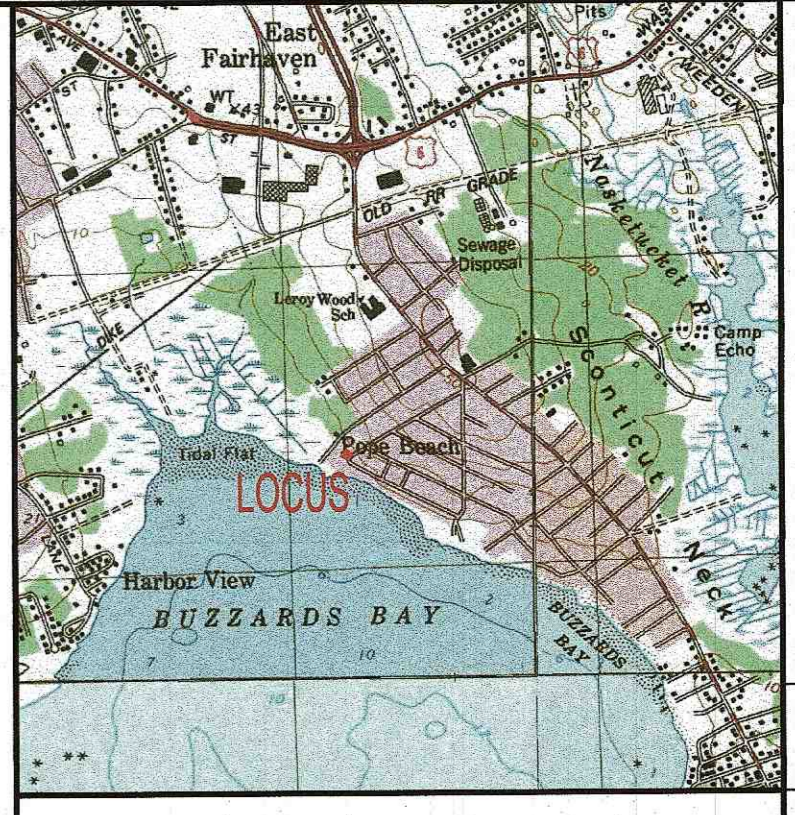
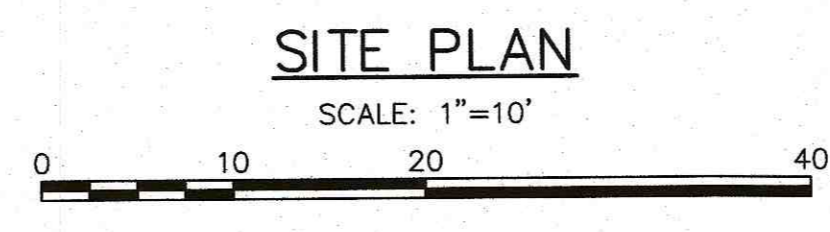


**EROSION CONTROL BARRIER DETAIL**  
N.T.S.

- EROSION CONTROL NOTES:**
- THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENTATION CONTROL DEVICES ON SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING THE SITE. SILT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS. ADDITIONAL PROTECTION: ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNFORESEEN CONDITIONS OR ACCIDENTS.
  - EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE SUFFICIENT EROSION AND SEDIMENT CONTROL, ADDITIONAL CONTROL MEASURES SHALL BE IMPLEMENTED. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING EROSION CONTROL DEVICES WHICH BECOME INEFFECTIVE.
  - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL GRADING AND OTHER LAND DISTURBING ACTIVITIES PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE CLEANUP AND REMOVAL OF ANY BUILDUP OF SEDIMENT WHICH ESCAPES FROM THE SITE.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING SILT AND DEBRIS OUT OF ALL STORM DRAINAGE STRUCTURES UPON THE COMPLETION OF CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY FINES LEVIED AGAINST THE SITE FOR VIOLATIONS OF EROSION CONTROL REGULATIONS.
  - CONTRACTOR SHALL PROVIDE TEMPORARY GROUND COVER FOR ALL AREAS WITH EXPOSED SOIL WHICH WILL NOT BE DISTURBED BY GRADING OPERATIONS FOR A PERIOD OF THIRTY DAYS OR MORE.
  - IF WORK ON THIS PROJECT IS SUSPENDED FOR ANY REASON, THE CONTRACTOR SHALL MAINTAIN THE SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES IN GOOD CONDITION DURING THE SUSPENSION OF WORK.

- GENERAL NOTES:**
- ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS AND IN PART FROM FIELD SURVEY AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, OR REPAIRING, ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE MGL CHAPTER 370, ACTS OF 1963. CONTRACTORS MUST CALL DIG-SAFE AT (1-888-DIG-SAFE OR 811) G.A.F. ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
  - EXISTING CONDITIONS INFORMATION IS BASED ON ACTUAL FIELD SURVEY, PRIVATE UTILITY PLANS, AND OTHER AVAILABLE SOURCES. ACTUAL FIELD SURVEY WAS PERFORMED BY G.A.F. ENGINEERING, INC. ON VARIOUS DATES AND MOST RECENTLY IN MARCH OF 2024.
  - THE CONTRACTOR SHALL COORDINATE AND OBTAIN ALL REQUIRED PERMITS, GET ALL NOTICES, COMPLY WITH ALL LAWS AND REGULATIONS, AND PAY ALL FEES ASSOCIATED WITH THE INSTALLATION OF THIS WORK.
  - THE CONTRACTOR SHALL VERIFY, PRIOR TO CONSTRUCTION ALL EXISTING UNDERGROUND UTILITY LOCATIONS AND POINTS OF INTERCONNECTION.
  - THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, SUPERVISION, TOOLS, EQUIPMENT, FUEL, POWER, SANITARY FACILITIES AND INCIDENTALS NECESSARY FOR THE FURNISHING, PERFORMANCE, START-UP AND COMPLETION OF WORK.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICTS DISCOVERED IN THE FIELD.
  - ANY CHANGES TO THESE PLANS THAT ARE MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS AND REPORTED TO THE OWNER AND ENGINEER.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AN EXCAVATION AND TRENCH PERMIT SUJANT TO 520 CMR 14.00 AS APPLICABLE PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR WILL ALSO NEED TO COMPLY WITH THE ORDER OF CONDITIONS ISSUED BY THE FAIRHAVEN CONSERVATION COMMISSION.

- CONSTRUCTION NOTES:**
- IN GENERAL, THE PLANS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EVERY FITTING, CHANGE IN DIRECTION OR DETAIL OF CONSTRUCTION.
  - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF PERSONNEL AND PROTECTION OF PROPERTY AT THE SITE OR ADJACENT THERETO INCLUDING TREES, SHRUBS, LAWNS, PAVEMENTS, ROADWAYS, STRUCTURES AND UNDERGROUND UTILITIES NOT DESIGNED FOR REMOVAL, RELOCATION, OR REPLACEMENT.
  - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION REQUIRED FOR THE INSTALLATION OF THIS WORK.
  - ALL MATERIALS SHALL BE NEW, FREE FROM DEFECTS AND OF GOOD QUALITY.
  - THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIAL AND OTHER DEBRIS RESULTING FROM THIS WORK.
  - THE CONTRACTOR SHALL INSTITUTE ALL SAFETY MEASURES NECESSARY TO PROTECT THE PUBLIC SAFETY. THIS SHALL INCLUDE, BUT NOT LIMITED TO, BARRICADES, SIGNS, LIGHTING, FENCES, POLICE DETAILS, AND ANY OTHER MEANS AS DIRECTED. NO TRENCHES ARE TO REMAIN OPEN OVERNIGHT.
  - ELEVATIONS ARE IN FEET & TENTHS AND ARE BASED ON NAVD-88 DATUM.
  - SIDE SLOPE GRADING SHALL BE AS NOTED ON THE SITE PLANS. ALL SIDE SLOPES SHALL BE DRESSED WITH 4 INCHES OF TOPSOIL.
  - ALL SEWER AND PLUMBING WORK SHALL CONFORM WITH 248 CMR 10.00 UNIFORM STATE PLUMBING CODE & FAIRHAVEN SEWER DEPT. SPECIFICATIONS.
  - ALL METHODS AND MATERIALS SHALL CONFORM WITH MASSDOT STANDARDS AND SPECIFICATIONS, AND THE REQUIREMENTS OF THE TOWN OF FAIRHAVEN PUBLIC WORKS DEPARTMENT.
  - ALL UTILITY INSTALLATIONS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE TOWN, STATE AND FEDERAL REQUIREMENTS & REGULATIONS.



LOCUS MAP : SCALE 1" = 2083'

**LOT DATA:**  
ASSESSORS MAP: 28A / LOT 164 & 165  
ADDRESS: 60 HIGHLAND AVENUE  
OWNER:  
KENNETH WAGNER  
206 GULFVIEW DRIVE  
ISLAMORADA, FL 33036  
DEED REFERENCE: BOOK 8026, PAGE 41  
PLAN REFERENCE: PLAN BOOK 6, PAGE 36  
**ZONING DATA:**  
ZONE: RA SINGLE RESIDENCE DISTRICT  
SETBACKS:  
MINIMUM LOT AREA: 15,000 SQ.FT.  
MINIMUM FRONTAGE: 100'  
CONTIGUOUS UPLAND: 13,500 SQ.FT.  
MINIMUM FRONT SETBACK: 20'  
MINIMUM SIDE SETBACK: 10'  
MINIMUM REAR SETBACK: 30'  
MAXIMUM BUILDING HEIGHT: 35'  
MAXIMUM LOT COVERAGE: 50%  
(PROPOSED LOT COVERAGE: 5%)  
MAXIMUM BUILDING COVERAGE: 30%  
(PROPOSED BUILDING COVERAGE: 16.9%)

**FLOOD ZONE DATA:**  
THIS SITE IS WITHIN THE FLOOD ZONE VE-16, REFER TO THE F.E.M.A. FLOOD INSURANCE RATE MAP PANEL NUMBER 25023C0394-H, DATED: JULY 6, 2021.

LEGEND	
EXISTING	DESC.
10	CONTOURS
14x5	SPOT GRADES
(Symbol)	WETLANDS
(Symbol)	25' NO TOUCH ZONE
(Symbol)	25'-50' BUFFER ZONE
(Symbol)	100' BUFFER ZONE
(Symbol)	F.E.M.A. FLOOD ZONE
(Symbol)	LIMWA
(Symbol)	CATCH BASIN (CB)
(Symbol)	DRAIN MANHOLE (DMH)
(Symbol)	OVERHEAD WIRES
(Symbol)	UTILITY POLE
(Symbol)	GUY POLE
(Symbol)	WATER GATE VALVE
(Symbol)	WATER SHUTOFF/CURB STOP
(Symbol)	HYDRANT
(Symbol)	WATER LINE
(Symbol)	UNDERGROUND ELECTRIC
(Symbol)	SEWER MANHOLE (SMH)
(Symbol)	SEWER LINE
(Symbol)	TREE/BRUSH LINE
(Symbol)	LIGHT POST
(Symbol)	GAS LINE
(Symbol)	GAS GATE/VALVE
(Symbol)	GAS SHUTOFF
(Symbol)	GAS METER
(Symbol)	FENCE
(Symbol)	SIGN
(Symbol)	BOUND
(Symbol)	STONE WALL
(Symbol)	REBAR
PROPOSED	
(Symbol)	DESC.
(Symbol)	CONTOURS
(Symbol)	SPOT GRADES
(Symbol)	EROSION CONTROL REMOVE & DISPOSE

DATE: APR. 23, 2024	DRAWN BY: JH	CHECKED BY: WFM	JOB NO.: 24-10147	SCALE: 1" = 10'
APPROVED BY:				
<p><b>G.A.F. ENGINEERING, INC.</b> PROFESSIONAL ENGINEERS &amp; LAND SURVEYORS 266 MAIN STREET - WAREHAM, MA 02571 TEL: (508) 295-6600 FAX: (508) 295-6634 E-MAIL: info@gafenginc.com</p> <p><b>PLAN TO ACCOMPANY NOTICE OF INTENT</b></p> <p>PREPARED FOR: <b>CHRISTIAN &amp; FECK DEVELOPMENT CORP.</b></p>				
<p>60 HIGHLAND AVENUE FAIRHAVEN, MA JOB NO.: 24-10147 DWG. 1 OF 1</p>				