - CONTRACTOR SHALL HAVE A COPY OF THE ORDER OF CONDITIONS AT THE SITE AT ALL TIMES.
 - ALL CONCRETE DEBRIS SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED OFFSITE FACILITY.
 - SEAWALL CONSTRUCTION SHALL OCCUR USING AN EXCAVATOR SET ON THE EXISTING SANDY AREA ON THE UPGRADIENT SIDE OF THE EXISTING SEAWALL.
 - INSTALLATION WORK REQUIRED FOR THE BASE BLOCKS SHALL OCCUR WITHIN 2 HOURS OF LOW TIDE.

- CONTRACTOR NOTES:**
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION THROUGH "DIG SAFE" AND OTHER APPROPRIATE AGENCIES, AND REPORT ANY DISCREPANCIES TO THIS OFFICE.
 - CONTRACTOR SHALL NOTIFY THIS OFFICE OF ANY AND ALL DISCREPANCIES FOUND BETWEEN THE SITE CONDITIONS AND THOSE SHOWN ON THIS PLAN PRIOR TO THE CONTINUATION OF WORK.
 - ANY AND ALL CHANGES FROM THE SITE DESIGN LAYOUT SHOWN MUST BE APPROVED BY THIS OFFICE, THE CONSERVATION COMMISSION AND OTHER APPROPRIATE LOCAL OFFICIALS.



SITE INFORMATION:
 LOCATION: 188 BALSAM STREET
 ASSESSORS MAP NO: 43B
 ASSESSORS LOT NO: 43
 CURRENT ZONING DISTRICT: RURAL RESIDENCE (RR)
 MINIMUM BUILDING SETBACKS:
 FRONT: 20' SIDE: 10'
 REAR: 30'
 FEMA FLOOD ZONE: VE ELEV: 23
 F.I.R.M. PANEL NO. 2500SC0502F
 APPLICANT/OWNER OF RECORD: ELANDER/FAIRHAVEN REALTY TRUST
 JOHN R. ELANDER, JR. & JOHN R. ELANDER, III, TRUSTEES
 304 CONCORD AVENUE
 LEXINGTON, MA 02421
 L.C. CERT. NO. 17274
 REFER TO L.C. DOC. #64962
 REFER TO L.C. DOC. #130422



Rev. #	DATE	BY	DESCRIPTION
1			

SEAWALL RECONSTRUCTION PLAN
 FOR PROPERTY SITUATED
 at 188 BALSAM STREET in
FAIRHAVEN, MA
 PREPARED FOR
ELANDER/FAIRHAVEN REALTY TRUST

SCALE: 1"=10' DATE: MARCH 15, 2024

SCHEIDER, DAVIGNON & LEONE, INC.
 PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS
 P.O. Box 480, 81A COUNTY RD UNIT G, MATTAPOISETT, MA 02739
 1-508-759-7866

Drawn By: D.M.D. Check By: D.M.D. Job No. 3755