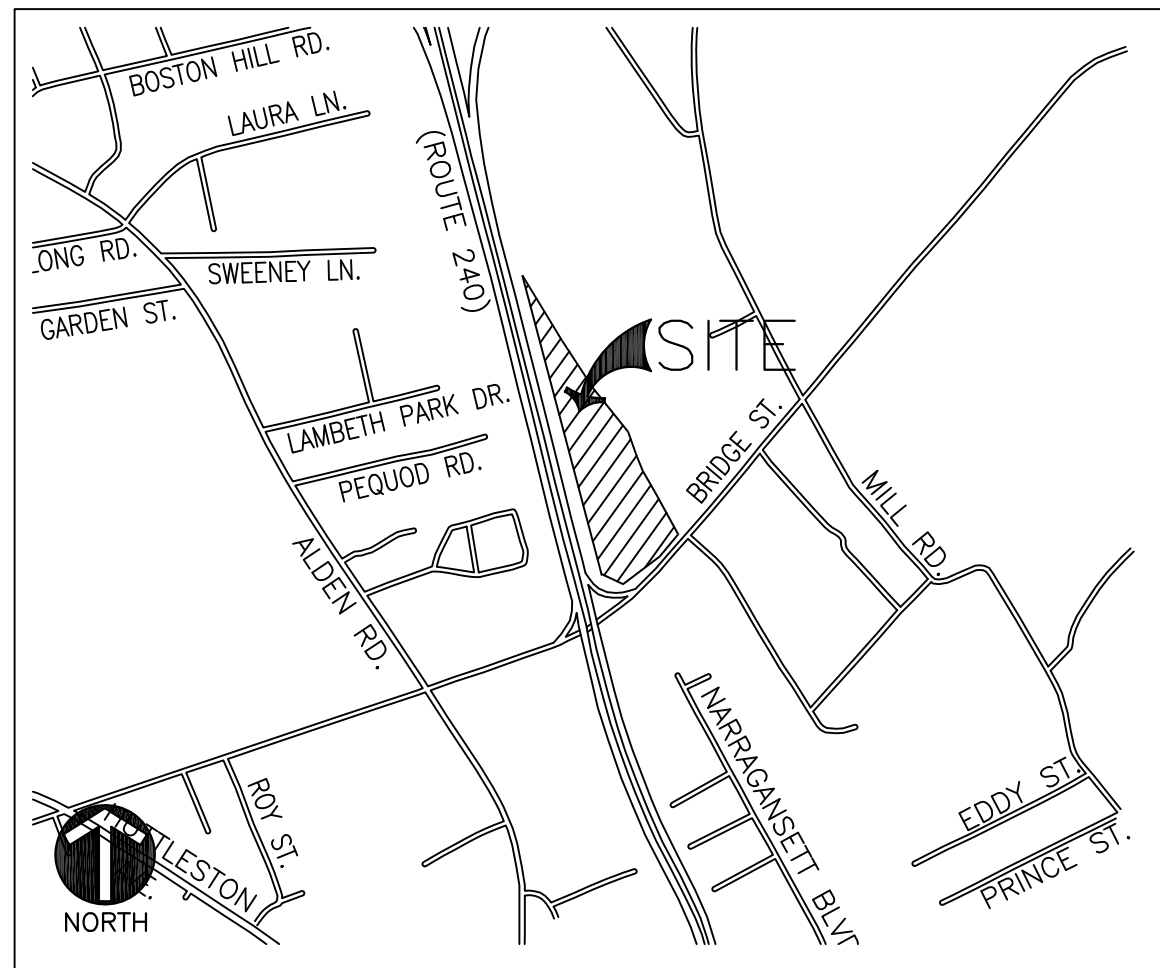


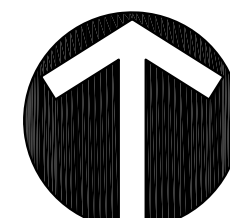
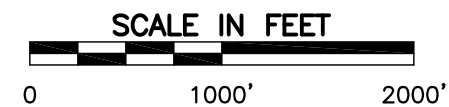
FAIRHAVEN PROPERTIES, LLC

SELF-STORAGE FACILITY

ASSESSOR'S MAP 36 – LOT 15J, FAIRHAVEN, MA
JUNE 2022



SITE LOCUS MAP



NORTH

OWNER/TEAM INFORMATION

CIVIL ENGINEER & LAND SURVEYOR

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
31 BELLOWS ROAD
RAYNHAM, MASSACHUSETTS 02767
PH: (774) 501-2176
PH: (866) 312-2024
FX: (774) 501-2669

SITEC ENGINEERING & ENVIRONMENTAL
CONSULTANTS, INC.
970 KEMPTON STREET
NEW BEDFORD, MA 02740
PH: (781) 319-0100
FX: (781) 834-4783

OWNER/APPLICANT

FAIRHAVEN PROPERTIES, LLC
C/O PAUL DOWNEY
PO BOX 4023
NEW BEDFORD, MA 02741

SITE DEVELOPMENT ZONING DATA

ZONING DISTRICT: INDUSTRIAL DISTRICTS (I)
MEDICAL MARIJUANA OVERLAY DISTRICT (MM)
FEMA FLOOD ZONE: X
EXISTING USE: PARKING LOT
PROPOSED USE: SELF-STORAGE FACILITY (BULK STORAGE)

ZONING REQUIREMENTS TABLE

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	50,000 SQ. FT.	413,820 SQ. FT. (9.5 AC)	413,820 SQ. FT. (9.5 AC)
MIN. LOT FRONTAGE AT STREET	140 FT.	1,972.85 FT. – RTE 240 150 FT. – BRIDGE ST.	1,972.85 FT. – RTE 240 150 FT. – BRIDGE ST.
MIN. CONTIGUOUS UPLAND AREA	35,000 SQ. FT.	279,022 SQ. FT.	279,022 SQ. FT.
PERCENTAGE OF MIN. LOT AREA	70%	67%	67%
MIN. FRONT SETBACK (BUILDING) ¹	50 FT.	N/A	57 FT./80 FT.
MIN. SIDE SETBACK (BUILDING) ²	25 FT.	N/A	285 FT./97 FT.
MIN. REAR SETBACK (BUILDING)	50 FT.	N/A	112 FT./210 FT.
MIN. BUILDING HEIGHT	40 FT.	N/A	<40'
MIN. LOT COVERAGE	65%	45%	42%
MIN. BUILDING COVERAGE	25%	N/A	20%

NOTES:

- NO NEW BUILDING NEED PROVIDE YARDS GREATER THAN AVERAGE OF THOSE EXISTING OR ABUTTING LOTS ON THE SAME STREET. FRONT DECK AND/OR PORCH SETBACKS MAY CONFORM TO THE AVERAGE SETBACKS OF THOSE EXISTING ON THE SAME STREET. CORNER OR THROUGH LOTS SHALL OBSERVE FRONT YARD REQUIREMENTS FROM BOTH STREETS.
- WHEN ABUTTING A RESIDENTIAL USE OR DISTRICT, INCREASE TO 50 FEET; WHICH SHALL CONTAIN NO PARKING, BUT AT LEAST 10 FEET OF WHICH SHALL CONTAIN DENSELY PLANTED TREES (AT LEAST TWO INCHES IN DIAMETER) AND SHRUBS (AT LEAST THREE FEET HIGH) UNLESS EXISTING VEGETATION IS RETAINED AND PROVIDES EQUAL SCREENING FOR THE PURPOSE.



SITE MAP



DRAWING INDEX

SHEET NUMBER	DRAWING NUMBER	SHEET TITLE	DATE ISSUED	DATE REVISED
1	CS-1	COVER SHEET	JUNE 24, 2022	APRIL 11, 2024
2	SL-1	SITE LAYOUT	JUNE 24, 2022	APRIL 11, 2024
3	LM-1	LOCUS MAP	JUNE 24, 2022	APRIL 11, 2024
4	SG-1	SITE GRADING PLAN	JUNE 24, 2022	APRIL 11, 2024
5	LP-1	LANDSCAPE PLAN	JUNE 24, 2022	APRIL 11, 2024
6	SU-1	SITE UTILITIES PLAN	JUNE 24, 2022	APRIL 11, 2024
7	SU-2	OFFSITE IMPROVEMENTS PLAN	JUNE 24, 2022	APRIL 11, 2024
8	EC-1	EXISTING CONDITIONS PLAN	JUNE 24, 2022	APRIL 11, 2024
9	DP-1	DEMOLITION PLAN	JUNE 24, 2022	APRIL 11, 2024
10	ECP-1	EROSION CONTROL PLAN	JUNE 24, 2022	APRIL 11, 2024
11	DT-01	DETAIL SHEET #1	JUNE 24, 2022	APRIL 11, 2024
12	DT-02	DETAIL SHEET #2	JUNE 24, 2022	APRIL 11, 2024
13	DT-03	DETAIL SHEET #3	JUNE 24, 2022	APRIL 11, 2024
14	DT-04	SOIL TEST PIT LOGS	FEBRUARY 10, 2023	APRIL 11, 2024

PARKING REQUIREMENTS TABLE

USE: SELF-STORAGE (OTHER FACILITIES)		
82,240 SQ. FT.		
	REQUIRED	PROVIDED
PASSENGER CAR (9'X20')	8 SPACES ³	108 SPACES
RV/BOAT (12'X40')	-	11 SPACES
ADA SPACES ²	5 SPACES	5 SPACES
VAN ACCESSIBLE	5 SPACE	5 SPACE

NOTES:

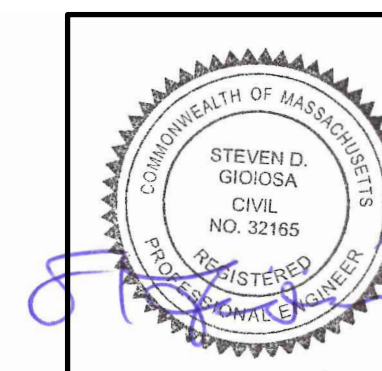
- PER SECTION 198-27, (A)(3), WITHIN THE INDUSTRIAL (I) DISTRICT, A SPECIAL PERMIT FROM THE PLANNING BOARD PURSUANT TO SECTION 198-29 IS NECESSARY FOR NEW CONSTRUCTION OR RE-STRIPING OF PARKING LOT OF FIVE (5) OR MORE SPACE THAT CHANGES SITE CIRCULATION.
- PER SECTION 208.2 OF THE AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS, FIVE (5) ACCESSIBLE PARKING SPACES ARE REQUIRED FOR PARKING FACILITIES WITH 101 TO 150 SPACES. ONE (1) VAN ACCESSIBLE SPACE SHALL BE PROVIDED FOR EVERY SIX (6) REQUIRED SPACES, WITH AT LEAST ONE (1) VAN ACCESSIBLE SPACE.
- PEAK PARKING DEMAND CALCULATED USING THE RATES AND EQUATIONS PUBLISHED BY THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) IN THEIR PARKING GENERATION MANUAL, FIFTH EDITION, 2019.

NO.	DATE	DESCRIPTION
1	02/10/23	CONSERVATION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	CCG FEEB REVIEW COMMENTS



FAIRHAVEN PROPERTIES, LLC
SELF-STORAGE FACILITY
ASSESSOR'S MAP 36 – LOT 15J
FAIRHAVEN, MASSACHUSETTS

COVER SHEET
DATE: APRIL 11, 2024
DRAWN BY: KJ
CHECKED BY: N/A
PROJECT NO: 23-1740
APPROVED BY: SDG



DRAWING NO: CS-1
SHEET 1 OF 14

J:\Fairhaven, MA\23-1740 - Self-storage Properties\Drawings\Map\231740-01-Cover_Sheet-02.dwg(1:1) 05/14/2024 2:50 PM - LP: 6/12/2024 2:50 PM

GENERAL NOTES:

- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. TOPOGRAPHY WITHIN THE STATE HIGHWAY LAYOUT COMPILED FROM NOAA DATA ACCESS VIEWER.
- THE SITE IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA ZONE AS DETERMINED FROM THE TOWN OF FAIRHAVEN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 25005C0394H (EFFECTIVE JULY 6, 2021).
- DRIVEWAY PERMITS SUBJECT TO TRAFFIC COMMISSION APPROVAL.
- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE TOWN PLANNER AND TOWN ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE TOWN PLANNER AND TOWN ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE MUTCD REQUIREMENTS.
- EXCESS SNOW SHALL BE REMOVED FROM THE SITE.
- ANY WORK AND MATERIAL WITHIN THE TOWN OF FAIRHAVEN RIGHT-OF-WAY SHALL CONFORM TO THE TOWN OF FAIRHAVEN REQUIREMENTS.
- ALL HANDICAPPED PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.

OWNER/APPLICANT:

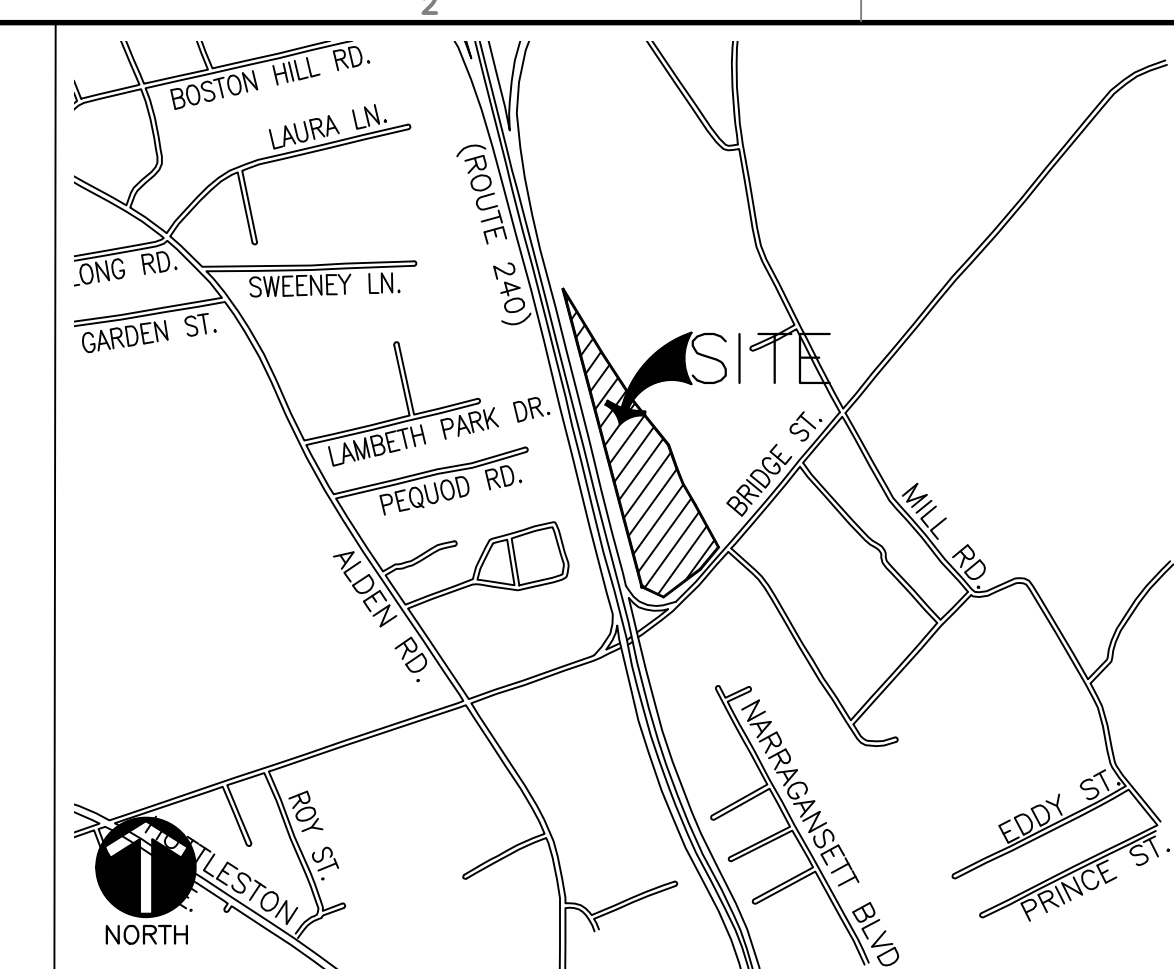
FAIRHAVEN PROPERTIES, LLC
C/O PAUL DOWNEY
PO BOX 4023
NEW BEDFORD, MA 02741

LEGEND

	EXISTING PROPERTY LINE		LIMIT OF DISTURBANCE
	EXISTING TREELINE		PROPOSED BUILDING
	EXISTING FENCE LINE		PROPOSED CURB
	EXISTING ROADWAY CENTERLINE		PROPOSED PAVEMENT
	EXISTING CURB		PROPOSED SIDEWALK
	EXISTING EDGE OF PAVEMENT		
	EXISTING ASPHALT PAVEMENT		
	EXISTING STRUCTURE		
	EXISTING STREAM		
	EXISTING WETLAND		
	EXISTING 25-FT BUFFER ZONE LINE		
	EXISTING 50-FT BUFFER ZONE LINE		
	EXISTING 100-FT BUFFER ZONE LINE		
	EXISTING GUIDE RAIL		

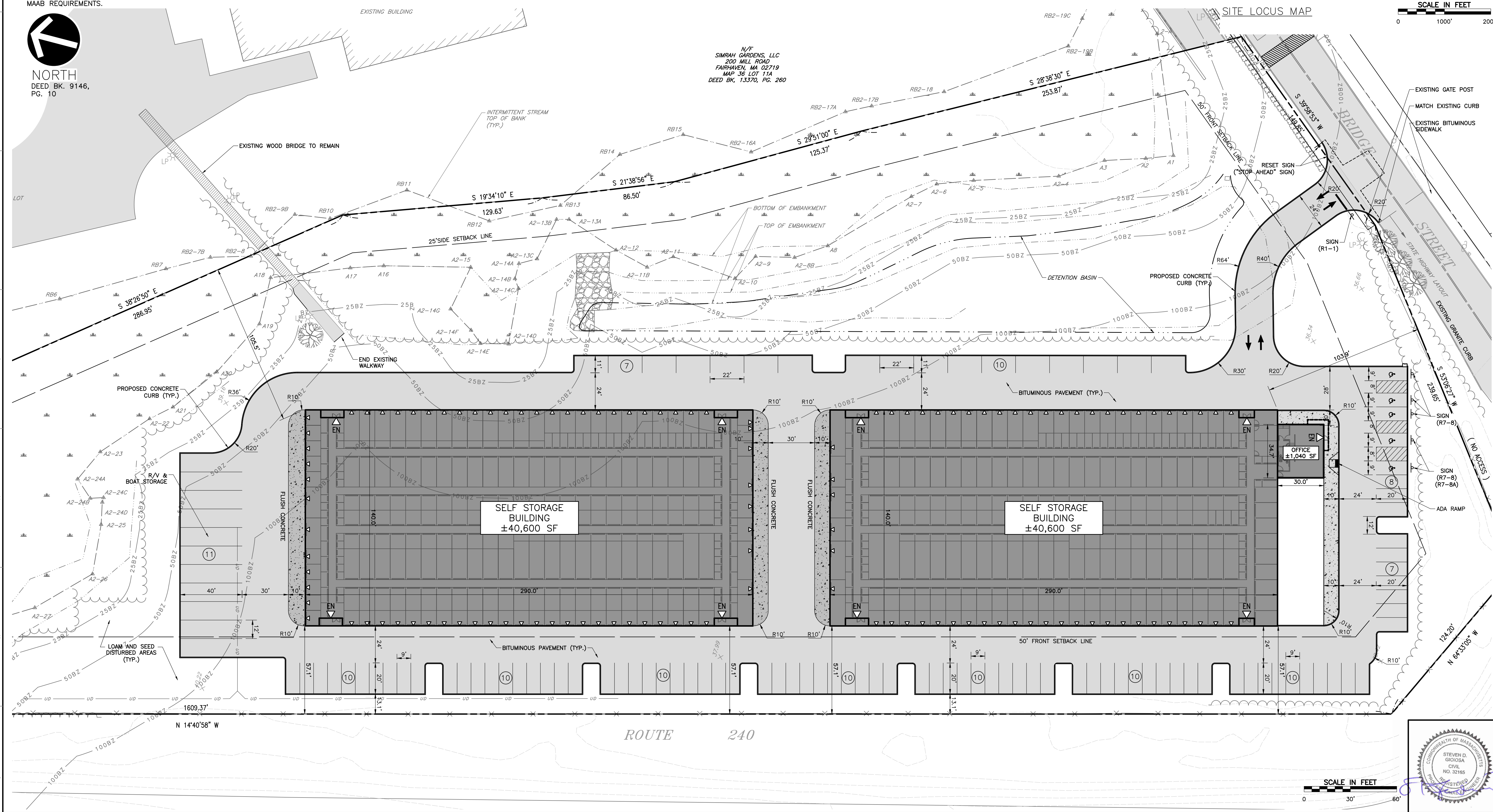
SIGN CHART

SITE	M.U.T.C.D. Code	HEIGHT	WIDTH
	R1-1	30"	30"
	R7-8	18"	12"
	R7-8a	6"	12"



REVISION RECORD

NO	DATE	DESCRIPTION
1	02/10/23	CONSERVATION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	EGG PEER REVIEW COMMENTS

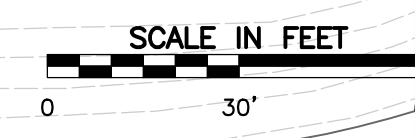
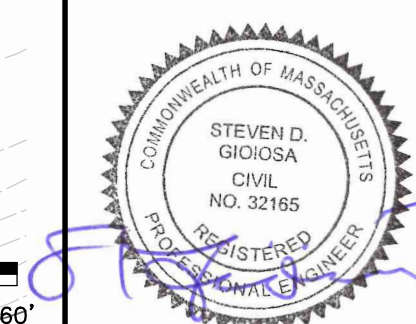


SITEC ENGINEERING & ENVIRONMENTAL CONSULTANTS, INC.
970 Kempton Street
New Bedford, MA 02740
Tel: (781) 319-0100 Fax: (781) 834-4783
https://sitecenv.com/

FAIRHAVEN PROPERTIES, LLC
SELF-STORAGE FACILITY
ASSESSORS MAP 36 - LOT 15J
FAIRHAVEN, MASSACHUSETTS

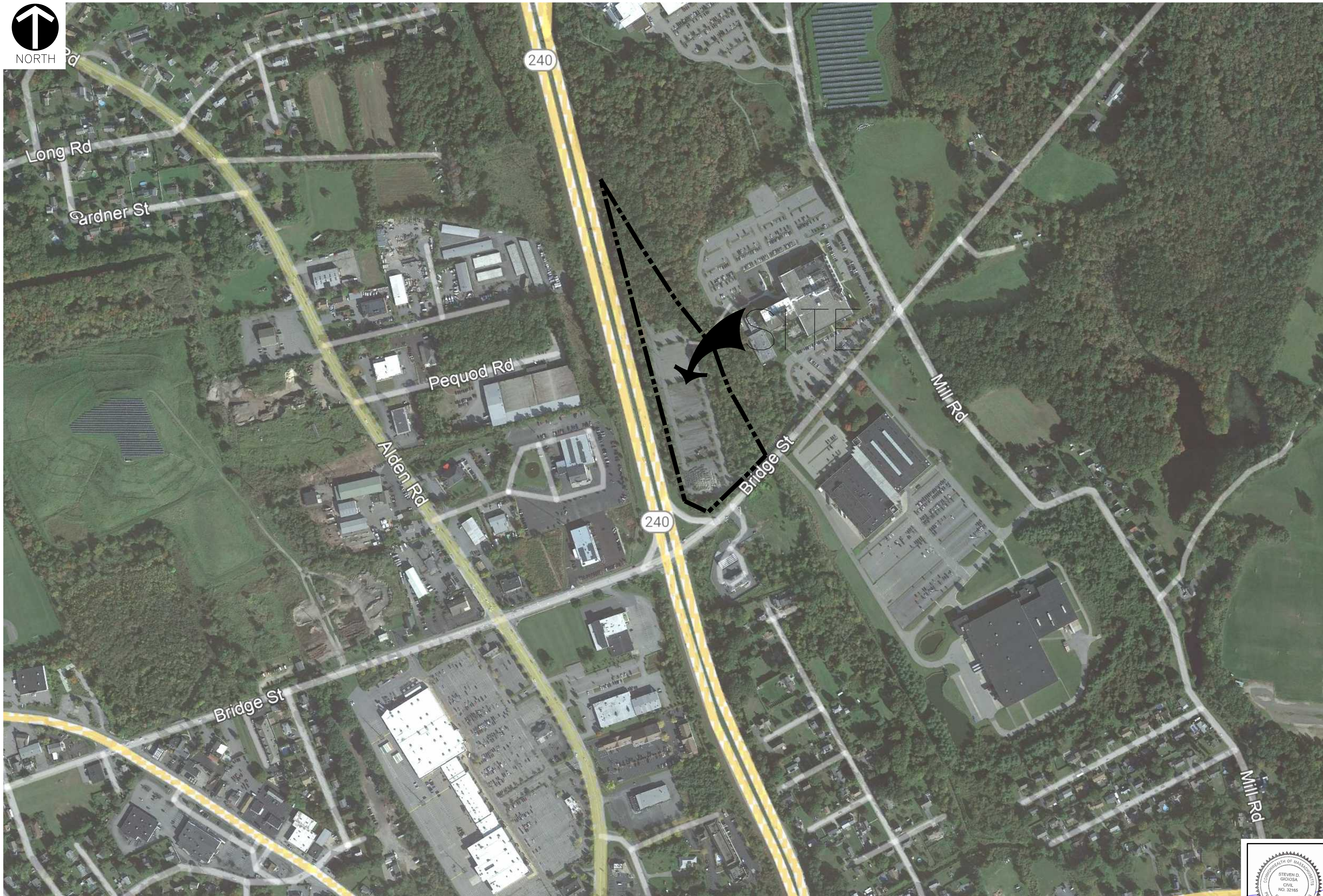
SITE LAYOUT

DATE:	APRIL 11, 2024	DRAWN BY:	KU	JCC
DWG SCALE:	N/A	CHECKED BY:	N/A	23-1740
PROJECT NO:		APPROVED BY:	SDG	

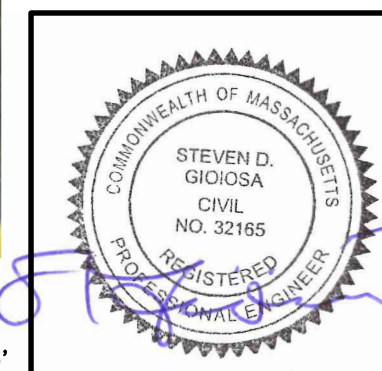


DRAWING NO: **SL-1**
SHEET 2 OF 14

J:\Fairhaven, MA\123-1740 - Self-storage Properties\Drawings\Map 321740-02-Site Layout-02.dwg - 11:54:16 AM - 4/11/2024 4:37 PM
 - LP: 4/16/2024 4:37 PM
 - M: 4/16/2024 4:37 PM



REFERENCE
 1. AERIAL PHOTOGRAPHY OBTAINED FROM GOOGLE EARTH, ACCESSED 05/8/2020, DATED 09/2019.



NO	DATE	DESCRIPTION
1	04/11/24	CONSTRUCTION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	030 PERM REVIEW COMMENTS

SITEC
 ENGINEERING &
 ENVIRONMENTAL
 CONSULTANTS, INC.

970 Kempton Street
 New Bedford, MA 02740
 Tel: (781) 319-0100 Fax: (781) 834-4783
<https://sitecenv.com/>

FAIRHAVEN PROPERTIES, LLC
 SELF-STORAGE FACILITY
 ASSESSORS MAP 36 - LOT 15J
 FAIRHAVEN, MASSACHUSETTS

DRAWING NO:		LM-1
DATE:	APRIL 11, 2024	DRAWN BY: JCC
DWG SCALE:	N/A	CHECKED BY: SDG
PROJECT NO:	23-1740	
APPROVED BY:		

J:\Fairhaven, MA\23-1740 - Storage Properties\Drawings\Map\231740-03-Locus Map-03.dwg(14-1) 15:41:16 05/08/2024 - J:\paco - LP - 4/16/2024 4:38 PM

GENERAL NOTES:

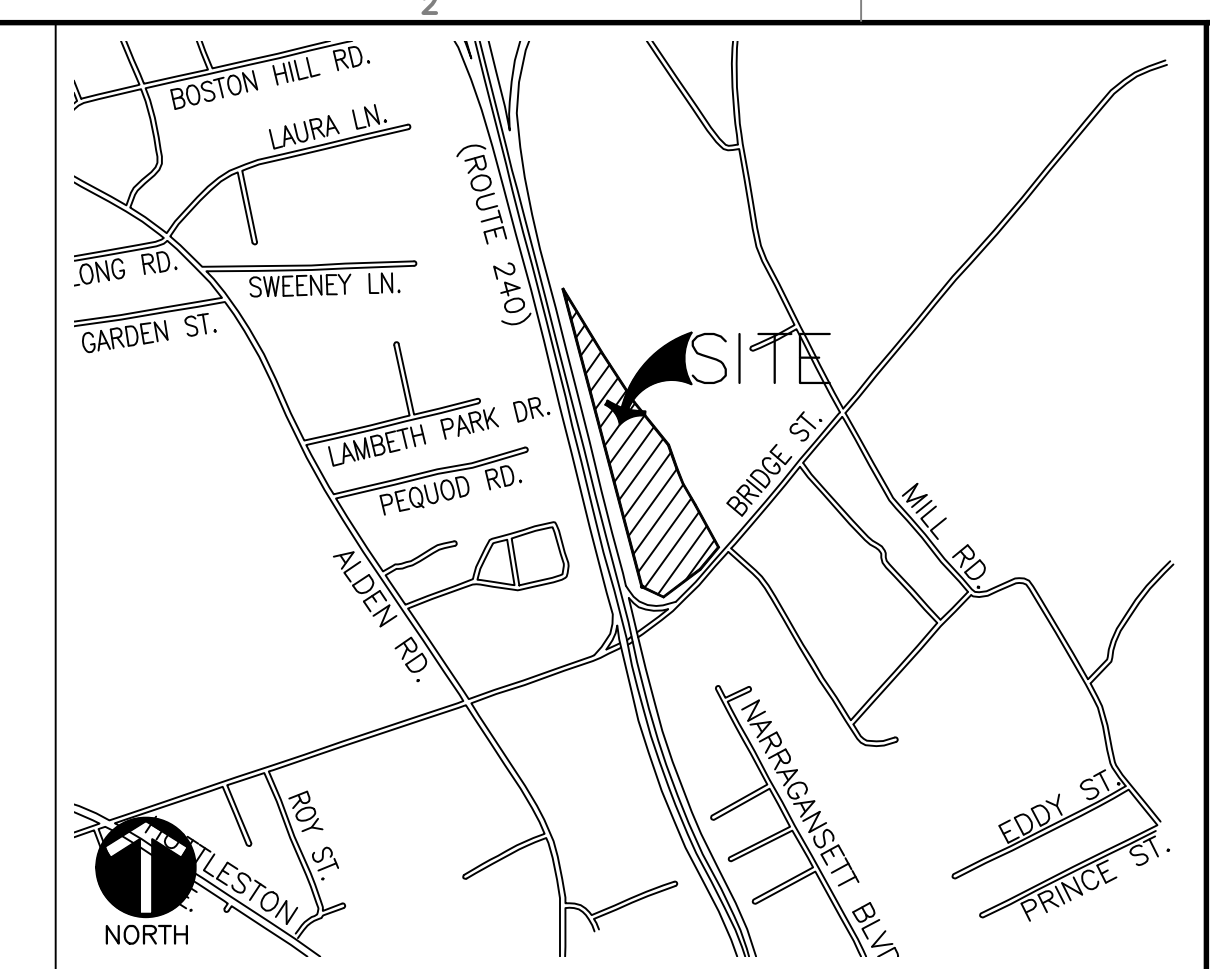
- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. TOPOGRAPHY WITHIN THE STATE HIGHWAY LAYOUT COMPILED FROM NOAA DATA ACCESS VIEWER.
- ELEVATIONS ARE REFERENCE TO NAVD 1988 DATUM.
- THE SITE IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA ZONE AS DETERMINED FROM THE TOWN OF FAIRHAVEN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 25005C0394H (EFFECTIVE JULY 6, 2021).
- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY PLANNER AND CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE TOWN PLANNER AND TOWN ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
- EXCESS SNOW SHALL BE REMOVED FROM THE SITE.
- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE TOWN PLANNER AND TOWN ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLAN SHALL BE SUBMITTED TO THE TOWN PLANNER AND TOWN ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK PERFORMED.
- ANY WORK AND MATERIAL WITHIN THE TOWN OF FAIRHAVEN RIGHT-OF-WAY SHALL CONFORM TO THE TOWN OF FAIRHAVEN REQUIREMENTS.
- ALL HANDICAPPED PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.

LEGEND

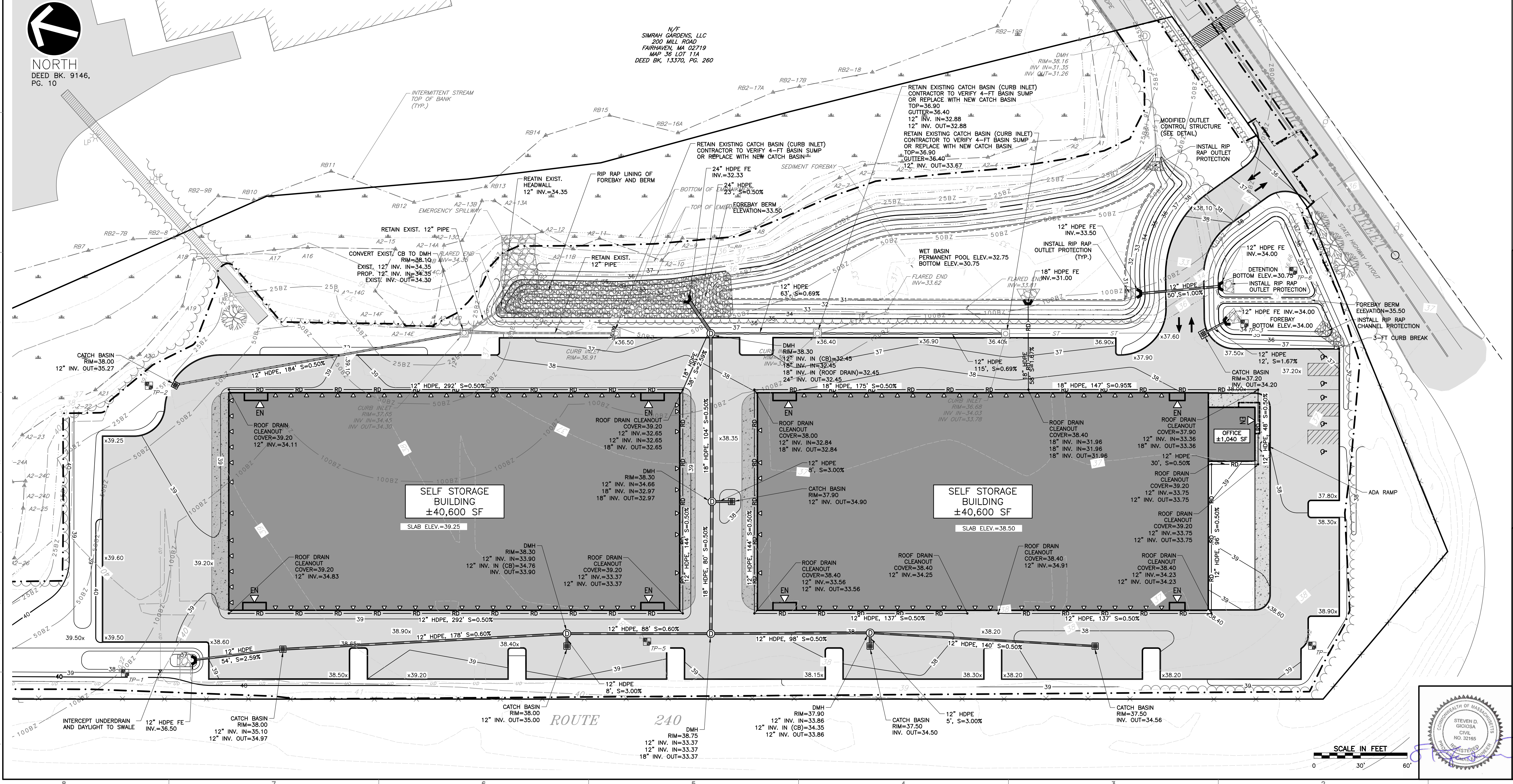
- | | | | |
|--|---------------------------------------|--|---------------------------------------|
| | EXISTING PROPERTY LINE | | PROPOSED CURB |
| | EXISTING TREELINE | | PROPOSED EDGE OF PAVED DRIVE |
| | EXISTING INDEX (MAJOR) CONTOUR | | PROPOSED PAVEMENT |
| | EXISTING INTERMEDIATE (MINOR) CONTOUR | | PROPOSED SIDEWALK |
| | EXISTING FENCE LINE | | PROPOSED BUILDING |
| | EXISTING ROADWAY CENTERLINE | | PROPOSED TREELINE |
| | EXISTING CURB | | PROPOSED INDEX (MAJOR) CONTOUR |
| | EXISTING EDGE OF PAVEMENT | | PROPOSED INTERMEDIATE (MINOR) CONTOUR |
| | EXISTING ASPHALT PAVEMENT | | PROPOSED SLOPE LABEL |
| | EXISTING STRUCTURE | | PROPOSED SPOT ELEVATION |
| | EXISTING STORM PIPE | | TOP OF CURB ELEVATION |
| | EXISTING STREAM | | BOTTOM OF CURB ELEVATION |
| | EXISTING WETLAND | | PROPOSED STORM PIPE |
| | EXISTING 25-FT BUFFER ZONE LINE | | PROPOSED CATCH BASIN |
| | EXISTING 50-FT BUFFER ZONE LINE | | PROPOSED STORM MANHOLE |
| | EXISTING 100-FT BUFFER ZONE LINE | | |
| | EXISTING GUIDE RAIL | | |
| | LIMIT OF DISTURBANCE | | |
| | EXISTING DRAINAGE MANHOLE | | |
| | EXISTING SEWER MANHOLE | | |
| | EXISTING CATCH BASIN | | |

OWNER/APPLICANT:

FAIRHAVEN PROPERTIES, LLC
C/O PAUL DOWNEY
PO BOX 4023
NEW BEDFORD, MA 02741



SITE LOCUS MAP
SCALE IN FEET
0 1000' 2000'



NO.	DATE	DESCRIPTION
1	02/10/23	CONSERVATION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	EGG PEER REVIEW COMMENTS

SITEC
ENGINEERING & ENVIRONMENTAL CONSULTANTS, INC.
970 Kempton Street
New Bedford, MA 02740
Tel: (781) 319-0100 Fax: (781) 834-4783
https://sitecenv.com/

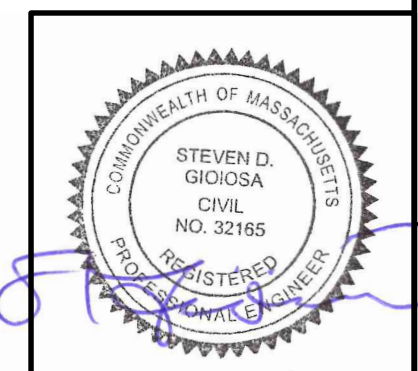
FAIRHAVEN PROPERTIES, LLC
SELF-STORAGE FACILITY
ASSESSORS MAP 36 - LOT 15J
FAIRHAVEN, MASSACHUSETTS

SITE GRADING PLAN

DRAWING NO.: **SG-1**
SHEET 4 OF 14

DATE: APRIL 11, 2024
DWG SCALE: N/A
PROJECT NO: 23-1740

DRAWN BY: KU
CHECKED BY: JCC
APPROVED BY: SDG



J:\Fairhaven, MA\23-1740 - Self-storage Properties\Drawings\Map 36\15J\16\2024 - (Rev04) - LP 4/16/2024 5:54 PM

PLANTING NOTES:

1. ALL NEW LAWN AREAS SHALL RECEIVE A MINIMUM OF 6 INCHES TOPSOIL OF THE PROPER PH AND ORGANIC CONTENT SUITABLE FOR THE HEALTHY GROWTH OF LAWNS. THESE AREAS SHALL BE SEEDED WITH A FINE BLADE LAWN GRASS SEED.
2. ALL TREE AND SHRUB PITS SHALL BE AT LEAST 2 FEET WIDER AND 1 FOOT DEEPER THAN THE TREE OR SHRUB ROOT BALL TO BE PLANTED IN IT. BACKFILL SHALL BE HIGH QUALITY LOAM OF THE PROPER PH AND ORGANIC CONTENT SUITABLE FOR THE HEALTHY GROWTH OF PLANT MATERIALS.
3. ALL AREAS TO BE MULCHED SHALL RECEIVE 4 INCHES MINIMUM 100% SHREDDED BARK MULCH WITHIN 48 HOURS OF PLANTING. UNLESS OTHERWISE NOTED IN PLANTING DETAILS.
4. ALL PLANTS SHALL BE NURSERY GROWN AND CONFORM TO THE LATEST EDITION OF "ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK."
5. PLANTS SHALL CONFORM TO THE BOTANICAL NAME AS INDICATED IN THE LATEST EDITION OF "AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE, STANDARDIZED PLANT NAMES."
6. PLANTS SHALL BE HANDLED AT ALL TIMES IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICES. PLANTS IN-LEAF SHALL BE SPRAYED WITH ANTI-DESICCANT BEFORE DIGGING. PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS AND SHALL CONFORM TO THE RATIOS AND SIZES SPECIFIED IN ANSI Z60.1. B & B PLANTS SHALL BE WRAPPED IN BURLAP AND TIED FIRMLY. PLANT MATERIALS SHALL BE DELIVERED IMMEDIATELY PRIOR TO PLACEMENT, SHALL BE KEPT MOIST AND SHALL BE PROTECTED FROM SUN AND WIND. PLANTS HAVING BROKEN OR CRACKED BALLS PRIOR TO OR DURING PLANTING WILL NOT BE ACCEPTED.

7. ALL TRUNKS OF DECIDUOUS TREES SHALL BE WRAPPED IMMEDIATELY AFTER PLANTING WITH TREE WRAP. WRAP SHALL BE WOUND SPIRALLY, FROM THE BOTTOM OF THE TRUNK TO THE SECOND BRANCHES. ALL TREES SHALL BE STAKED OR GUYED IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH BEST HORTICULTURAL PRACTICES.
8. THE PERIODS FOR PLANTING SHALL BE FROM MARCH 15 TO MAY 15 AND FROM SEPTEMBER 15 TO NOVEMBER 15, WEATHER PERMITTING.
9. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED AS DIRECTED IN NOTE #1 ABOVE.
10. ALL LOCATIONS OF EXISTING UTILITIES MAY NOT BE SHOWN ON THIS PLAN. SEE OTHER PLAN SHEETS FOR UTILITY LOCATIONS. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS OF EXISTING UTILITIES. UTILITY CONFLICTS MAY REQUIRE ADJUSTMENTS TO PROPOSED CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.

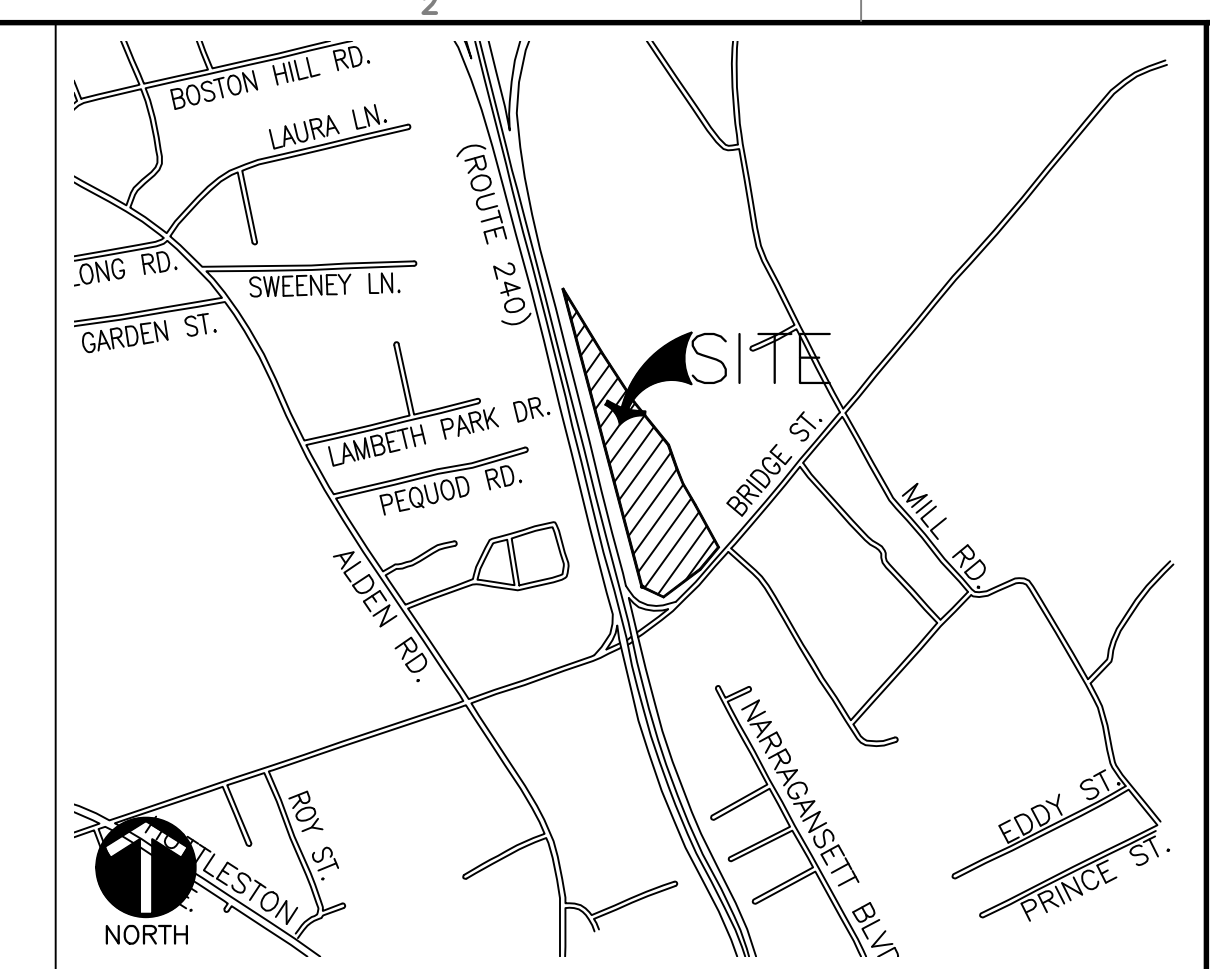
PLANT LIST			
SYMBOL	QUANTITY	NAME	SIZE/NOTES
MD	81	MICROBIOTA DECUSSATA 'CELTIC PRIDE'	3 GALLON CONTAINER
		CELTIC PRIDE RUSSIAN CARPET CYPRESS	
CL	3	CUPRESSOCYPARIS LEYLANDII	5' - 6'
		LEYLAND CYPRESS	B&B
PA	17	PLATANUS X ACERIFOLIA 'BLOODGOOD'	2-2.5" CAL
		BLOODGOOD LONDON PLANETREE	B&B
RK	27	PLATANUS X ACERIFOLIA 'BLOODGOOD'	3 GALLON CONTAINER
		BLOODGOOD LONDON PLANETREE	

LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING TREELINE
- x - x - EXISTING FENCE LINE
- - - EXISTING ROADWAY CENTERLINE
- - - EXISTING CURB
- - - EXISTING EDGE OF PAVEMENT
- ▨ EXISTING ASPHALT PAVEMENT
- ▨ EXISTING STRUCTURE
- ▨ EXISTING WETLAND
- 25BZ — EXISTING 25-FT BUFFER ZONE LINE
- 50BZ — EXISTING 50-FT BUFFER ZONE LINE
- 100BZ — EXISTING 100-FT BUFFER ZONE LINE
- - - EXISTING FLOODWAY
- - - EXISTING GUIDE RAIL
- EXISTING SHRUB
- EXISTING TREE
- ▨ PROPOSED CURB
- ▨ PROPOSED PAVEMENT
- ▨ PROPOSED STRIPING
- ▨ PROPOSED SIDEWALK
- ▨ PROPOSED BUILDING
- ▨ PROPOSED DETENTION POND

OWNER/APPLICANT:

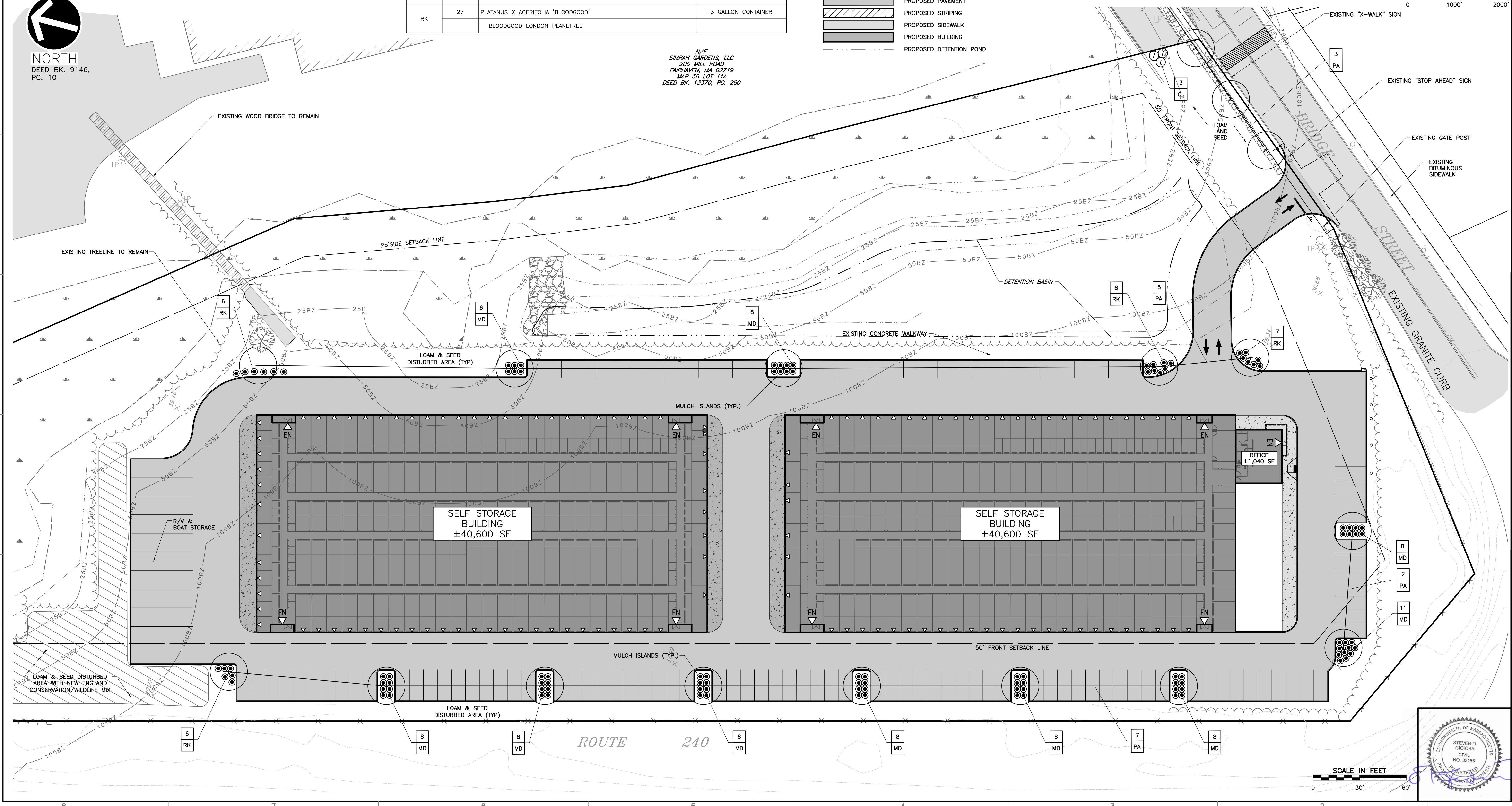
FAIRHAVEN PROPERTIES, LLC
C/O PAUL DOWNEY
PO BOX 4023
NEW BEDFORD, MA 02741



SITE LOCUS MAP
SCALE IN FEET
0 1000' 2000'



N/F
SIMRAH GARDENS, LLC
200 MILL ROAD
FAIRHAVEN, MA 02719
MAP 36 LOT 11A
DEED BK. 13370, PG. 260



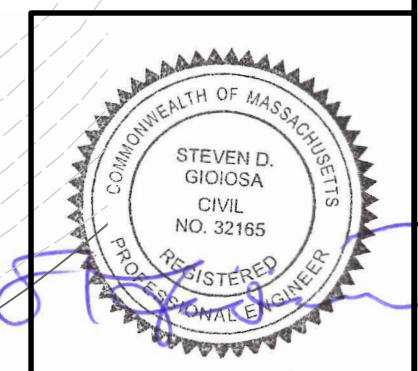
SCALE IN FEET
0 30' 60'

NO	DATE	DESCRIPTION
1	02/10/23	CONSERVATION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	EGG PEER REVIEW COMMENTS



FAIRHAVEN PROPERTIES, LLC
SELF-STORAGE FACILITY
ASSESSORS MAP 36 - LOT 15J
FAIRHAVEN, MASSACHUSETTS

LANDSCAPE PLAN	
DATE:	APRIL 11, 2024
DWG SCALE:	N/A
PROJECT NO:	23-1740
DRAWN BY:	KU
CHECKED BY:	JCC
APPROVED BY:	SDG



J:\Fairhaven, MA\23-1740 - Sabonnet Properties\Drawings\Site\231740-05-Landscape_Plan-02.dwg (P=1) 15/04/2024 4:50 PM

GENERAL NOTES:

- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. TOPOGRAPHY WITHIN THE STATE HIGHWAY LAYOUT COMPILED FROM NOAA DATA ACCESS VIEWER.
- ELEVATIONS ARE REFERENCE TO NAVD 1988 DATUM.
- THE SITE IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA ZONE AS DETERMINED FROM THE TOWN OF FAIRHAVEN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 25005C0394H (EFFECTIVE JULY 6, 2021).
- EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. CIVIL & ENVIRONMENTAL CONSULTANTS, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
- THE CONTRACTOR SHALL CALL DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER AND ENGINEER PRIOR TO EXCAVATION.
- ALL CONSTRUCTION SHALL COMPLY WITH THE TOWN OF FAIRHAVEN PLANNING BOARD, DEPARTMENT OF PUBLIC INFRASTRUCTURE RULES AND REGULATIONS.
- SIZES AND LOCATIONS OF PROPOSED UTILITY SERVICES ARE PRELIMINARY ONLY AND SHALL BE COORDINATED WITH MEP ENGINEER PRIOR TO FINAL DESIGN.
- EXISTING SANITARY SEWER, STORM DRAIN, AND WATER MAIN LOCATION AND SIZE ARE BASED ON HISTORIC RECORD INFORMATION, PROVIDED BY THE TOWN OF FAIRHAVEN DEPARTMENT OF PUBLIC INFRASTRUCTURE.
- MAGNETIC TAPE SHALL BE PLACED OVER BOTH WATER AND SEWER SERVICE CONNECTIONS.

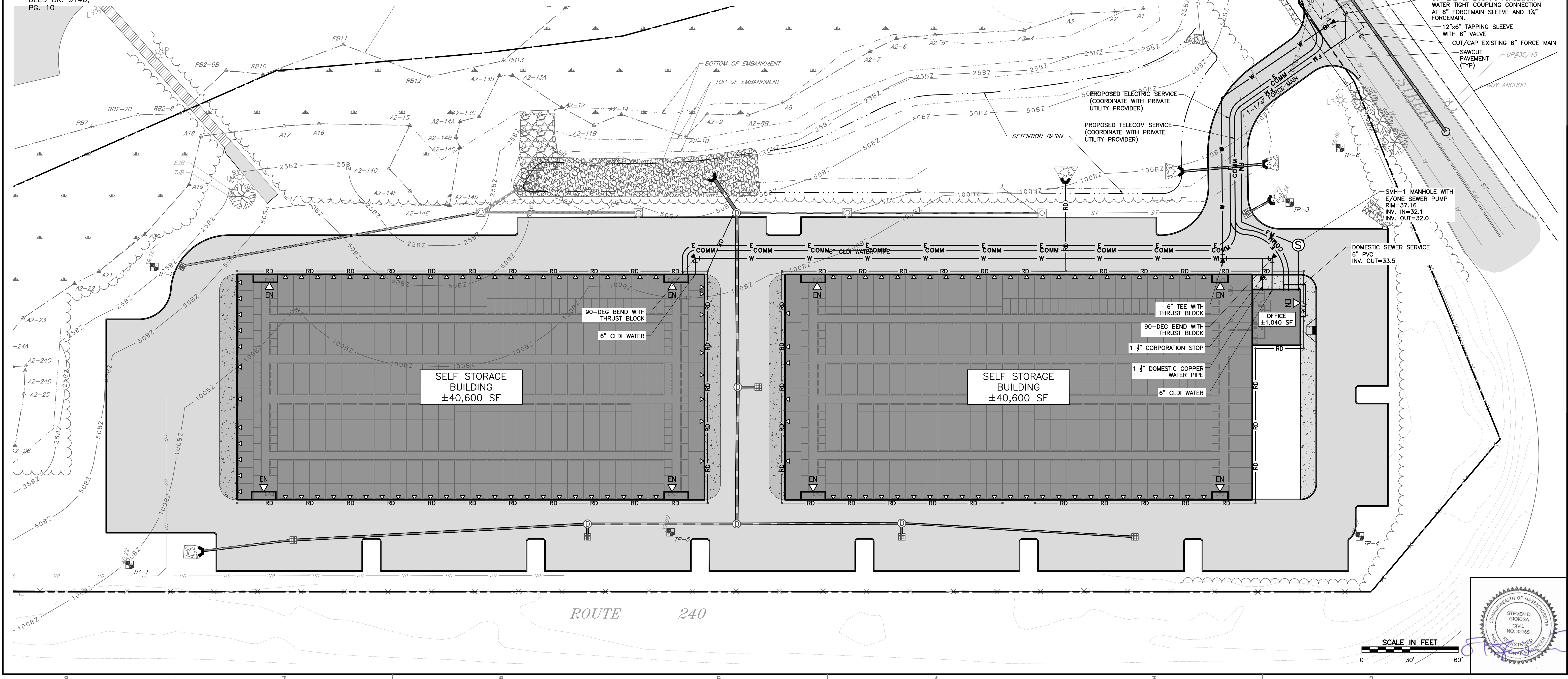
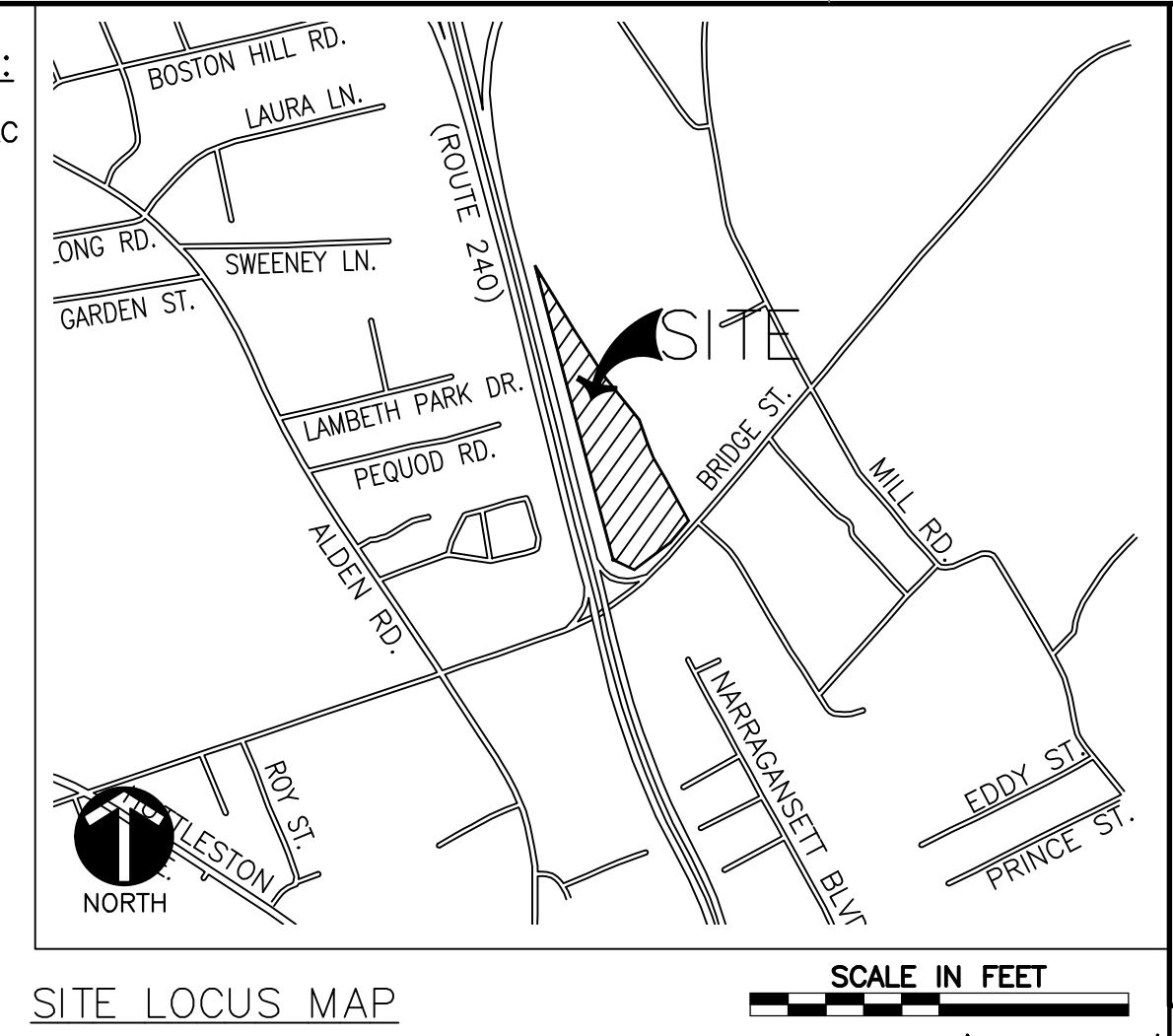
- ALL WATER AND SEWER WORK SHALL BE PERFORMED ACCORDING TO THE STANDARD SPECIFICATIONS OF CONSTRUCTION FOR THE TOWN OF FAIRHAVEN.
- ONLY NEW MATERIALS SHALL BE INCORPORATED IN THE WORK. ALL MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE SUPERINTENDENT. THE CONTRACTOR SHALL SUBMIT TO THE SUPERINTENDENT DATA RELATING TO MATERIALS PROPOSED TO BE FURNISHED FOR THE WORK. SUCH DATA SHALL BE IN SUFFICIENT DETAIL TO IDENTIFY THE PARTICULAR PRODUCT AND TO FORM AN OPINION AS TO ITS CONFORMITY TO THE SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT DATA AND SAMPLES EARLY ENOUGH TO PERMIT CONSTRUCTION AND APPROVAL BEFORE MATERIALS ARE NECESSARY FOR INCORPORATION IN THE WORK.
- BUILDING CONNECTIONS SHALL BE BEDDED IN 3/4 INCH CRUSHED STONE TO AT LEAST ONE-HALF THE PIPE DIAMETER.
- THE SANITARY SEWER AND WATER SERVICE SHALL BE LAID IN SEPARATE TRENCHES AT LEAST 10 FEET APART.
- AN 18" VERTICAL SEPARATION IS REQUIRED BETWEEN SEWER AND WATER MAINS. WHERE THIS IS NOT POSSIBLE DUE TO SITE CONDITIONS, THE CONSTRUCTION OF THE SEWER MAINS AT WATER LINE CROSSINGS SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN NEWPPCC'S TR-16, DATED 1998.
- ALL SEWER IS TO BE INSTALLED IN COMPLIANCE WITH THE RULES AND REGULATIONS SPECIFIED BY THE TOWN OF FAIRHAVEN SEWER AND WASTEWATER DEPARTMENT
- THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE AND OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN RIGHT-OF-WAY.
- ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE TOWN OF FAIRHAVEN BEFORE BEING BACKFILLED.
- THE TOWN SHALL BE NOTIFIED AT LEAST ONE FULL WORKDAY PRIOR TO REQUIRED INSPECTIONS.

LEGEND

- | | | | |
|--|------------------------------------|--|---------------------------|
| | EXISTING PROPERTY LINE | | PROPOSED CURB |
| | EXISTING TREELINE | | PROPOSED PAVEMENT |
| | EXISTING CURB | | PROPOSED SIDEWALK |
| | EXISTING EDGE OF PAVEMENT | | PROPOSED BUILDING |
| | EXISTING ASPHALT PAVEMENT | | PROPOSED STORM PIPE |
| | EXISTING STRUCTURE | | PROPOSED CATCH BASIN |
| | EXISTING STORM PIPE | | PROPOSED STORM MANHOLE |
| | EXISTING WATER LINE | | TEE |
| | EXISTING SEWER FORCE MAIN | | BEND 90 |
| | EXISTING GAS LINE | | WATER VALVE |
| | EXISTING OVERHEAD WIRE | | PROPOSED SANITARY LINE |
| | EXISTING ELECTRIC LINE | | PROPOSED WATERLINE |
| | EXISTING UNDERGROUND ELECTRIC LINE | | PROPOSED SEWER FORCE MAIN |
| | EXISTING FIBER OPTIC LINE | | PROPOSED UTILITY POLE |
| | EXISTING STREAM | | |
| | EXISTING WETLAND | | |
| | EXISTING 25-FT BUFFER ZONE LINE | | |
| | EXISTING 50-FT BUFFER ZONE LINE | | |
| | EXISTING 100-FT BUFFER ZONE LINE | | |
| | EXISTING DRAINAGE MANHOLE | | |
| | EXISTING SEWER MANHOLE | | |
| | EXISTING CATCH BASIN | | |

OWNER/APPLICANT:

FAIRHAVEN PROPERTIES, LLC
C/O PAUL DOWNEY
PO BOX 4023
NEW BEDFORD, MA 02741



NO	DATE	DESCRIPTION
1	02/10/23	CONSERVATION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	EGG PEER REVIEW COMMENTS

SITEC
ENGINEERING & ENVIRONMENTAL CONSULTANTS, INC.
970 Kempton Street
New Bedford, MA 02740
Tel: (781) 319-0100 Fax: (781) 834-4783
https://sitecenv.com/

FAIRHAVEN PROPERTIES, LLC
SELF-STORAGE FACILITY
ASSESSORS MAP 36 - LOT 15J
FAIRHAVEN, MASSACHUSETTS

DATE: APRIL 11, 2024		DRAWN BY: KU	
DWG SCALE: N/A		CHECKED BY: JCC	
PROJECT NO: 23-1740		APPROVED BY: SDG	



DRAWING NO.: SU-1
SHEET 6 OF 14

J:\Fairhaven, MA\23-1740 - Self-storage\Drawings\Map\231740-06-Site Utilities Plan-02.dwg(SU-1) LS(4/16/2024 - Noon) - LP: 4/16/2024 5:58 PM

GENERAL NOTES:

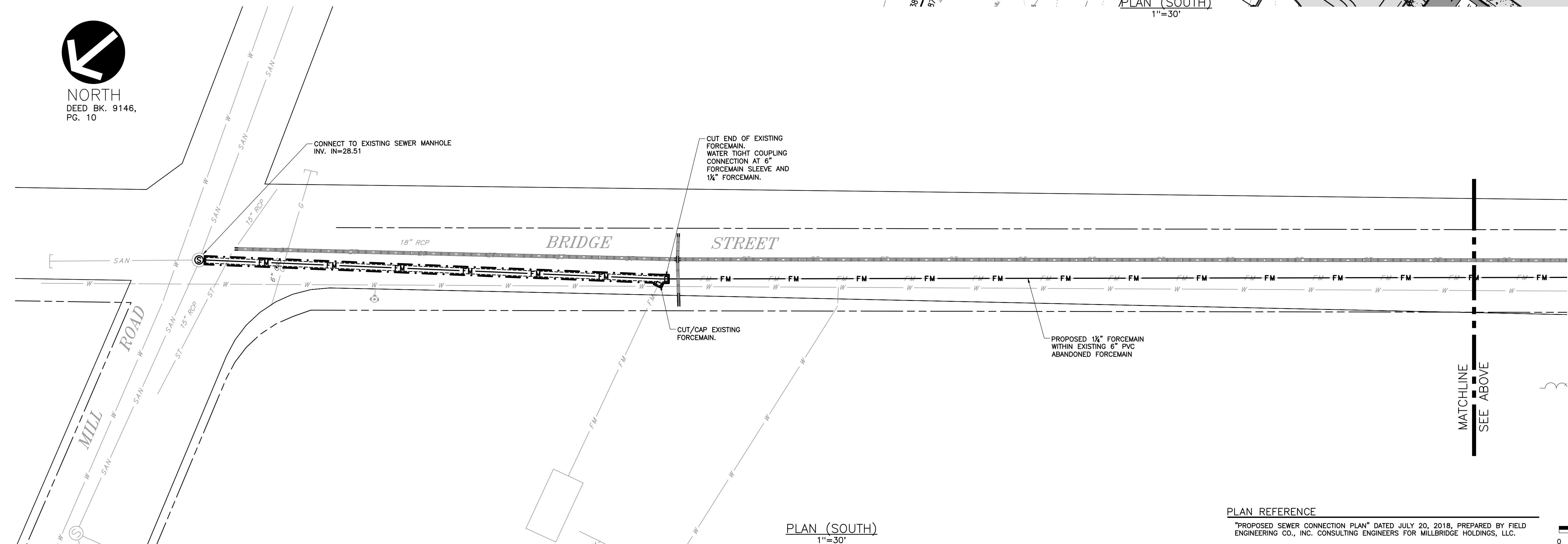
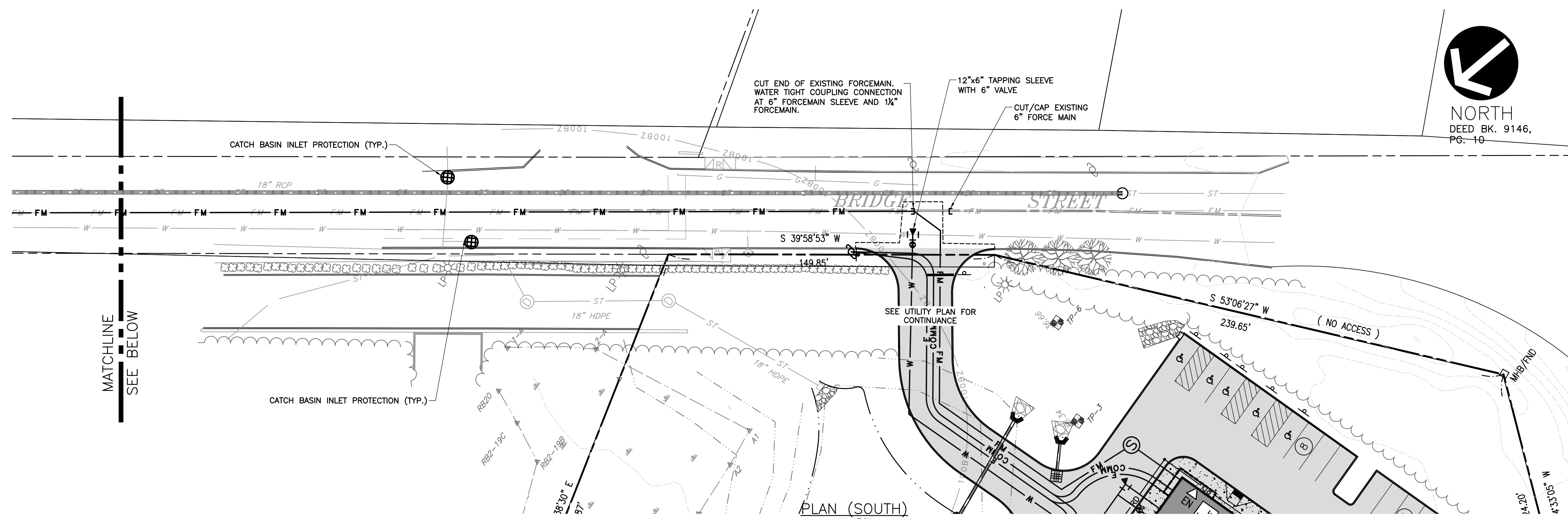
- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. TOPOGRAPHY WITHIN THE STATE HIGHWAY LAYOUT COMPILED FROM NOAA DATA ACCESS VIEWER.
- ELEVATIONS ARE REFERENCE TO NAVD 1988 DATUM.
- THE SITE IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA ZONE AS DETERMINED FROM THE TOWN OF FAIRHAVEN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 25005C0394H (EFFECTIVE JULY 6, 2021).
- EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. CIVIL & ENVIRONMENTAL CONSULTANTS, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
- THE CONTRACTOR SHALL CALL DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER AND ENGINEER PRIOR TO EXCAVATION.
- ALL CONSTRUCTION SHALL COMPLY WITH THE TOWN OF FAIRHAVEN PLANNING BOARD, DEPARTMENT OF PUBLIC INFRASTRUCTURE RULES AND REGULATIONS.
- SIZES AND LOCATIONS OF PROPOSED UTILITY SERVICES ARE PRELIMINARY ONLY AND SHALL BE COORDINATED WITH MEP ENGINEER PRIOR TO FINAL DESIGN.
- EXISTING SANITARY SEWER, STORM DRAIN, AND WATER MAIN LOCATION AND SIZE ARE BASED ON HISTORIC RECORD INFORMATION, PROVIDED BY THE TOWN OF FAIRHAVEN DEPARTMENT OF PUBLIC INFRASTRUCTURE.
- MAGNETIC TAPE SHALL BE PLACED OVER BOTH WATER AND SEWER SERVICE CONNECTIONS.
- ALL WATER AND SEWER WORK SHALL BE PERFORMED ACCORDING TO THE STANDARD SPECIFICATIONS OF CONSTRUCTION FOR THE TOWN OF FAIRHAVEN.
- ONLY NEW MATERIALS SHALL BE INCORPORATED IN THE WORK. ALL MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE SUPERINTENDENT. THE CONTRACTOR SHALL SUBMIT TO THE SUPERINTENDENT DATA RELATING TO MATERIALS PROPOSED TO BE FURNISHED FOR THE WORK. SUCH DATA SHALL BE IN SUFFICIENT DETAIL TO IDENTIFY THE PARTICULAR PRODUCT AND TO FORM AN OPINION AS TO ITS CONFORMITY TO THE SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT DATA AND SAMPLES EARLY ENOUGH TO PERMIT CONSTRUCTION AND APPROVAL BEFORE MATERIALS ARE NECESSARY FOR INCORPORATION IN THE WORK.
- THE SANITARY SEWER AND WATER SERVICE SHALL BE LAID IN SEPARATE TRENCHES AT LEAST 10 FEET APART.
- AN 18" VERTICAL SEPARATION IS REQUIRED BETWEEN SEWER AND WATER MAINS. WHERE THIS IS NOT POSSIBLE DUE TO SITE CONDITIONS, THE CONSTRUCTION OF THE SEWER MAINS AT WATER LINE CROSSINGS SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN NEIWPCC'S TR-16, DATED 1998.

LEGEND

	EXISTING PROPERTY LINE		EXISTING SHRUB
	EXISTING TREE LINE		EXISTING TREE
	EXISTING RIGHT-OF-WAY		PROPOSED CURB
	EXISTING ROADWAY CENTERLINE		PROPOSED PAVEMENT
	EXISTING CURB		PROPOSED BUILDING
	EXISTING STORM PIPE		PROPOSED DETENTION POND
	EXISTING WATER LINE		PROPOSED STORM PIPE
	EXISTING SEWER FORCE MAIN		PROPOSED CATCH BASIN
	EXISTING GAS LINE		PROPOSED STORM MANHOLE
	EXISTING WETLAND		PROPOSED SANITARY LINE
	EXISTING SEWER MANHOLE		PROPOSED WATERLINE
	EXISTING FIRE HYDRANT		PROPOSED SEWER FORCE MAIN

OWNER/APPLICANT:

FAIRHAVEN PROPERTIES, LLC
C/O PAUL DOWNEY
PO BOX 4023
NEW BEDFORD, MA 02741



NO	DATE	DESCRIPTION
1	02/10/23	CONSERVATION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	EGG PEER REVIEW COMMENTS



FAIRHAVEN PROPERTIES, LLC
SELF-STORAGE FACILITY
ASSESSORS MAP 36 - LOT 15J
FAIRHAVEN, MASSACHUSETTS

DATE:	APRIL 11, 2024	DRAWN BY:	KU
DWG SCALE:	N/A	CHECKED BY:	JCC
PROJECT NO:	23-1740	APPROVED BY:	SDG



PLAN REFERENCE
"PROPOSED SEWER CONNECTION PLAN" DATED JULY 20, 2018, PREPARED BY FIELD ENGINEERING CO., INC. CONSULTING ENGINEERS FOR MILLBRIDGE HOLDINGS, LLC.



DRAWING NO.: SU-2
SHEET 7 OF 14

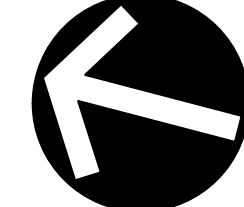
J:\Fairhaven, MA\23-1740 - Sabonnet Properties\Drawings\Imp\231740-02-Offsite Improvements\Plan-Reland\SU-2 LS\11-16-2024 - kjoosa - LP - 4/16/2024 6:24 PM

GENERAL NOTES:

- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. TOPOGRAPHY WITHIN THE STATE HIGHWAY LAYOUT COMPILED FROM NOAA DATA ACCESS VIEWER.
- ELEVATIONS ARE REFERENCE TO NAVD 1988 DATUM.
- THE SITE IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA ZONE AS DETERMINED FROM THE TOWN OF FAIRHAVEN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 25005C0394H (EFFECTIVE JULY 6, 2021).
- THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAY HEREON. THE OWNER'S OF LOCUS AND ABUTTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSOR'S RECORDS.
- THE WETLAND RESOURCE AREAS AS DEPICTED ON THIS PLAN HAVE BEEN CONFIRMED TO AN ORDER OF RESOURCE AREA DELINEATION (ORAD), ISSUED BY THE TOWN OF FAIRHAVEN CONSERVATION COMMISSION ON FEBRUARY 22, 2022 (MASSDEP FILE NO. 023-1366).

PRIOR CONSERVATION FILINGS INTERMITTENT STREAM DETERMINATIONS:

- | | | |
|--|----------------|---------------|
| • DEP FILE SE023-1330 | 200 MILL ROAD | AUGUST 2020 |
| • DEP FILE SE023-1286 | 200 MILL ROAD | JANUARY 2019 |
| • DEP FILE SE023-1246 | BRIDGE STREET | FEBRUARY 2017 |
| • DEP FILE SE023-1217 | 200 MILL ROAD | APRIL 2015 |
| • REQUEST FOR DETERMINATION OF APPLICABILITY | MAP 87 LOT 30A | DECEMBER 2007 |



NORTH
DEED BK. 9146,
PG. 10

LEGEND

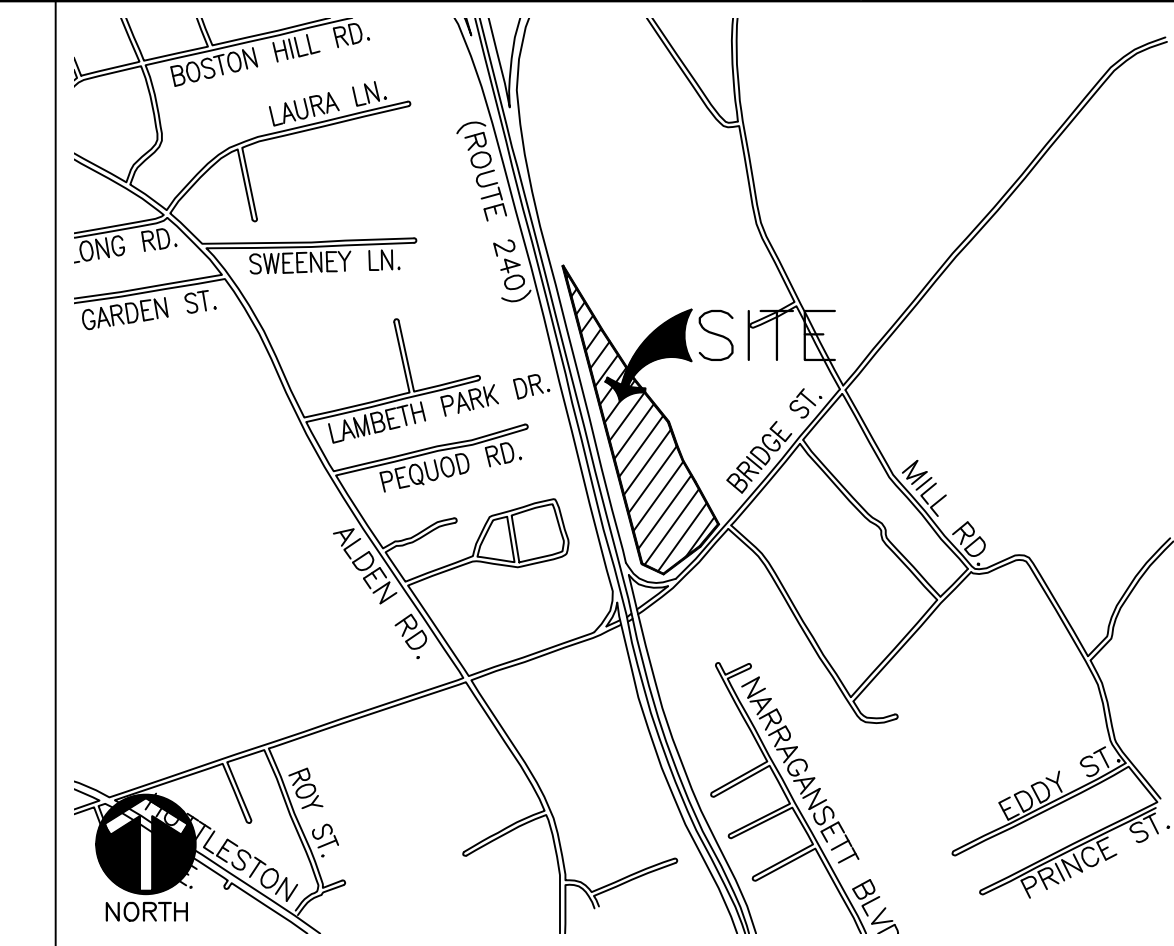
- | | | | |
|--|---------------------------------------|--|----------------------------------|
| | EXISTING PROPERTY LINE | | EXISTING FIBER OPTIC LINE |
| | EXISTING TREELINE | | EXISTING STREAM |
| | EXISTING RIGHT-OF-WAY | | EXISTING WETLAND |
| | EXISTING INDEX (MAJOR) CONTOUR | | EXISTING 25-FT BUFFER ZONE LINE |
| | EXISTING INTERMEDIATE (MINOR) CONTOUR | | EXISTING 50-FT BUFFER ZONE LINE |
| | EXISTING DRAINAGE DITCH | | EXISTING 100-FT BUFFER ZONE LINE |
| | EXISTING FENCE LINE | | EXISTING FLOODWAY |
| | EXISTING ROADWAY CENTERLINE | | EXISTING GUIDE RAIL |
| | EXISTING CURB | | EXISTING SEWER MANHOLE |
| | EXISTING EDGE OF PAVEMENT | | EXISTING FIRE HYDRANT |
| | EXISTING ASPHALT PAVEMENT | | EXISTING SHRUB |
| | EXISTING STRUCTURE | | EXISTING TREE |
| | EXISTING STORM PIPE | | |
| | EXISTING WATER LINE | | |
| | EXISTING SEWER FORCE MAIN | | |
| | EXISTING GAS LINE | | |
| | EXISTING OVERHEAD WIRE | | |
| | EXISTING ELECTRIC LINE | | |
| | EXISTING UNDERGROUND ELECTRIC LINE | | |

UTILITY COMPANIES:

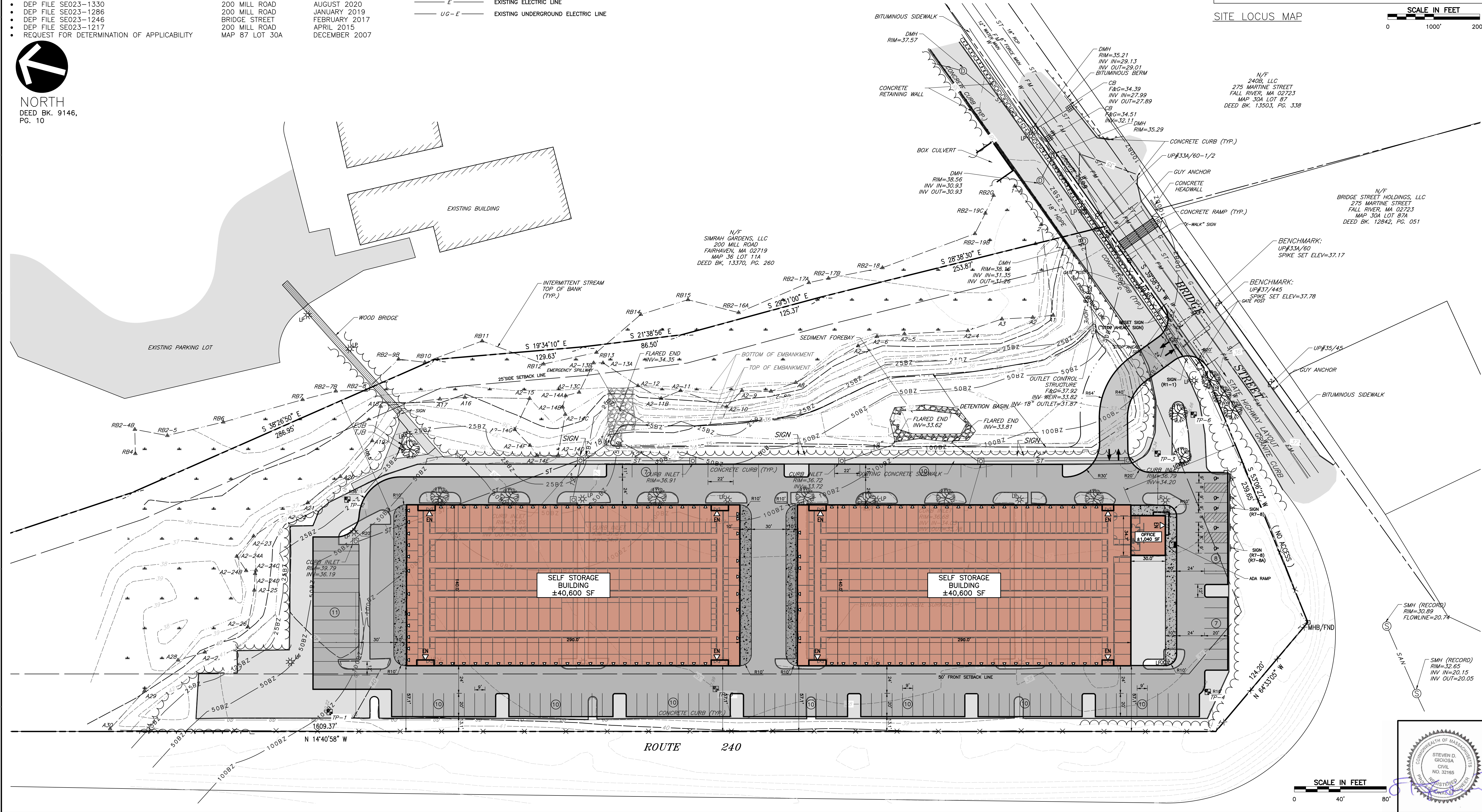
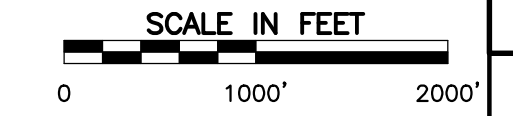
- SANITARY SEWER – FAIRHAVEN BPW (508) 979-4030
 WATER SUPPLY – FAIRHAVEN BPW
 GAS – EVERSOURCE GAS (855) 645-2427
 ELECTRIC – EVERSOURCE ELECTRIC (888) 633-3797
 CABLE – COMCAST (800) 934-6489

OWNER/APPLICANT:

FAIRHAVEN PROPERTIES, LLC
 C/O PAUL DOWNEY
 PO BOX 4023
 NEW BEDFORD, MA 02741



SITE LOCUS MAP



NO	DATE	DESCRIPTION
1	02/10/23	CONSERVATION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	EGG PEER REVIEW COMMENTS

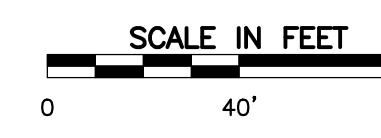
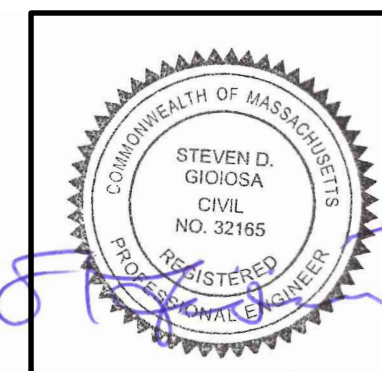
SITEC
 ENGINEERING &
 ENVIRONMENTAL
 CONSULTANTS, INC.

970 Kempton Street
 New Bedford, MA 02740
 Tel: (781) 319-0100 Fax: (781) 834-4783
 https://sitecenv.com/

FAIRHAVEN PROPERTIES, LLC
 SELF-STORAGE FACILITY
 ASSESSORS MAP 36 – LOT 15J
 FAIRHAVEN, MASSACHUSETTS

EXISTING CONDITIONS PLAN

DATE: APRIL 11, 2024 DRAWN BY: KU JCC
 DWG SCALE: N/A CHECKED BY: 23-1740 SDG
 PROJECT NO: APPROVED BY:



GENERAL NOTES:

- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. TOPOGRAPHY WITHIN THE STATE HIGHWAY LAYOUT COMPILED FROM NOAA DATA ACCESS VIEWER.
- ELEVATIONS ARE REFERENCE TO NAVD 1988 DATUM.
- THE SITE IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA ZONE AS DETERMINED FROM THE TOWN OF FAIRHAVEN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 25005C0394H (EFFECTIVE JULY 6, 2021).
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
- ANY WORK AND MATERIAL WITHIN THE TOWN OF FAIRHAVEN RIGHT-OF-WAY SHALL CONFORM TO THE TOWN OF FAIRHAVEN REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
- THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO THE START OF CONSTRUCTION.

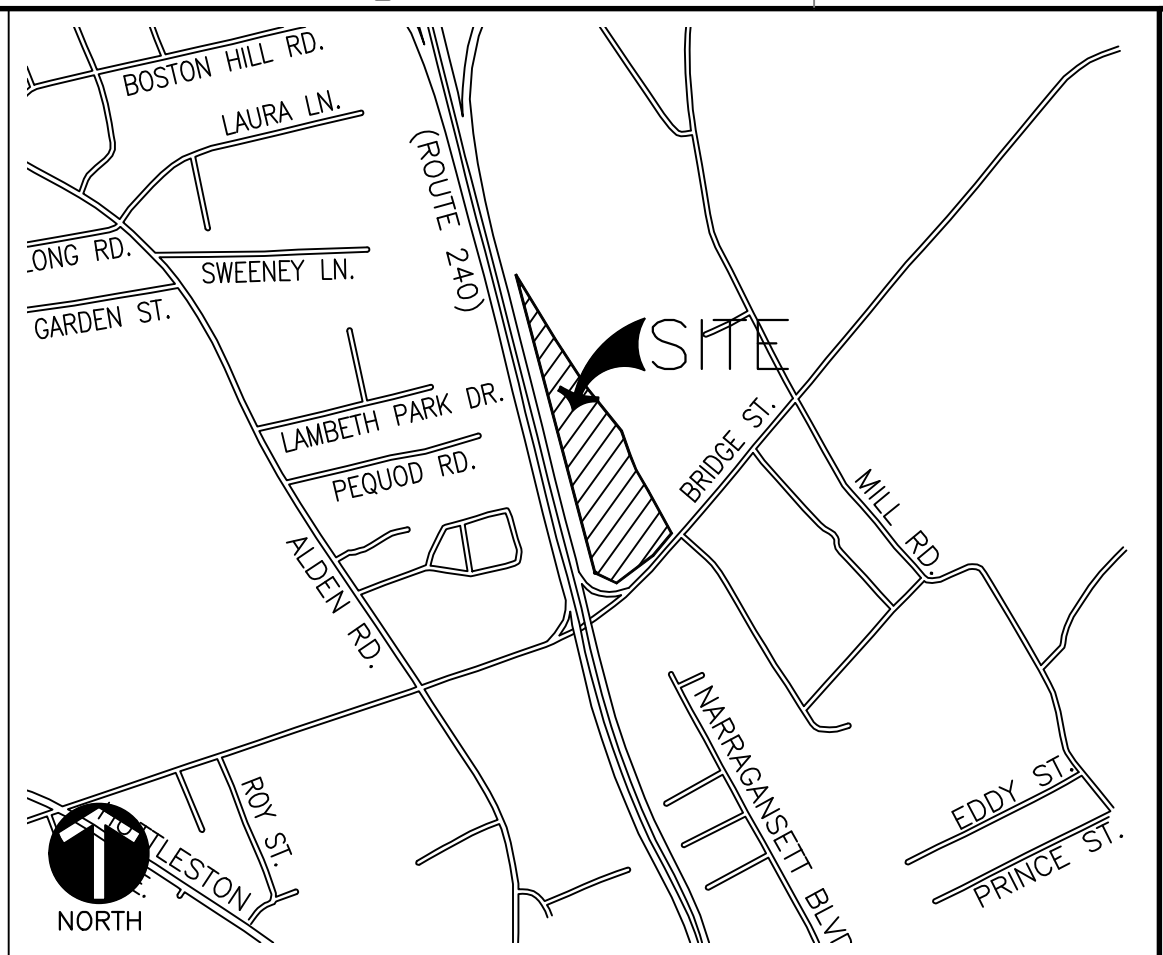
- THE CONTRACTOR SHALL CALL DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER AND ENGINEER PRIOR TO EXCAVATION.
- CONTRACTOR SHALL PROTECT ABUTTING AREAS FROM DAMAGE. DAMAGE OF ABUTTING AREAS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL HAVE WATER AVAILABLE FOR DUST CONTROL OR AND APPROVED DUST CONTROL AGENT.
- ALL DEMOLITION MATERIALS SHALL BE LEGALLY DISPOSED OF OFFSITE.
- EROSION CONTROL BMPs SHALL CONFORM TO US EPA, NPDES, MAP DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.

LEGEND

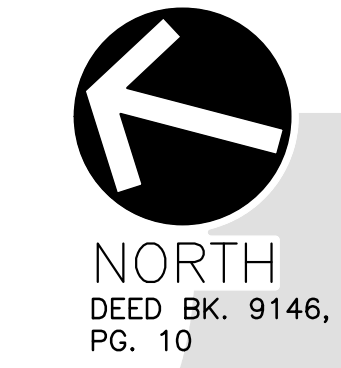
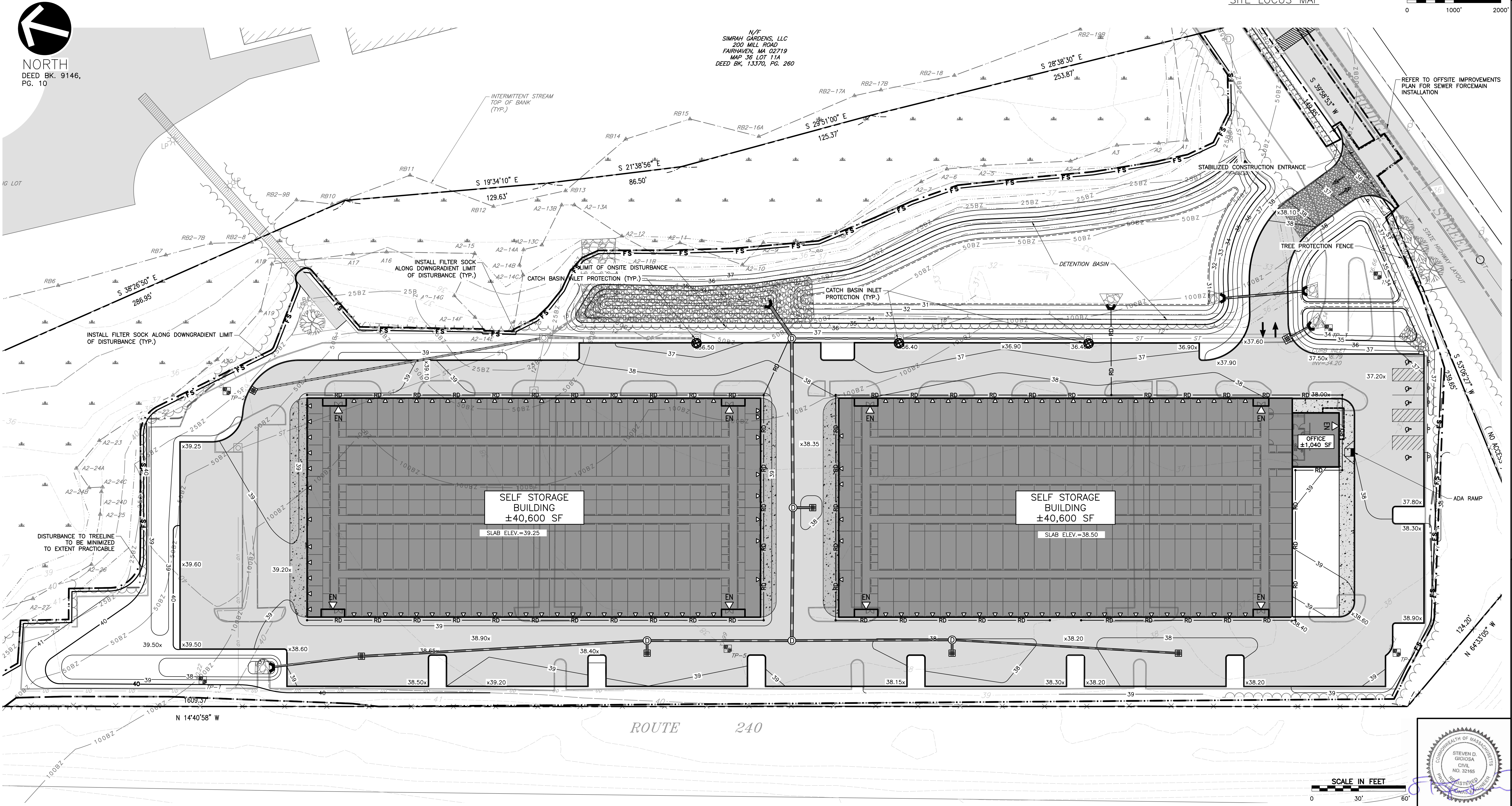
	EXISTING PROPERTY LINE		PROPOSED CURB
	EXISTING TREELINE		PROPOSED EDGE OF PAVED DRIVE
	EXISTING INDEX (MAJOR) CONTOUR		PROPOSED PAVEMENT
	EXISTING INTERMEDIATE (MINOR) CONTOUR		PROPOSED BUILDING
	EXISTING FENCE LINE		PROPOSED DETENTION POND
	EXISTING ROADWAY CENTERLINE		PROPOSED FILTER SOCK
	EXISTING CURB		PROPOSED SILT FENCE
	EXISTING EDGE OF PAVEMENT		PROPOSED INLET PROTECTION
	EXISTING ASPHALT PAVEMENT		PROPOSED CONSTRUCTION EXIT
	EXISTING STRUCTURE		
	EXISTING STORM PIPE		
	EXISTING 25-FT BUFFER ZONE LINE		
	EXISTING 50-FT BUFFER ZONE LINE		
	EXISTING 100-FT BUFFER ZONE LINE		
	LIMIT OF DISTURBANCE		
	EXISTING SHRUB		
	EXISTING TREE		

OWNER/APPLICANT:

FAIRHAVEN PROPERTIES, LLC
C/O PAUL DOWNEY
PO BOX 4023
NEW BEDFORD, MA 02741



SITE LOCUS MAP
SCALE IN FEET
0 1000' 2000'



N/F
SIMRAH GARDENS, LLC
200 MILL ROAD
FAIRHAVEN, MA 02719
MAP 36 LOT 11A
DEED BK. 13370, PG. 260

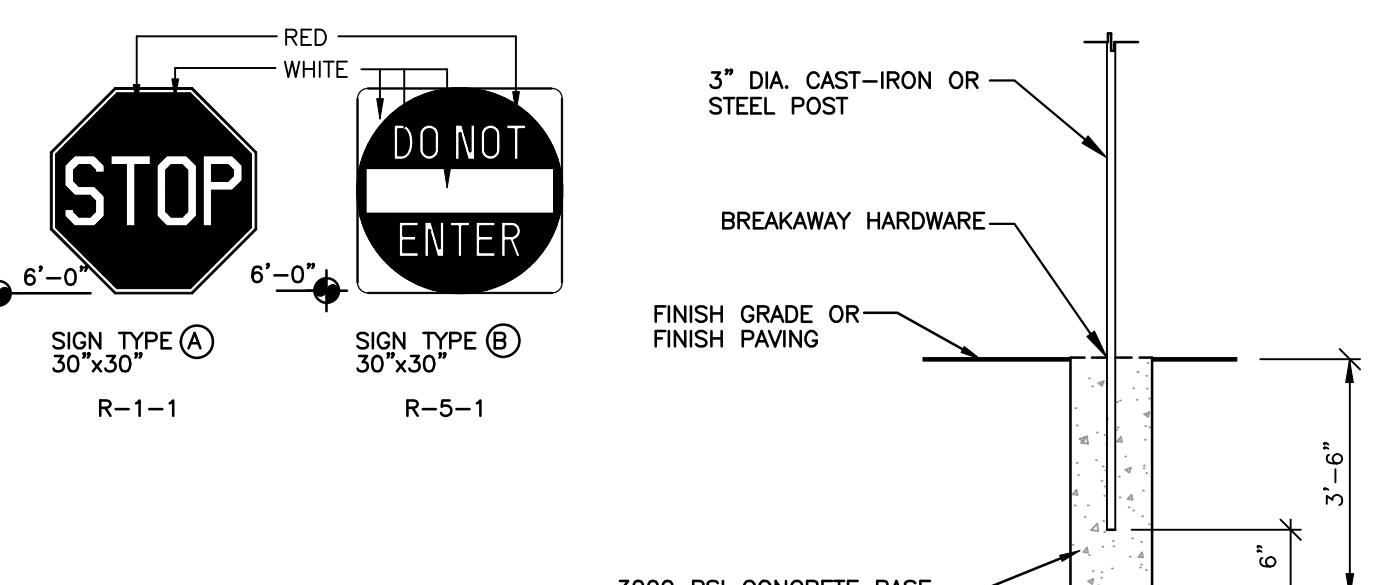
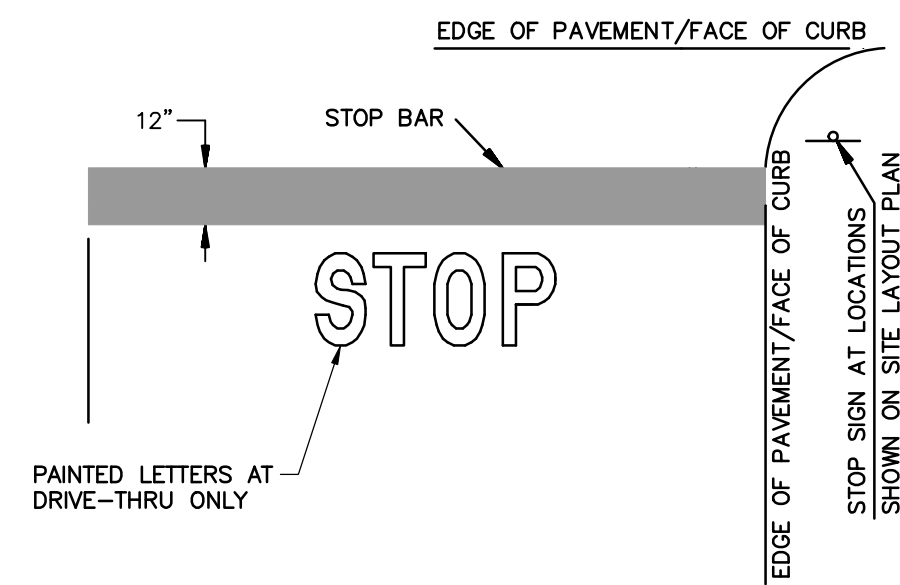
NO	DATE	DESCRIPTION
1	02/10/23	CONSERVATION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	EGG PEER REVIEW COMMENTS



FAIRHAVEN PROPERTIES, LLC
SELF-STORAGE FACILITY
ASSESSORS MAP 36 - LOT 15J
FAIRHAVEN, MASSACHUSETTS

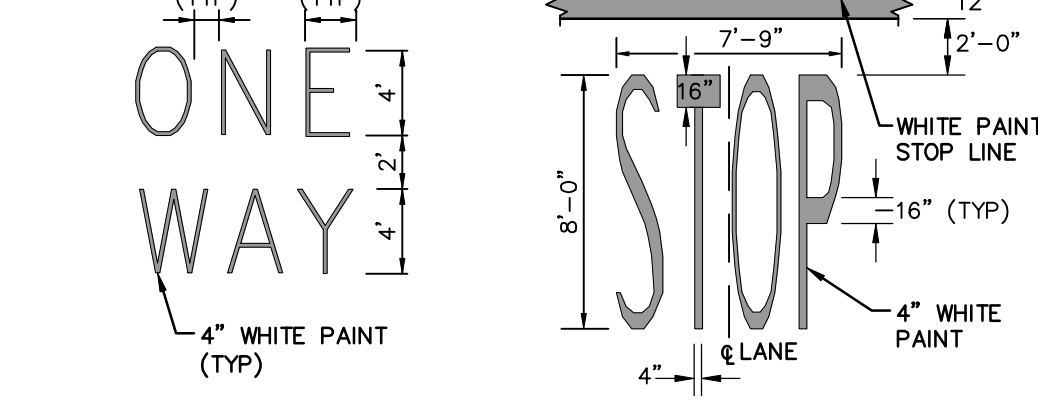
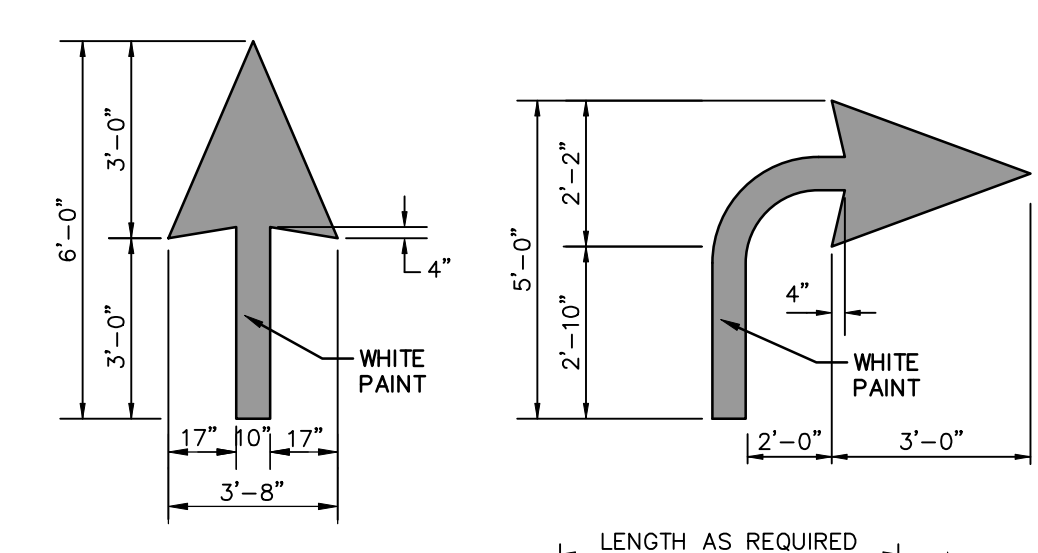
DATE:	APRIL 11, 2024	DRAWN BY:	KU	JCC
DWG. SCALE:	N/A	CHECKED BY:		23-1740
PROJECT NO.:		APPROVED BY:		SDG





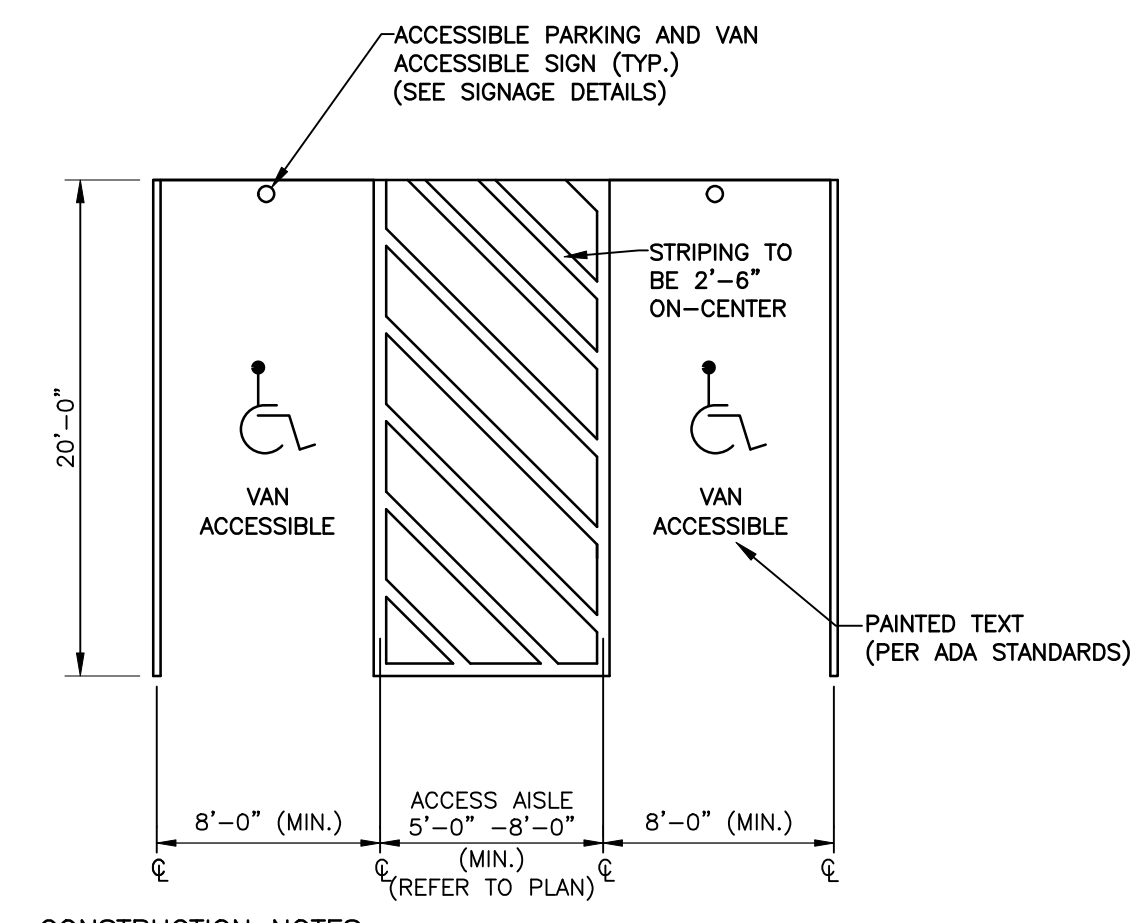
- CONSTRUCTION NOTES:**
- SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 36". SIGN PANELS SHALL BE 0.100 ALUMINUM WITH RAISED OR SILKSCREEN COPY.
 - FOR POST MOUNTING, USE NON-CORROSIVE 3/8" 2. MACHINE BOLTS W/ WASHERS, 2 PER SIGN; OR IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - FOR WALL MOUNTING, USE NON-CORROSIVE 3/8" LAG BOLTS W/ LEAD EXPANSION SHIELD, 4 PER SIGN.
 - ALL ACCESSIBLE PARKING SIGNAGE IS TO BE INSTALLED WITH THE BOTTOM EDGE OF THE LOWEST SIGN AT LEAST 60" ABOVE FINISHED GRADE.
 - FINE AMOUNT SHALL BE DISPLAYED IN ACCORDANCE WITH LOCAL LAW. THE AMOUNT SHOWN HEREON IS REPRESENTATIVE ONLY. COORDINATE POSTING OF FINE AMOUNT WITH LOCAL LAW ENFORCEMENT AGENCY.
 - STOP BAR MUST BE PAINTED WHITE
 - FOR ACCESSIBLE SIGNAGE, DIMENSIONS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (ACB) RULES AND REGULATIONS (521 CMR).
 - SIGNAGE SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).

1 SIGNS
DT-01 N.T.S.



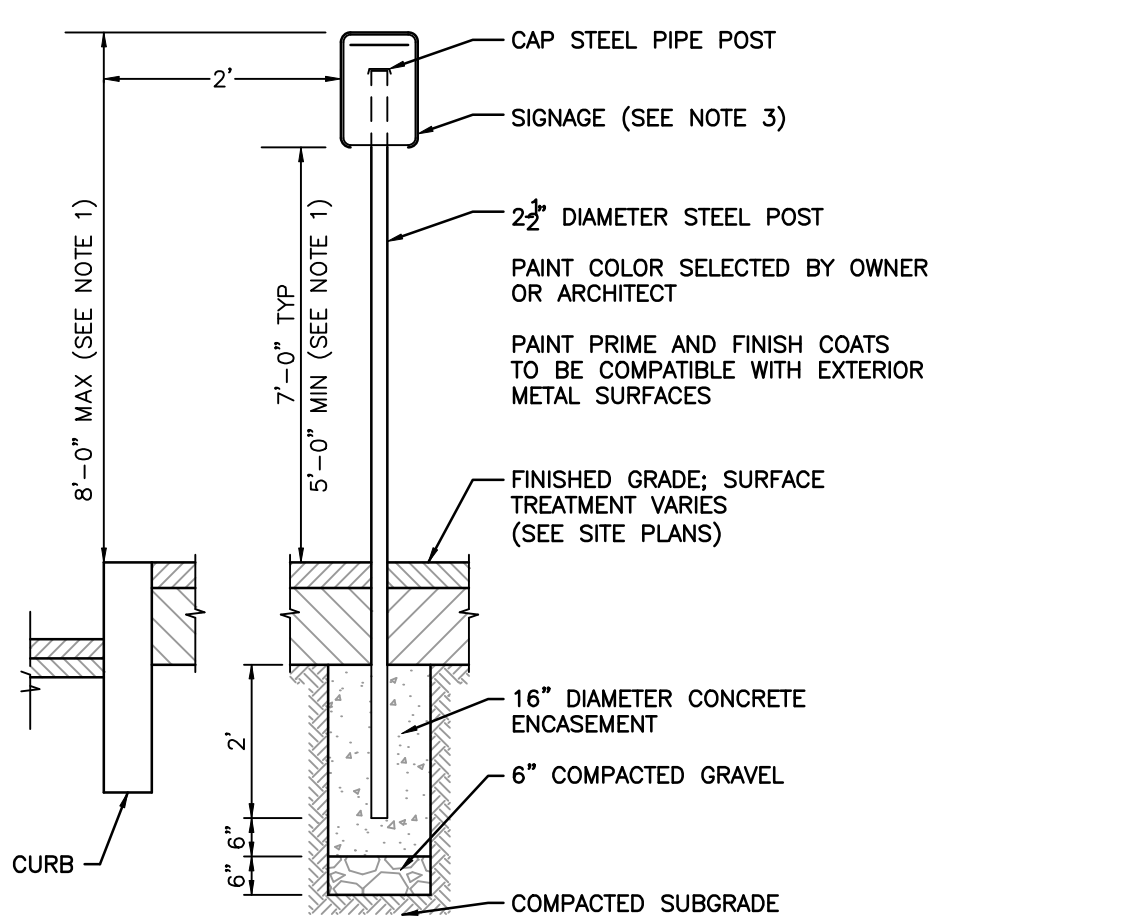
- CONSTRUCTION NOTES:**
- PAVEMENT MARKINGS TO BE INSTALLED FOR ON-SITE WORK IN THE LOCATIONS SHOWN ON THE LAYOUT AND MATERIALS PLAN.

2 PAINTED PAVEMENT MARKINGS
DT-01 N.T.S.



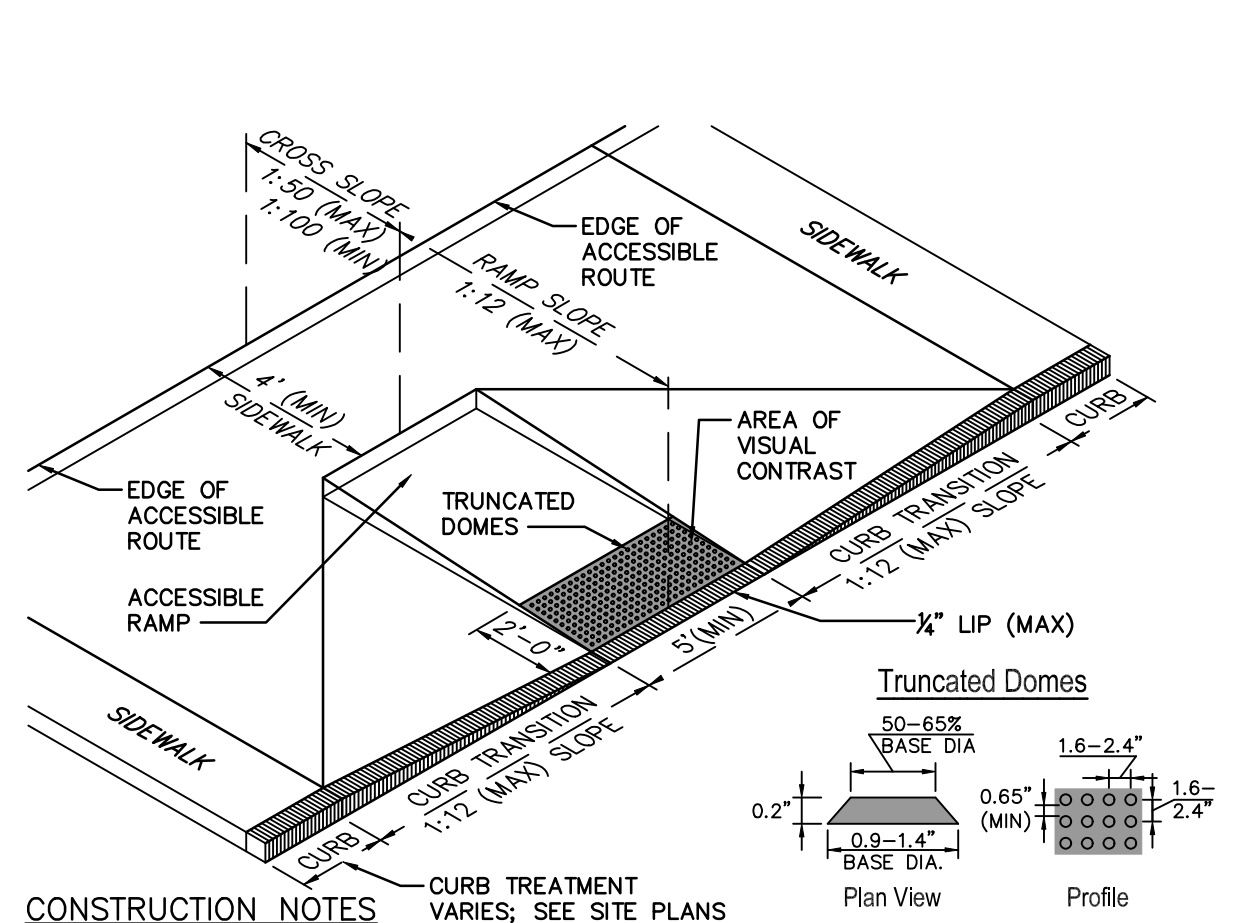
- CONSTRUCTION NOTES:**
- ALL STRIPING FOR ACCESSIBLE PARKING STALLS AND ACCESS AISLES SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
 - ALL STRIPING FOR STANDARD PARKING SPACES TO BE 4" WIDE PAINTED STRIPES.
 - SEE SHEET LAYOUT PLAN FOR ACCESSIBLE STALL LOCATIONS
 - ALL PARKING STALLS AND CROSSHATCH PAINT STRIPING SHALL BE COLOR WHITE.
 - ACCESS AISLE MUST BE 5'-0" (MIN.) FOR NON-VAN ACCESSIBLE STALLS

3 ACCESSIBLE PARKING STALL MARKING
DT-01 N.T.S.



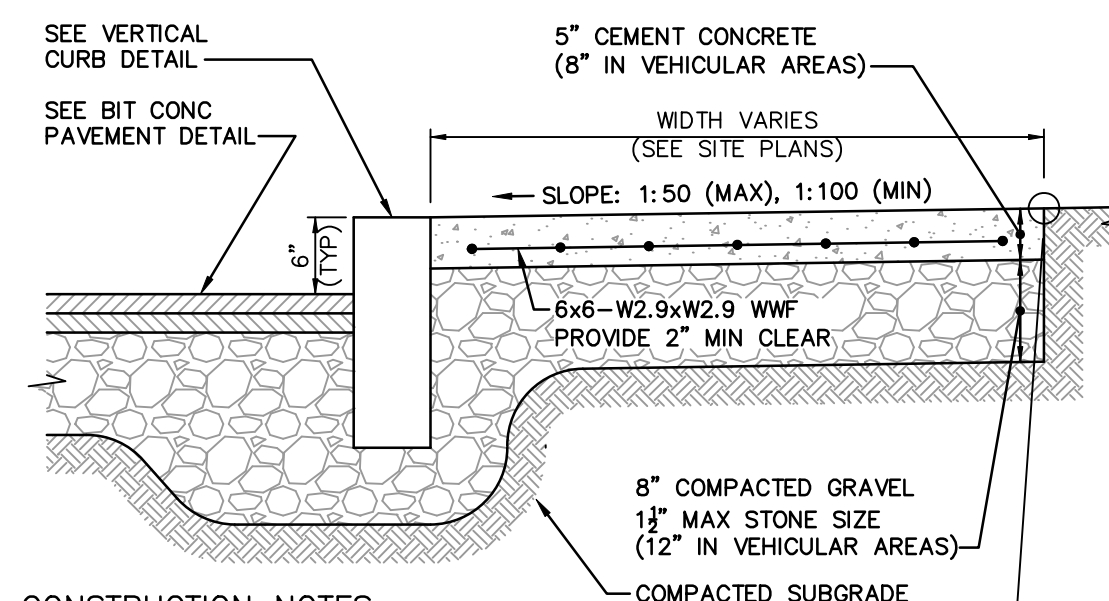
- CONSTRUCTION NOTES:**
- FOR ACCESSIBLE SIGNAGE, DIMENSION SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) RULES AND REGULATIONS (521 CMR).
 - SIGNS AND POSTS SHALL BE PER CITY OF QUINCY STANDARDS IF THE STANDARDS DIFFER FROM THE DETAIL DEPICTED HEREON.
 - SIGNAGE SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).

4 SIGN POST
DT-01 N.T.S.



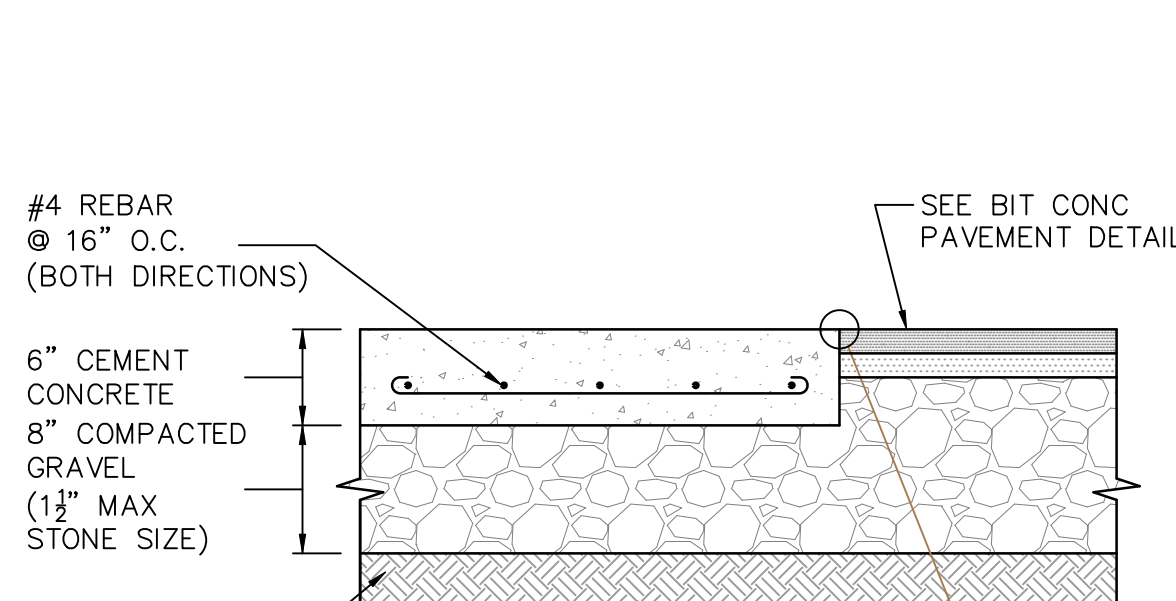
- CONSTRUCTION NOTES:**
- CURB RAMPS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) RULES AND REGULATIONS (521 CMR).
 - THE RUNNING SLOPE OF CURB RAMPS SHALL NOT BE GREATER THAN 1:12. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:20. THE CROSS SLOPE OF CURB RAMPS AND WALKING SURFACES SHALL NOT BE GREATER THAN 1:50 OR LESS THAN 1:100.
 - LANDINGS SHALL BE PROVIDED AT THE TOPS OF CURB RAMPS. THE LANDING CLEAR LENGTH SHALL BE 36 INCHES (3 FEET) MINIMUM. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING.
 - COUNTER SLOPES OF ADJOINING SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20.
 - DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES AND BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

5 ACCESSIBLE CURB RAMP (TYPE "D")
DT-01 N.T.S.



- CONSTRUCTION NOTES:**
- CEMENT CONCRETE SHALL BE 4,000 PSI-TYPE II.
 - PROVIDE EXPANSION JOINTS AT A MINIMUM 30 FEET ON-CENTER WITH PRE-FORMED EXPANSION JOINT FILLER AND SEALER.
 - PROVIDE TOOLED CONTROL JOINTS AT A MINIMUM SIX (6) FEET ON-CENTER.
 - PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
 - FOR ACCESSIBLE ROUTES, SIDEWALKS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) RULES AND REGULATIONS (521 CMR).
 - FOR ACCESSIBLE ROUTES, THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:50 OR LESS THAN 1:100.
 - FOR ACCESSIBLE ROUTES, WHERE THE SIDEWALK IS LESS THAN FIVE (5) FEET IN WIDTH, EXCLUDING CURBING, A 5' X 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 - FOR ACCESSIBLE ROUTES, A MINIMUM CLEARANCE OF THREE (3) FEET SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE, HYDRANTS, UTILITY POLES, SIGN POSTS, ETC.

6 CONCRETE SIDEWALK
DT-01 N.T.S.



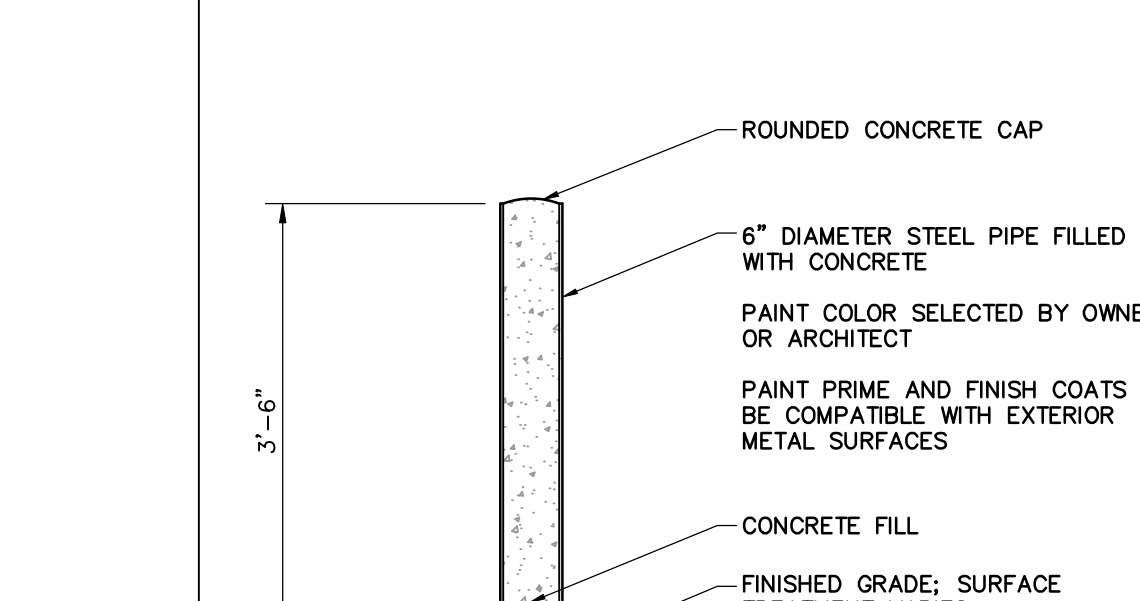
- CONSTRUCTION NOTES:**
- PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.
 - CEMENT CONCRETE SHALL BE 4,000 PSI-TYPE II.
 - PROVIDE EXPANSION JOINTS AT A MINIMUM 30 FEET ON-CENTER WITH PRE-FORMED EXPANSION JOINT FILLER AND SEALER.
 - PROVIDE TOOLED CONTROL JOINTS AT A MINIMUM SIX (6) FEET ON-CENTER.
 - PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

7 CONCRETE PAVEMENT
DT-01 N.T.S.



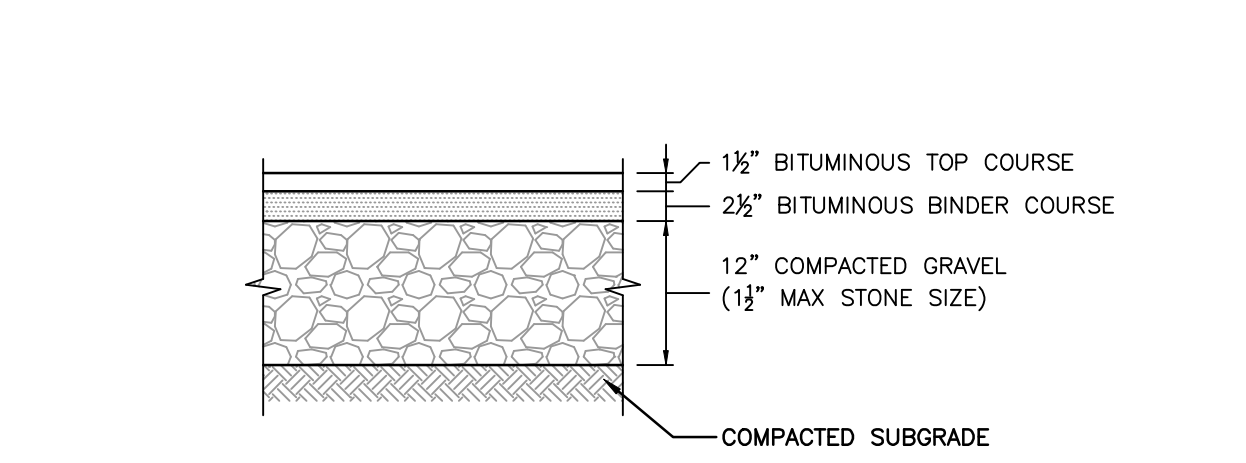
- CONSTRUCTION NOTES:**
- SEE BITUMINOUS PAVING DETAIL FOR PROPOSED PAVING SECTION.
 - IF NO PAVEMENT SECTION HAS BEEN PROVIDED, MATCH EXISTING PAVEMENT SECTION.

8 BITUMINOUS CONCRETE PAVEMENT BUTT JOINT
DT-01 N.T.S.



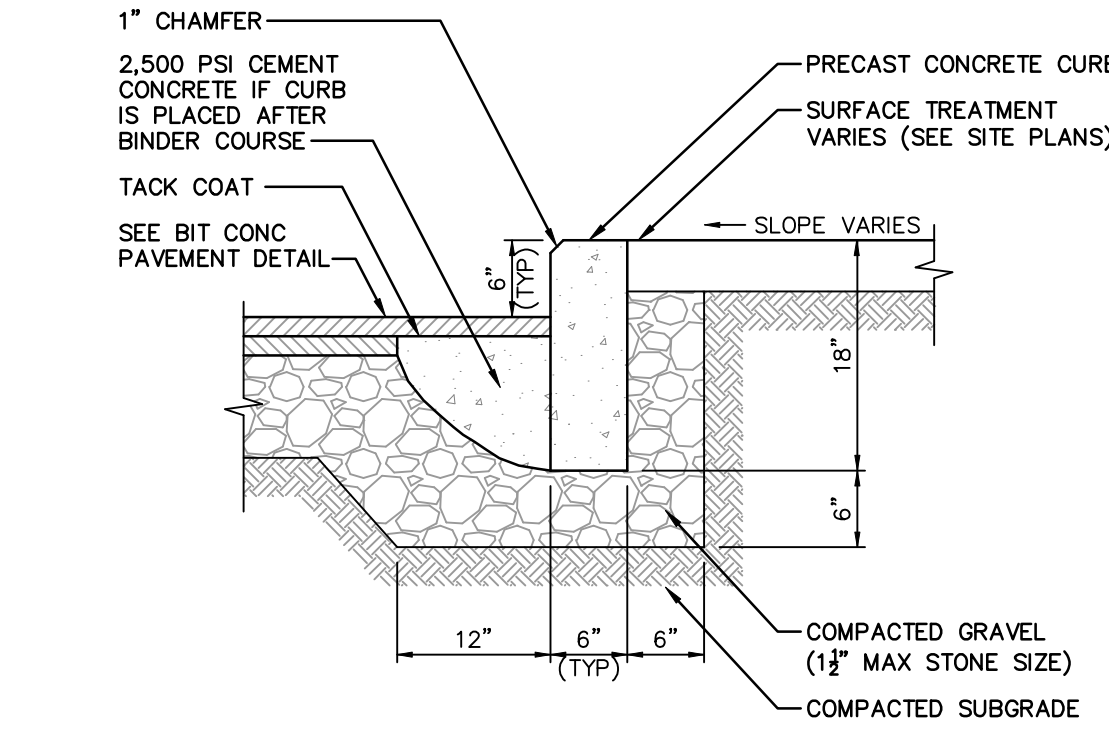
- CONSTRUCTION NOTES:**
- FOR ACCESSIBLE SIGNAGE, DIMENSION SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) RULES AND REGULATIONS (521 CMR).
 - SIGNS AND POSTS SHALL BE PER CITY OF QUINCY STANDARDS IF THE STANDARDS DIFFER FROM THE DETAIL DEPICTED HEREON.
 - SIGNAGE SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).

9 BOLLARD
DT-01 N.T.S.

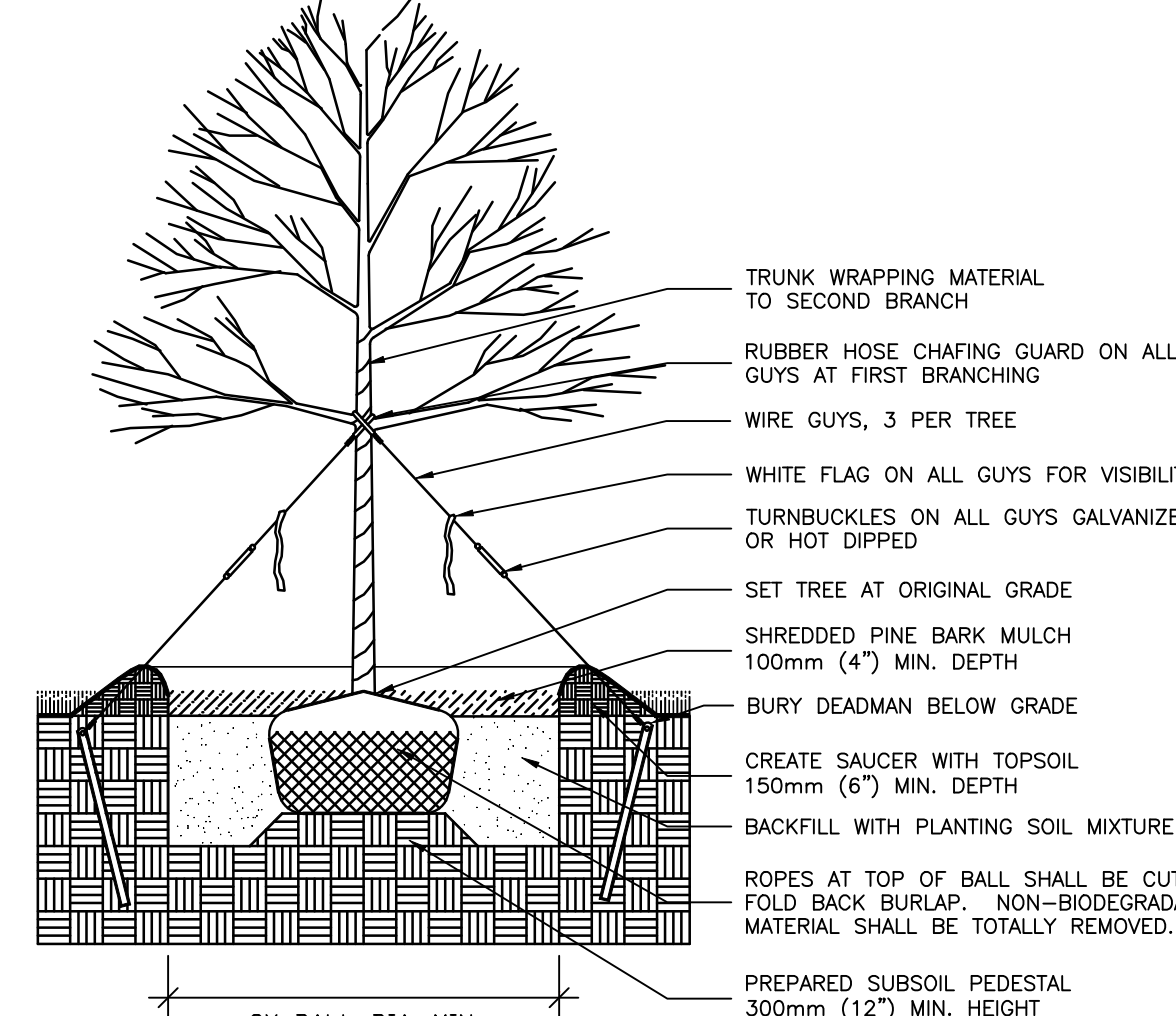


- CONSTRUCTION NOTES:**
- PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

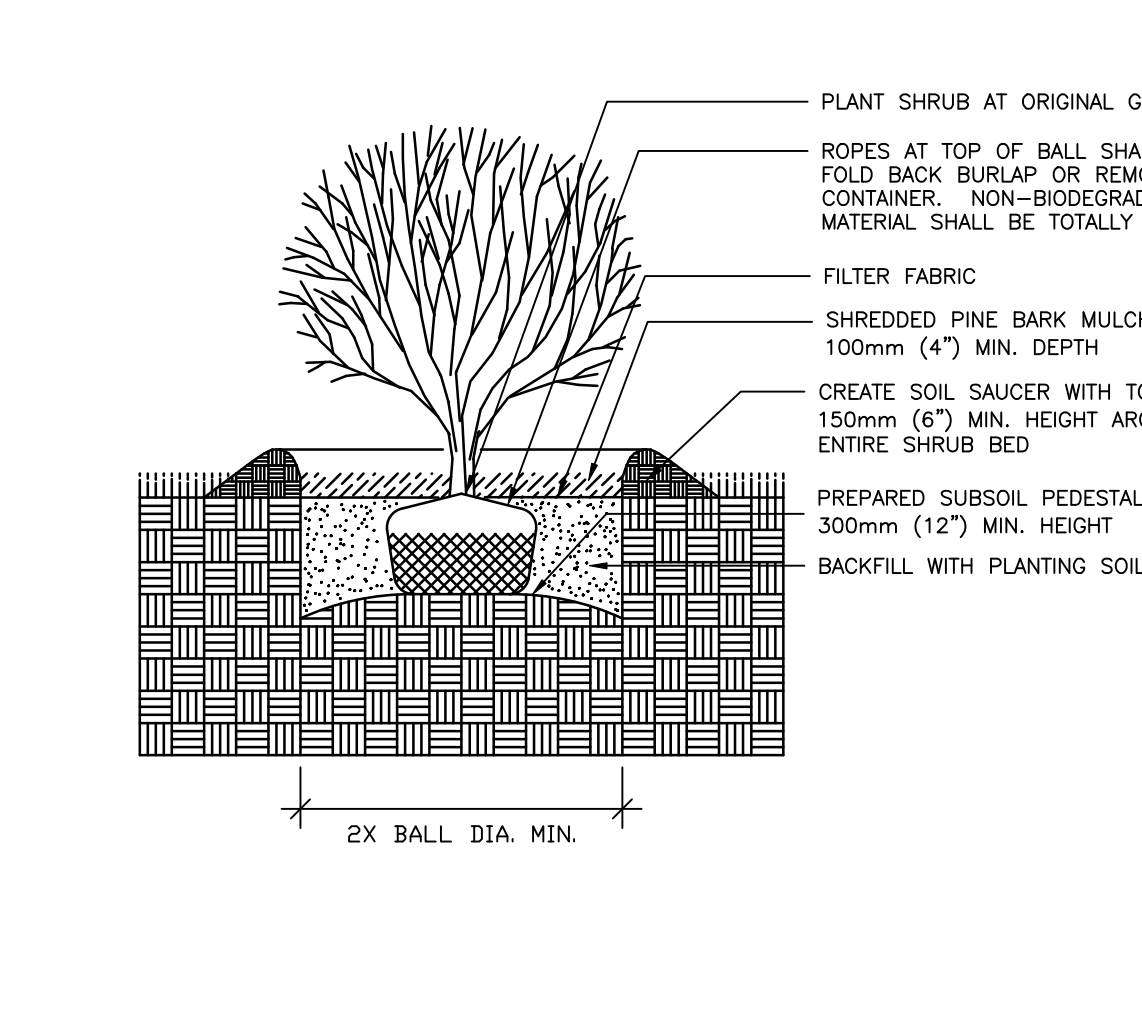
10 BITUMINOUS CONCRETE PAVEMENT
DT-01 N.T.S.



11 PRECAST CONCRETE CURB
DT-01 N.T.S.



12 DECIDUOUS TREE PLANTING DETAIL
DT-01 N.T.S.



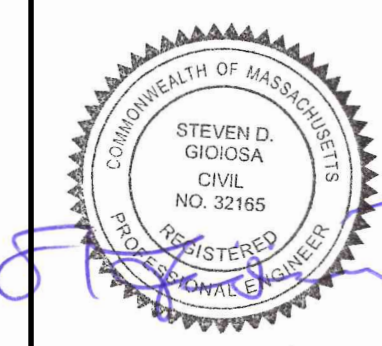
13 TYPICAL PLANTING DETAIL
DT-01 N.T.S.

NO.	DATE	DESCRIPTION
1	02/10/23	CONSERVATION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	EGG PEER REVIEW COMMENTS

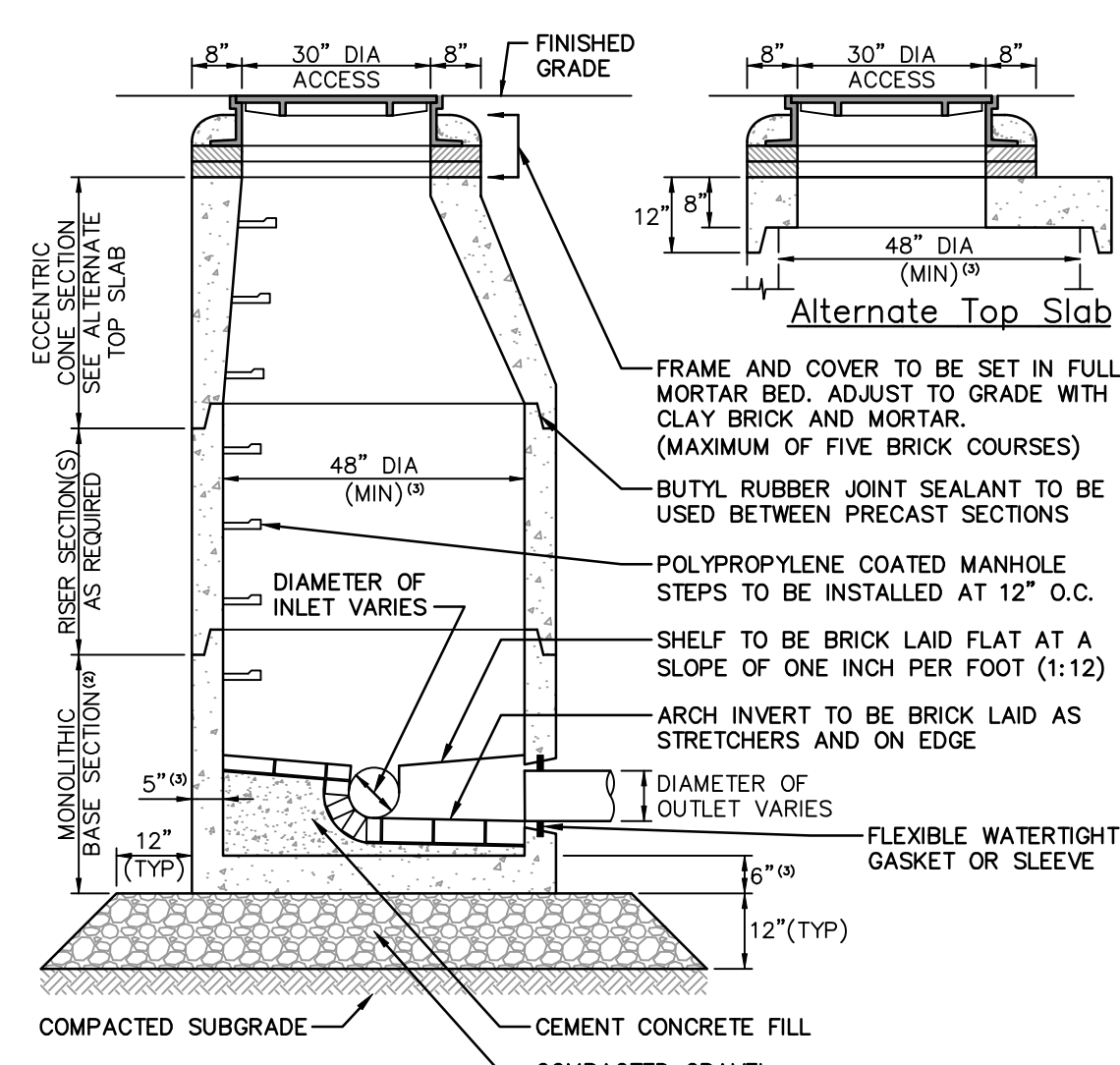


FAIRHAVEN PROPERTIES, LLC
SELF-STORAGE FACILITY
ASSESSORS MAP 36 - LOT 15J
FAIRHAVEN, MASSACHUSETTS

DATE	APRIL 11, 2024	DRAWN BY:	KU	JCC
DWG. SCALE:	N/A	CHECKED BY:	N/A	23-1740
PROJECT NO.:		APPROVED BY:		SDG

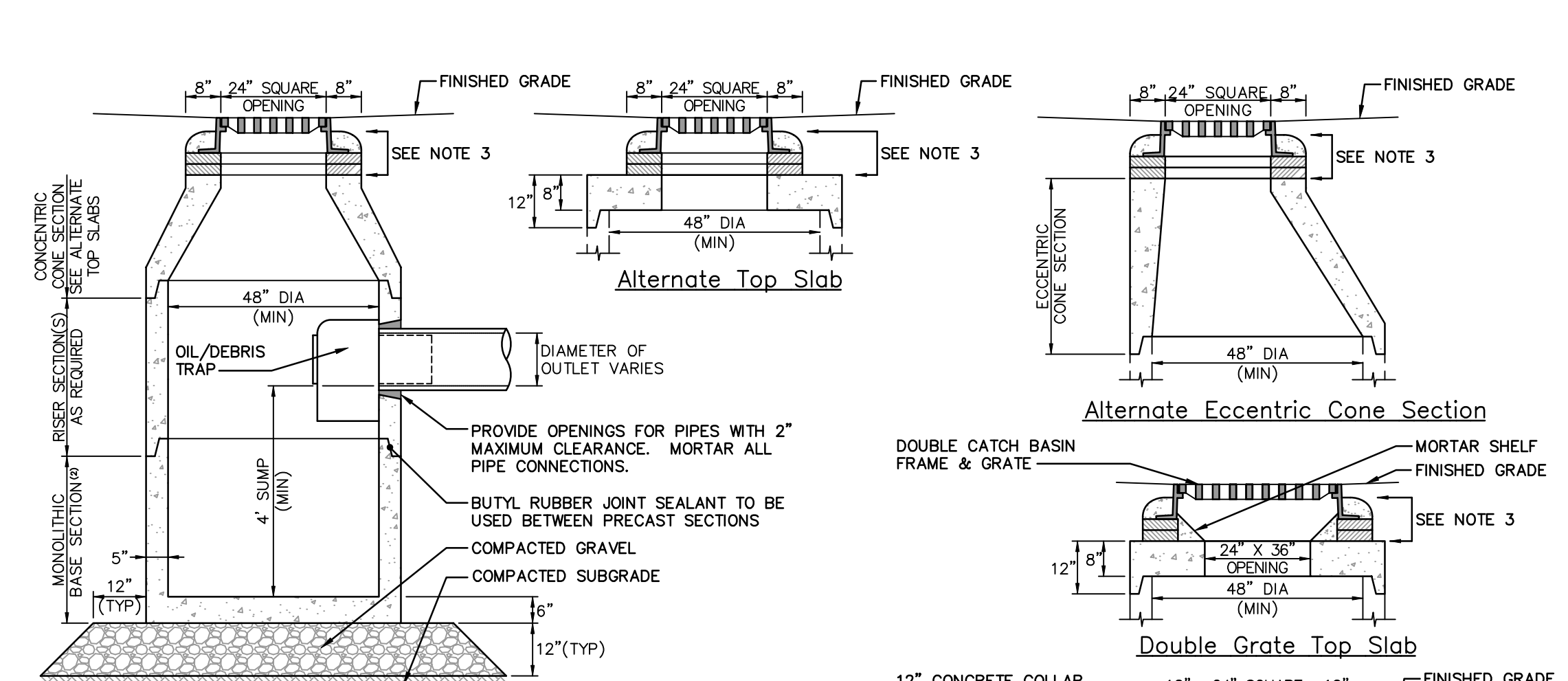


DETAIL SHEET #1
DRAWING NO.: DT-01
SHEET 11 OF 14



- CONSTRUCTION NOTES**
- STRUCTURE TO BE PRECAST CONCRETE, MINIMUM 4,000 PSI. ALL SECTIONS TO BE DESIGNED TO MEET OR EXCEED HS-20 LOADING.
 - BASE TO BE SINGLE POUR MONOLITHIC SECTION.
 - 60" (5'-0") INSIDE DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET. 6" MINIMUM WALL THICKNESS AND 7" MINIMUM BASE THICKNESS FOR 5'-0" DIAMETER PRECAST MANHOLE.
 - EXTERIOR SURFACES TO BE GIVEN TWO COATS OF WATERPROOFING MATERIAL.

1 SEWER MANHOLE
DT-02 N.T.S.



- CONSTRUCTION NOTES**
- STRUCTURE TO BE PRECAST CONCRETE, MINIMUM 4,000 PSI. ALL SECTIONS TO BE DESIGNED TO MEET OR EXCEED HS-20 LOADING.
 - BASE TO BE SINGLE POUR MONOLITHIC SECTION.
 - FRAME AND GRATE TO BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. MAXIMUM OF FIVE BRICK COURSES.
 - PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAXIMUM CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON THE PIPE. GROUT ALL CONNECTIONS WITH NON-SHRINK GROUT.

2 CATCH BASIN WITH OIL/DEBRIS TRAP
DT-02 N.T.S.

Table Of Dimensions

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F	
6"	11 1/4"	8"	15"	12"	24"	12"	6"	45"	8"	30"	12"	24"
6"	22 1/2"	"	19"	"	13"	6"	90"	"	30"	"	"	27"
8"	11 1/4"	"	20"	"	12"	8"	45"	"	30"	"	"	24"
8"	22 1/2"	"	22"	"	17"	8"	90"	"	38"	"	"	36"
12"	11 1/4"	"	30"	"	15"	12"	45"	"	40"	"	"	40"
12"	22 1/2"	"	35"	"	25"	12"	90"	"	60"	"	"	52"

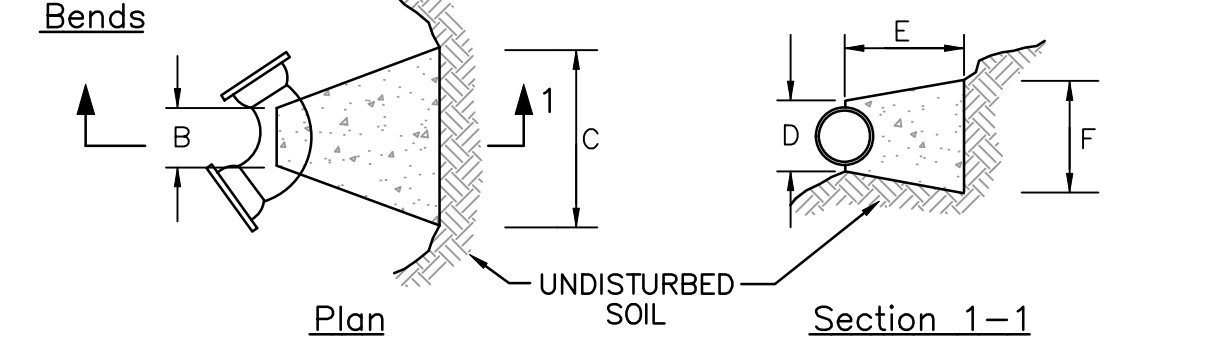
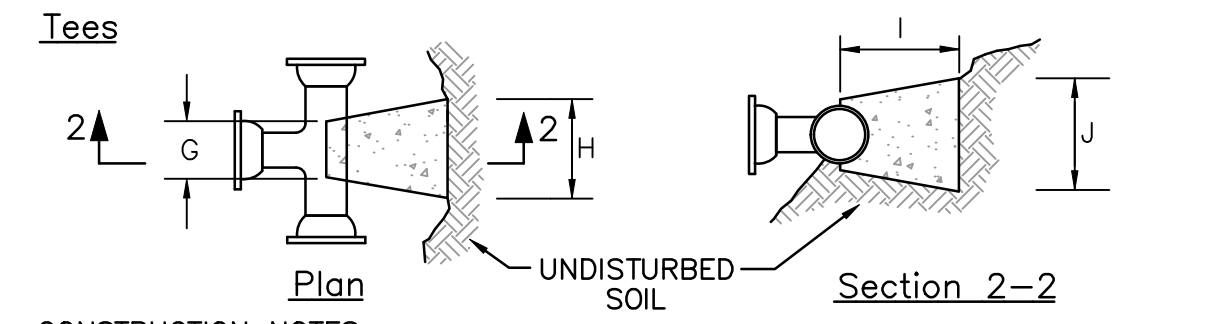


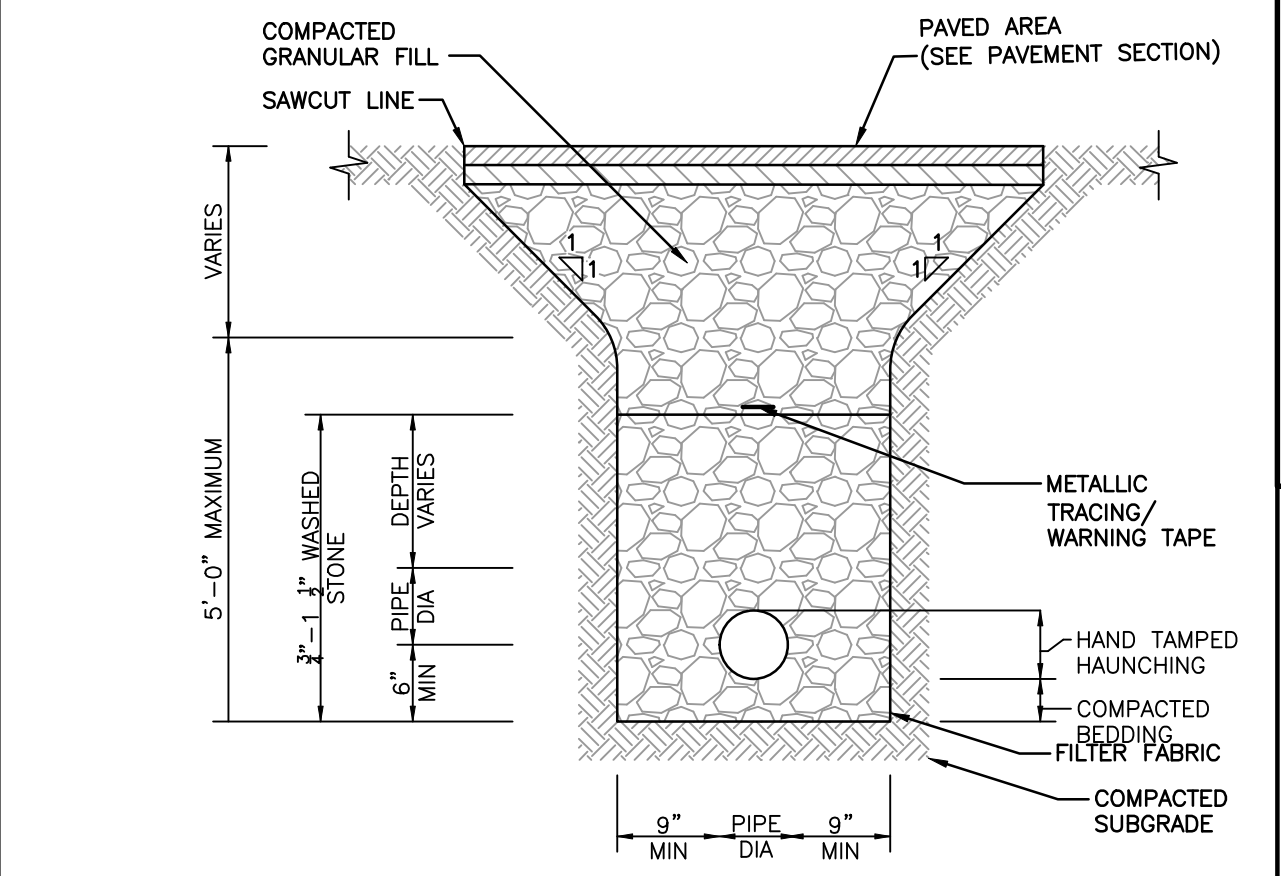
Table Of Dimensions

TEES	G	H	I	J	TEES	G	H	I	J
6" x 6" x 6"	12"	24"	24"	18"	12" x 12" x 6"	12"	24"	24"	18"
8" x 8" x 6"	"	"	"	"	12" x 12" x 8"	"	"	"	24"
8" x 8" x 8"	"	"	"	24"	12" x 12" x 12"	"	36"	"	36"



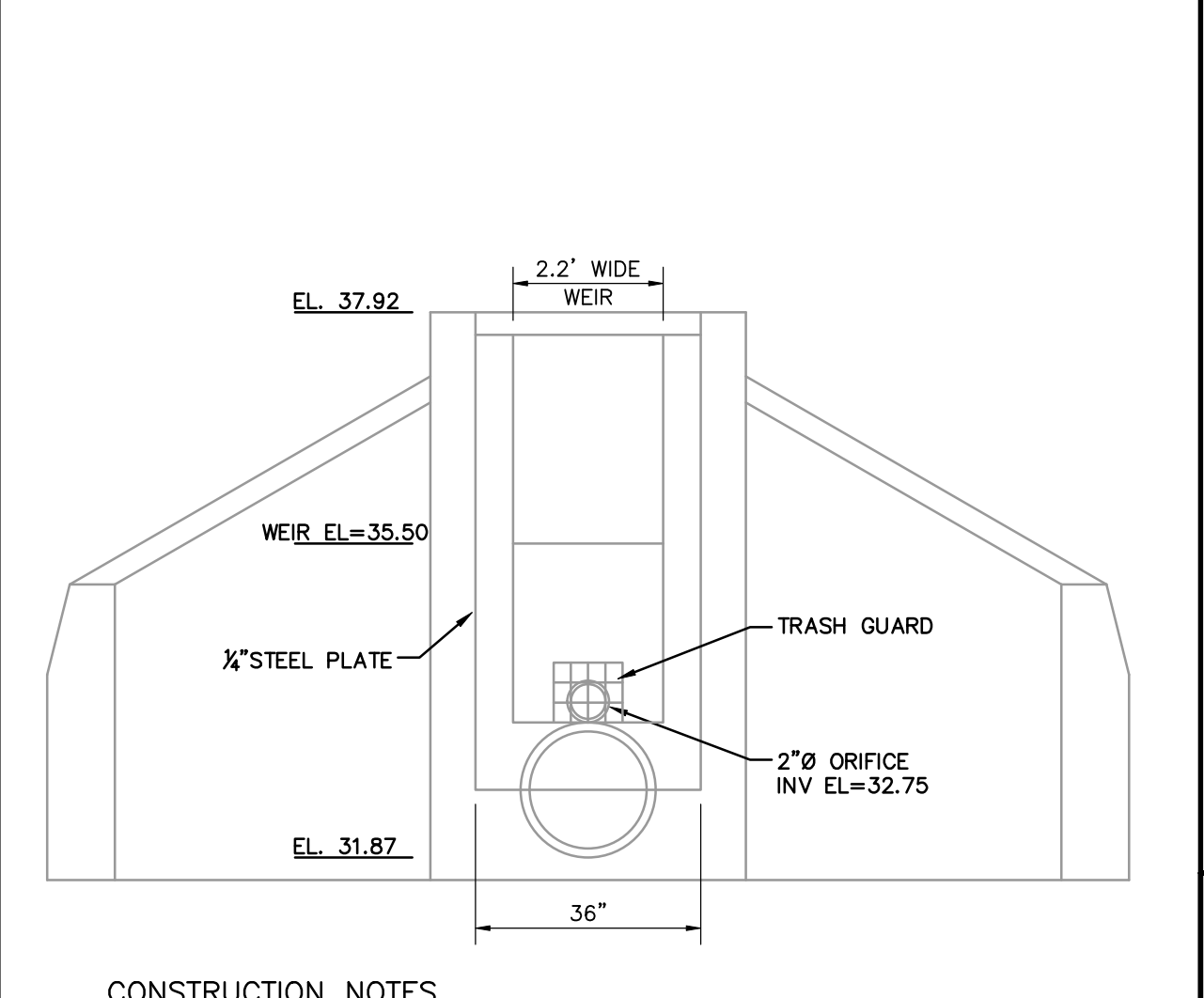
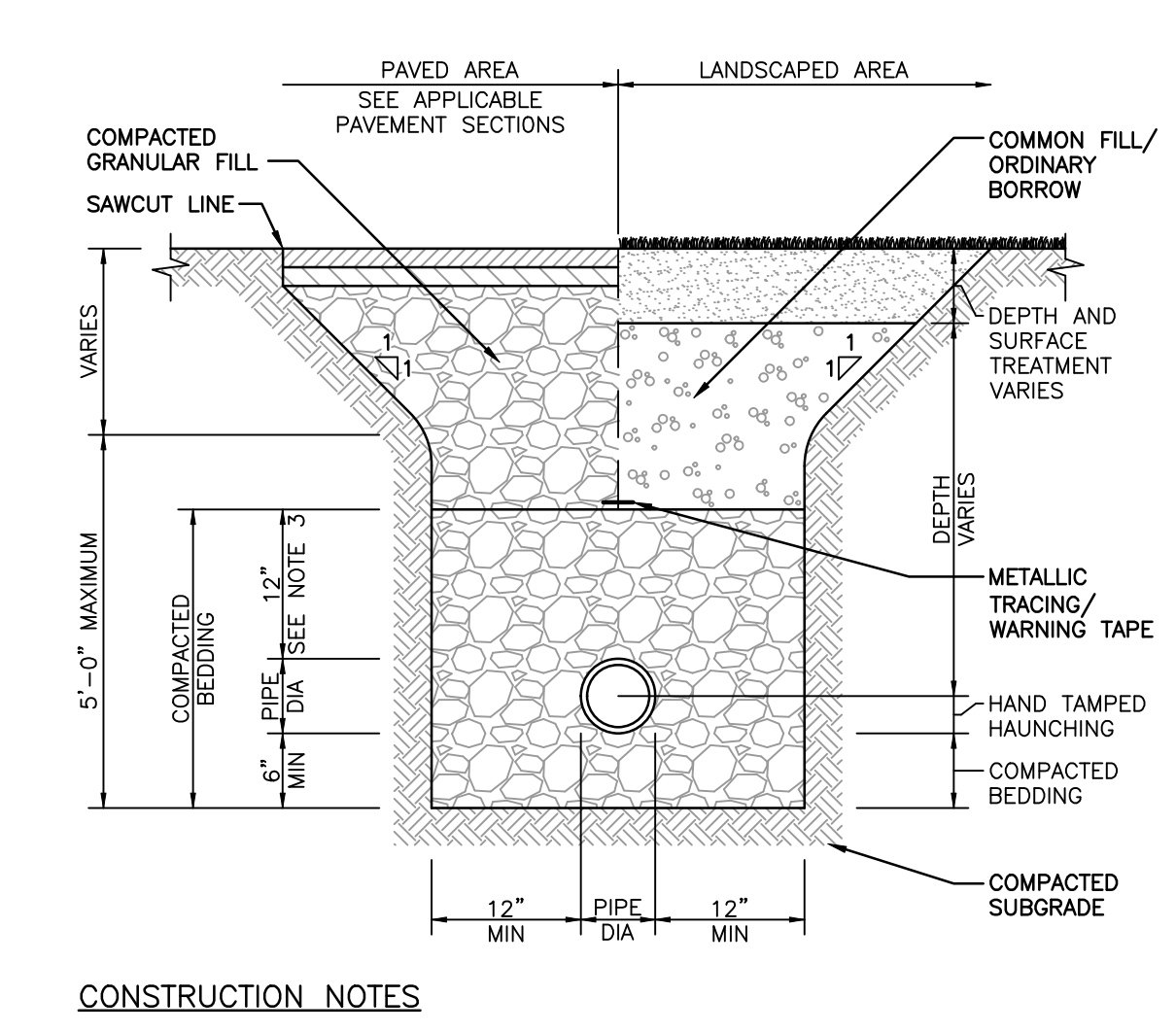
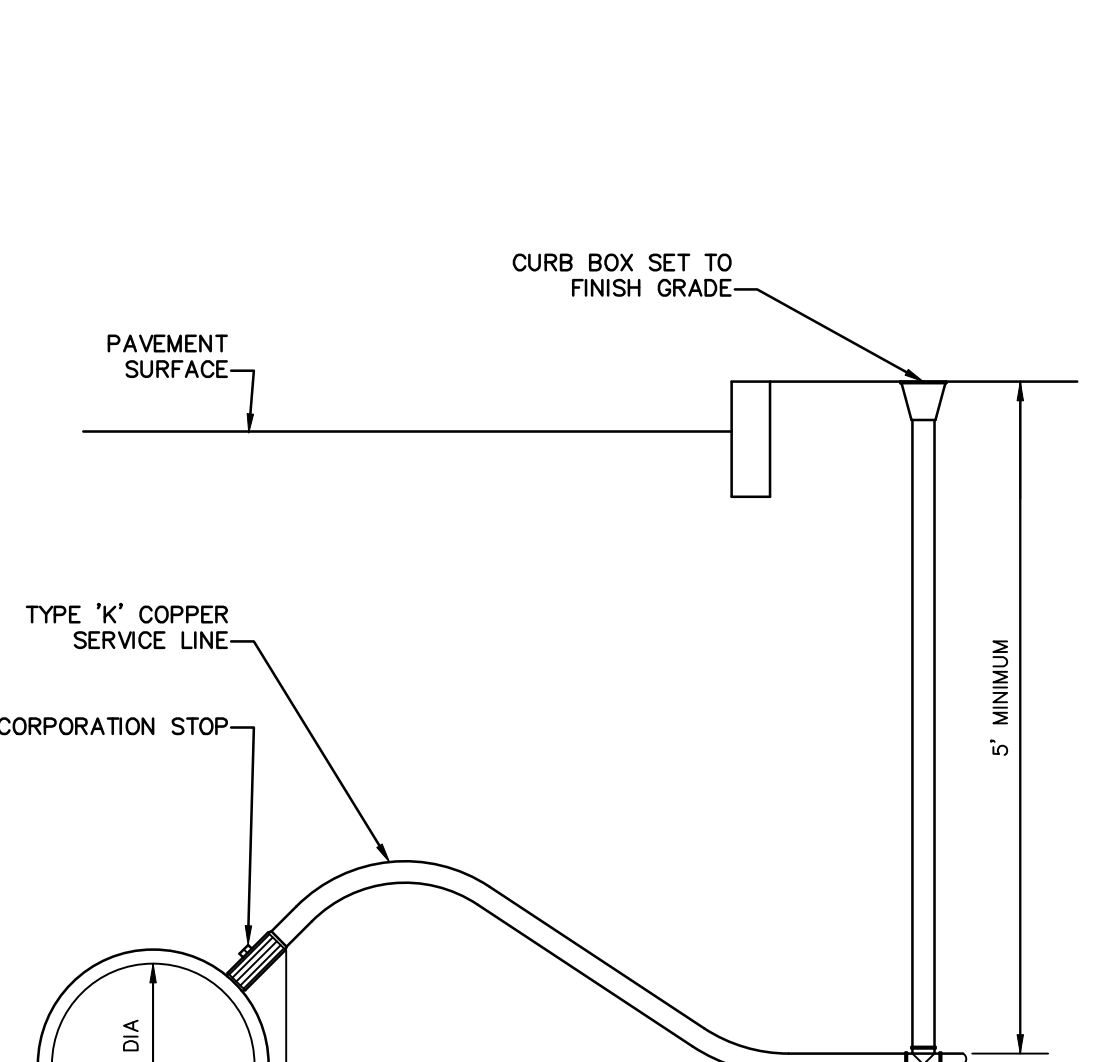
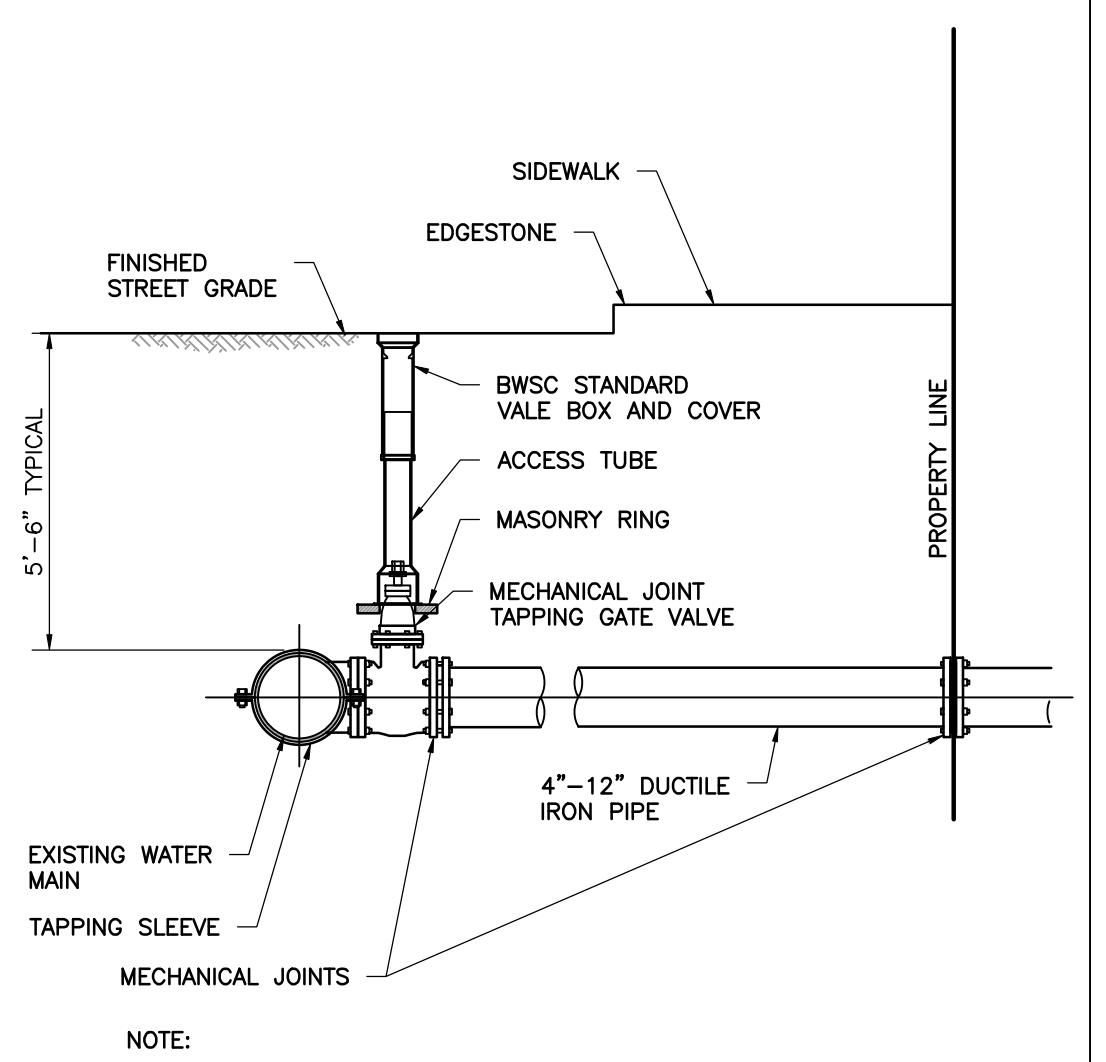
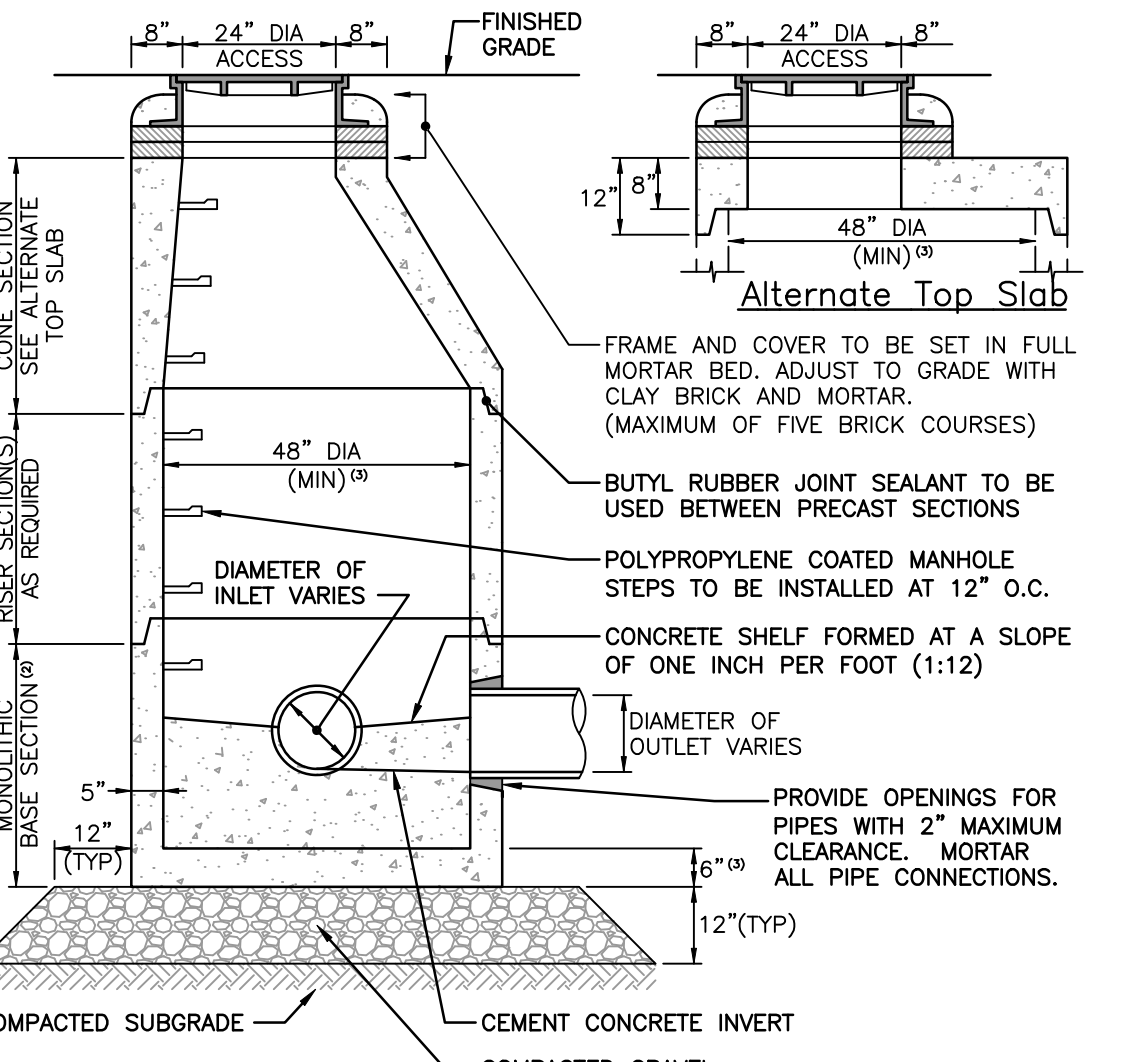
- CONSTRUCTION NOTES**
- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS - SAME SIZE AS REQUIRED FOR TEES. PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 - CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
 - CONCRETE SHALL BE 3000 PSI-TYPE I.

3 CONCRETE THRUST BLOCK
DT-02 N.T.S.



- CONSTRUCTION NOTES**
- USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

4 SUBDRAIN CROSS-SECTION
DT-02 N.T.S.



- CONSTRUCTION NOTES**
- STRUCTURE TO BE PRECAST CONCRETE, MINIMUM 4,000 PSI. ALL SECTIONS TO BE DESIGNED TO MEET OR EXCEED HS-20 LOADING.
 - BASE TO BE SINGLE POUR MONOLITHIC SECTION.
 - 60" (5'-0") INSIDE DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET. 6" MINIMUM WALL THICKNESS AND 8" MINIMUM BASE THICKNESS FOR 5'-0" DIAMETER PRECAST MANHOLE.

- NOTE:**
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
 - USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
 - SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

- CONSTRUCTION NOTES**
- INSTALLATION SHALL CONFORM WITH MUNICIPAL WATER WORKS SPECIFICATIONS AND STANDARDS.

- CONSTRUCTION NOTES**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
 - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
 - FOR HIGH DENSITY POLYETHYLENE (HDPE) PIPE, DIMENSION IS 24 INCHES.

- CONSTRUCTION NOTES**
- ELEVATIONS TO BE VERIFIED IN THE FIELD PRIOR TO INSTALLATION.
 - FACE OF STRUCTURE TO BE CUT 2.5" WIDE, NEW 36" WIDE STEEL PLATE (CONFIGURED AS SHOWN) TO BE BOLTED TO FACE OF STRUCTURE.
 - METAL COVER TO BE BOLTED TO EXISTING STRUCTURE.

5 DRAIN MANHOLE
DT-02 N.T.S.

6 WATER CONNECTION TO EXISTING MAIN
DT-02 N.T.S.

7 CORPORATION / CURB STOP WITH BOX
DT-02 N.T.S.

8 UTILITY TRENCH
DT-02 N.T.S.

9 OUTLET CONTROL STRUCTURE MODIFICATION
DT-02 N.T.S.

REVISION RECORD

NO	DATE	DESCRIPTION
1	02/10/23	CONSERVATION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	EGG PEER REVIEW COMMENTS

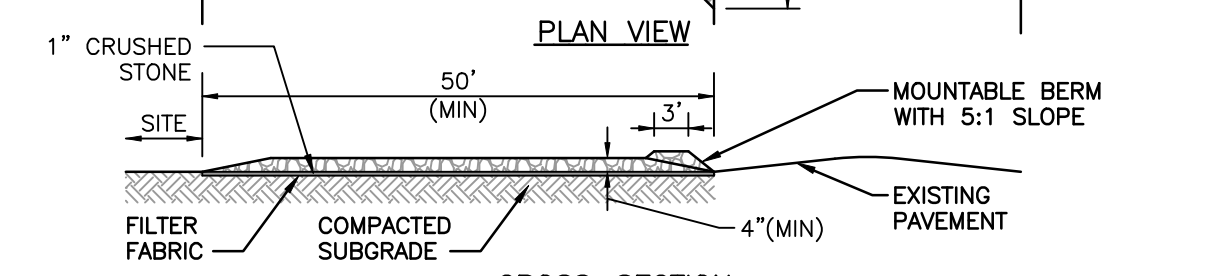
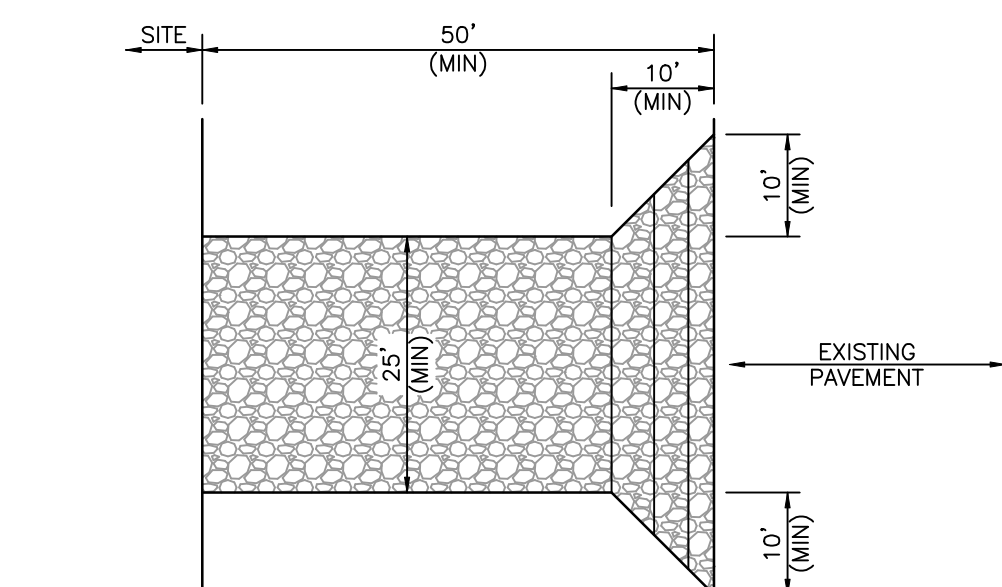
SITEC ENGINEERING & ENVIRONMENTAL CONSULTANTS, INC.
970 Kemplon Street
New Bedford, MA 02740
Tel: (781) 319-0100 Fax: (781) 834-4783
https://sitecenv.com/

FAIRHAVEN PROPERTIES, LLC
SELF-STORAGE FACILITY
ASSESSORS MAP 36 - LOT 15J
FAIRHAVEN, MASSACHUSETTS

DETAIL SHEET #2

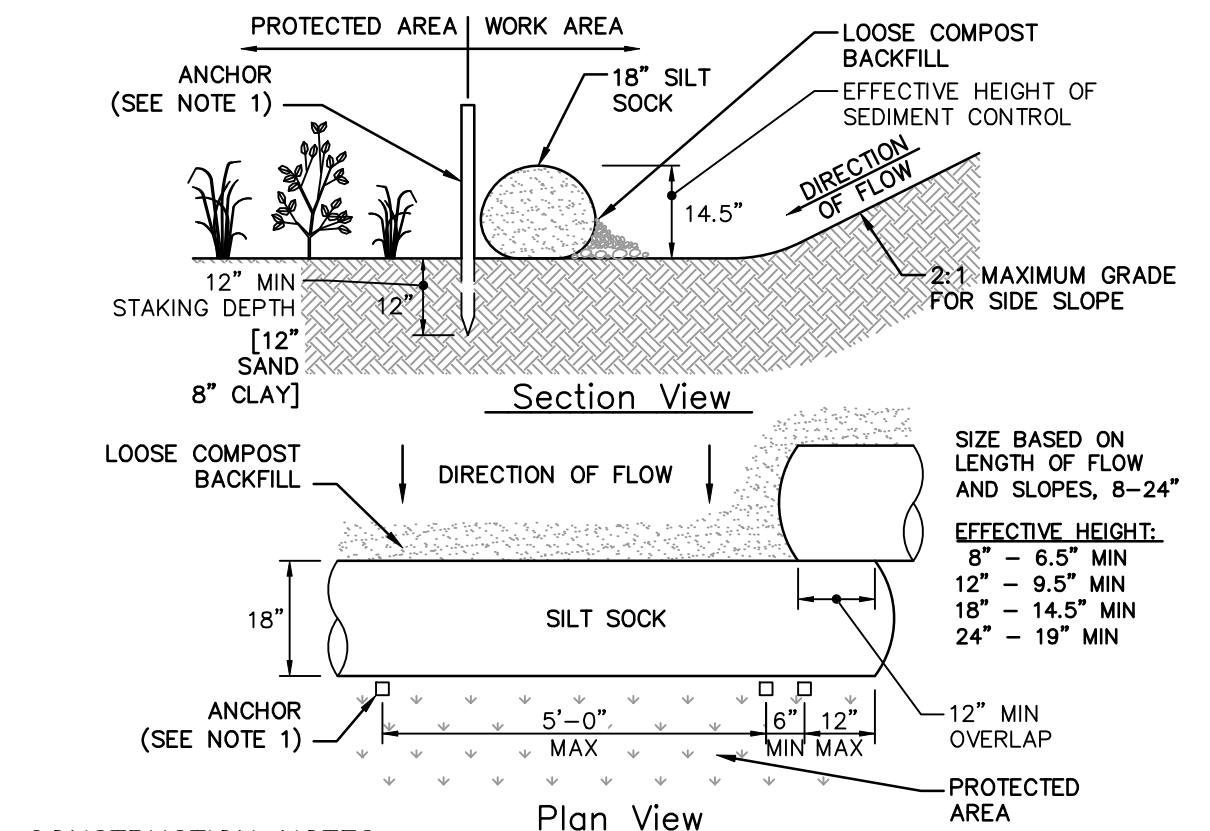
DATE:	APRIL 11, 2024	DRAWN BY:	KU	JCC
DWG SCALE:	N/A	CHECKED BY:	N/A	23-1740
PROJECT NO:		APPROVED BY:		SDG





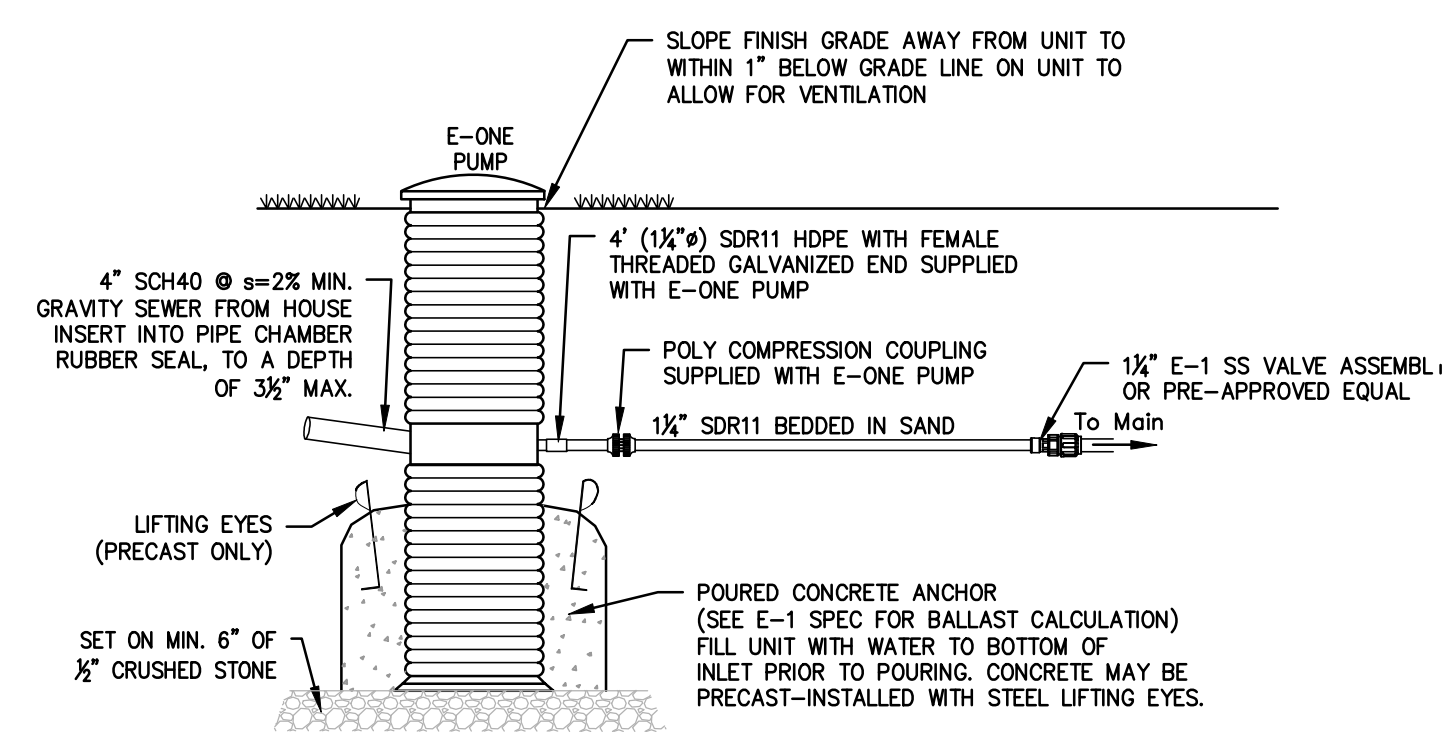
- CONSTRUCTION NOTES**
- ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 - STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO FINAL FINISHED MATERIALS BEING INSTALLED.

1 STABILIZED CONSTRUCTION EXIT
N.T.S.



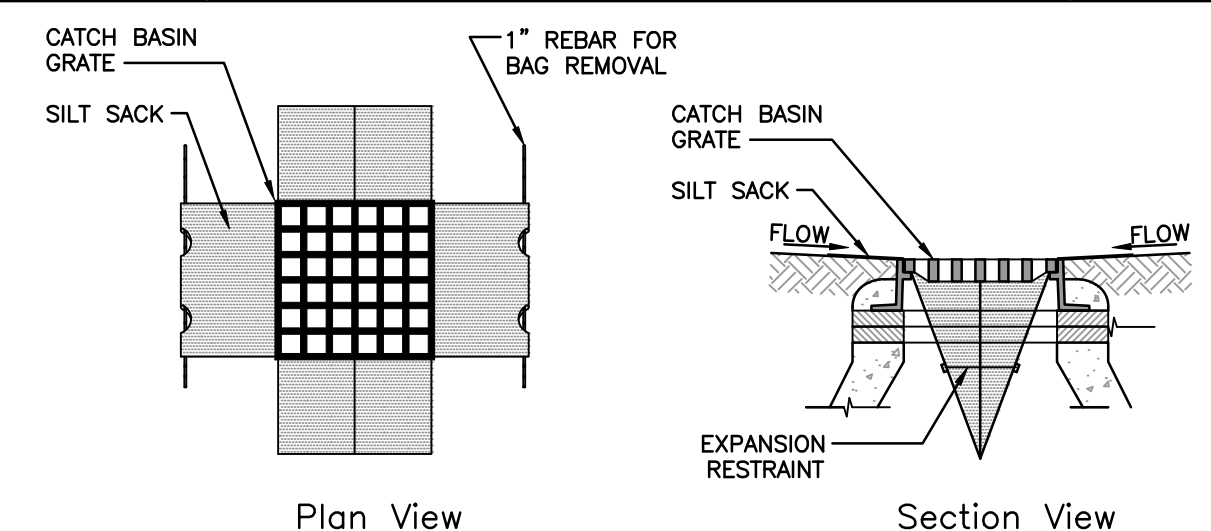
- CONSTRUCTION NOTES**
- ANCHOR TO BE A 2" X 2" X 36" HARD WOOD STAKE, OR APPROVED EQUAL.
 - COMPOST FOR SILT SOCK FILL MATERIAL TO BE PROVIDED BY THE MANUFACTURER IN CONJUNCTION WITH THE ENGINEER TO PROVIDE THE REQUIRED REMOVAL OF SEDIMENT OR OTHER POLLUTANTS FROM RUNOFF.
 - COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE LOCAL CONSERVATION AGENT OR THE DESIGN ENGINEER.
 - SILT SOCK SHALL BE INSPECTED PER LOCAL AND STATE REQUIREMENTS. REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY, AS NEEDED.
 - METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.

2 SILT SOCK EROSION CONTROL BARRIER
N.T.S.



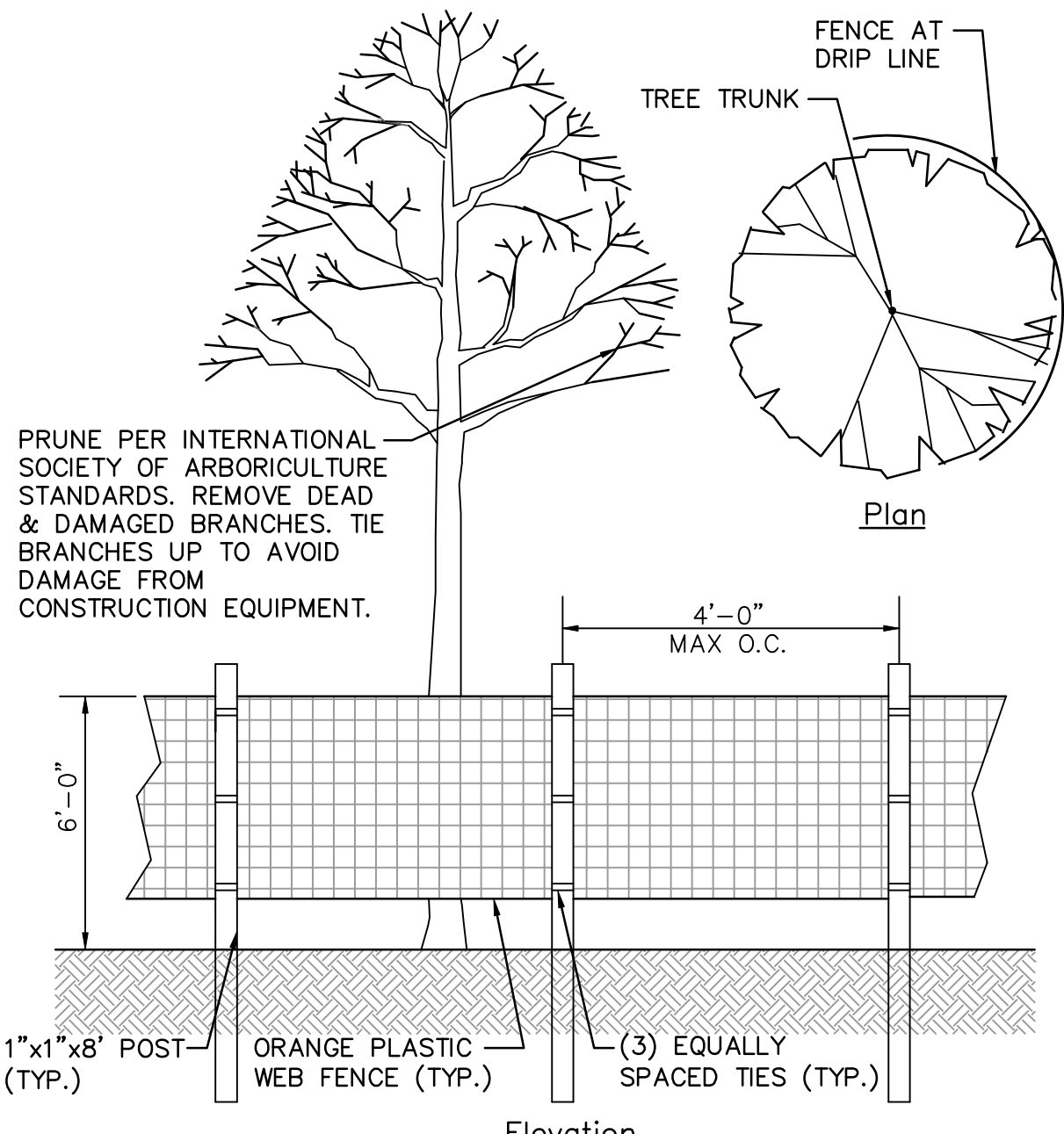
- NOTES:**
- DO NOT DROP, ROLL, OR LAY UNIT ON IT'S SIDE.
 - ALL PRESSURE PIPE AND FITTINGS TO HAVE MINIMUM 4' COVER AND ARE TO BE BEDDED IN SAND A MINIMUM OF 6" ALL AROUND

3 E-ONE PUMP CONNECTION TO E-ONE STAINLESS STEEL VALVE
N.T.S.



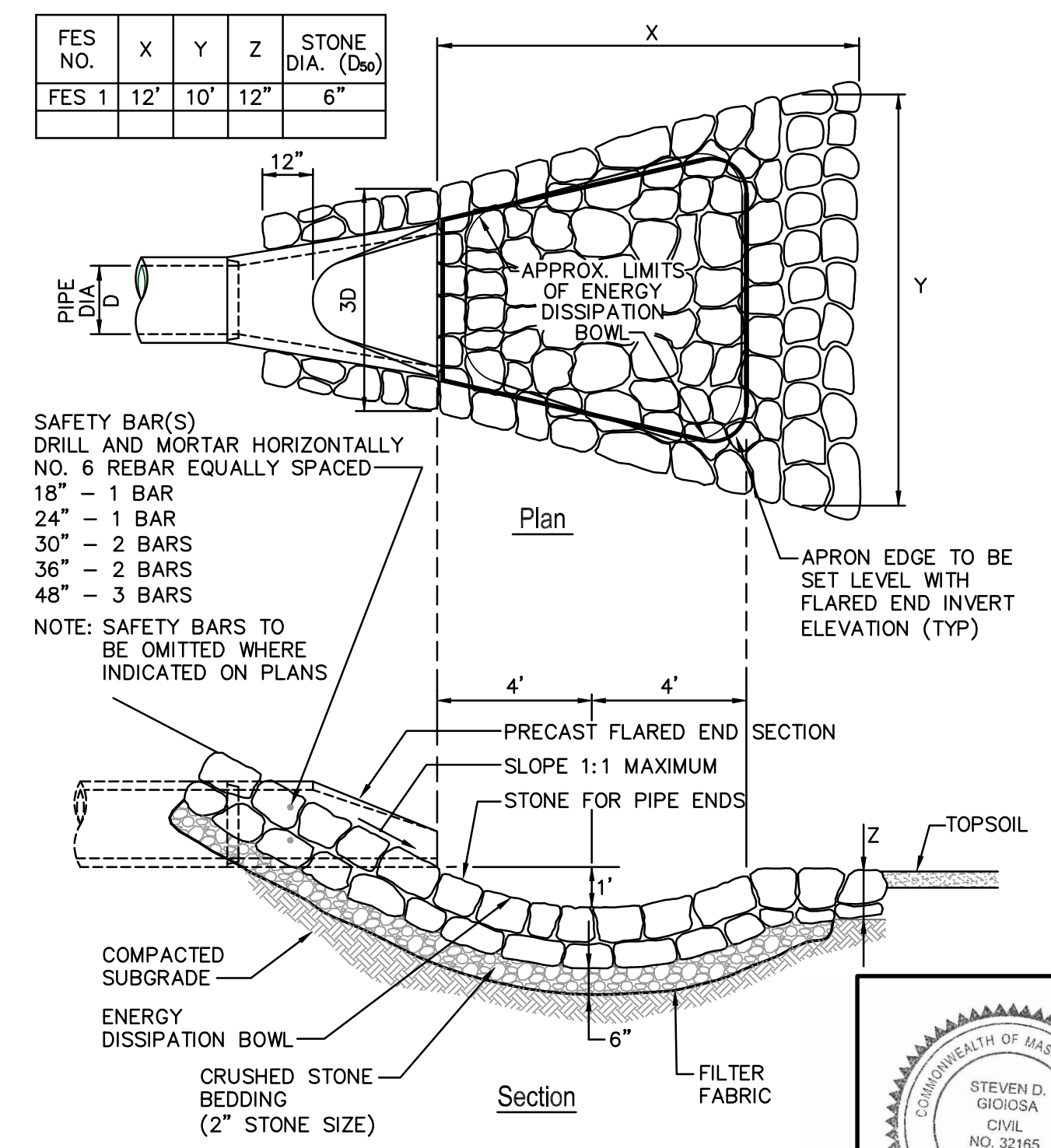
- CONSTRUCTION NOTES**
- INSTALL SILT SACKS IN ALL CATCH BASINS WHERE INDICATED ON THE SITE PLANS BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER THE BINDER COURSE IS PLACED AND EROSION CONTROL BARRIERS HAVE BEEN REMOVED.
 - GRATE TO BE PLACED OVER SILT SACK.
 - SILT SACKS SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS. CLEANING OR REPLACEMENT SHALL BE PERFORMED AS NEEDED. MAINTAIN SILT SACKS UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

6 SILT SACK INLET PROTECTION
N.T.S.



- CONSTRUCTION NOTES**
- INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN
 - IF DRIP LINES OVERLAP, INSTALL CONTINUOUS PROTECTION FENCE FOR MULTIPLE EXISTING TREE TO REMAIN.

7 TREE PROTECTION FENCE
N.T.S.



8 FLARED END SECTION (FES) WITH STONE PROTECTION
N.T.S.

NO	DATE	DESCRIPTION
1	02/10/23	CONSERVATION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	EGG PEER REVIEW COMMENTS



FAIRHAVEN PROPERTIES, LLC
SELF-STORAGE FACILITY
ASSESSORS MAP 36 - LOT 15J
FAIRHAVEN, MASSACHUSETTS

DATE:	APRIL 11, 2024	DRAWN BY:	KU	JCC
DWG. SCALE:	N/A	CHECKED BY:	N/A	23-1740
PROJECT NO.:		APPROVED BY:		SDG

DETAIL SHEET #3
DRAWING NO.: DT-03
SHEET 13 OF 14

J:\Fairhaven, MA\23-1740 - Stationer Properties\Drawings\Map\23-1740-11-E-1-Stationer-EGG\DT-03.dwg (11/17/2024 8:16 AM)

J:\Fairhaven, MA\23-1740 - Sabonnet Properties\Drawings\Map\231740-14-Soil Test Pit Log-05.mxd(15/16/2024 - 4:56:00) - LP - 4/16/2024 1:53 PM

**OBSERVATION HOLE LOG
(DRAINAGE TEST PITS)**

TEST PIT # 1 GND. EL. 40.22
 DATE: 09/01/2022 GW. EL. 39.22
 TEST BY: M. TORTORA
 WITNESSED BY: JOHN ROCKWELL & BRANDEN COSTA

DEPTH (IN)	ELEV (NAD88)	SOIL HORIZON	SOIL COLOR	SOIL TEXTURE	OTHER
0	-	FILL	-	-	-
13	-	Bw	-	LS	-
17	-	C	-	LS	DENSE
58	-				

MOTTLING OBSERVED @ 12" BGS
 STANDING WATER OBSERVED @ -

**OBSERVATION HOLE LOG
(DRAINAGE TEST PITS)**

TEST PIT # 2 GND. EL. 39.16
 DATE: 09/01/2022 GW. EL. 35.65*
 TEST BY: M. TORTORA
 WITNESSED BY: JOHN ROCKWELL & BRANDEN COSTA

DEPTH (IN)	ELEV (NAD88)	SOIL HORIZON	SOIL COLOR	SOIL TEXTURE	OTHER
0	-	FILL	-	-	-
45	-	C	-	LS	-
60	-	*REDOX FEATURES WERE DISTINCTIVE ON INTERFACE OF FILL AND C-HORIZON, DUE TO DARK COLOR OF FILL MATERIAL. WETLAND CONSULTANT AND CONSERVATION AGENT AGREED ASSUMED GROUNDWATER ELEVATION WOULD BE 1-FOOT BELOW GROUND SURFACE OF WETLAND FLAG A-21			

MOTTLING OBSERVED @ 45" BGS
 STANDING WATER OBSERVED @ -

**OBSERVATION HOLE LOG
(DRAINAGE TEST PITS)**

TEST PIT # 3 GND. EL. 36.34
 DATE: 09/01/2022 GW. EL. 34.76
 TEST BY: M. TORTORA
 WITNESSED BY: JOHN ROCKWELL

DEPTH (IN)	ELEV (NAD88)	SOIL HORIZON	SOIL COLOR	SOIL TEXTURE	OTHER
0	-	FILL	-	-	-
16	-	C	-	LS	-
60	-				

MOTTLING OBSERVED @ 19" BGS
 STANDING WATER OBSERVED @ -

**OBSERVATION HOLE LOG
(DRAINAGE TEST PITS)**

TEST PIT # 4 GND. EL. 38.42
 DATE: 09/01/2022 GW. EL. 36.34
 TEST BY: M. TORTORA
 WITNESSED BY: JOHN ROCKWELL

DEPTH (IN)	ELEV (NAD88)	SOIL HORIZON	SOIL COLOR	SOIL TEXTURE	OTHER
0	-	FILL	-	-	-
29	-	C	-	LS	-
50	-				

MOTTLING OBSERVED @ FAINT AT 22" BGS; DISTINCT AT 25" BGS
 STANDING WATER OBSERVED @ -

**OBSERVATION HOLE LOG
(DRAINAGE TEST PITS)**

TEST PIT # 5 GND. EL. 37.99
 DATE: 09/01/2022 GW. EL. 36.91
 TEST BY: M. TORTORA
 WITNESSED BY: JOHN ROCKWELL

DEPTH (IN)	ELEV (NAD88)	SOIL HORIZON	SOIL COLOR	SOIL TEXTURE	OTHER
0	-	FILL	-	-	-
13	-	C	-	LS	-
46	-				

MOTTLING OBSERVED @ 13" BGS
 STANDING WATER OBSERVED @ -

**OBSERVATION HOLE LOG
(DRAINAGE TEST PITS)**

TEST PIT # 6 GND. EL. 36.66
 DATE: 09/01/2022 GW. EL. 34.41
 TEST BY: M. TORTORA
 WITNESSED BY: JOHN ROCKWELL

DEPTH (IN)	ELEV (NAD88)	SOIL HORIZON	SOIL COLOR	SOIL TEXTURE	OTHER
0	-	FILL	-	-	-
27	-	C	-	LS	VERY FIRM
52	-				

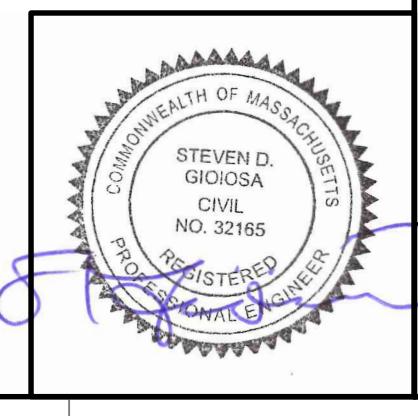
MOTTLING OBSERVED @ 27" BGS
 STANDING WATER OBSERVED @ -

NO	DATE	DESCRIPTION
1	02/10/23	CONSERVATION COMMISSION RESPONSE TO COMMENTS
2	04/11/24	EGG PEER REVIEW COMMENTS

SITEC
 ENGINEERING &
 ENVIRONMENTAL
 CONSULTANTS, INC.
 970 Kempton Street,
 New Bedford, MA 02740
 Tel: (781) 319-0100 Fax: (781) 834-4783
<https://sitecenv.com/>

FAIRHAVEN PROPERTIES, LLC
 SELF-STORAGE FACILITY
 ASSESSORS MAP 36 - LOT 15J
 FAIRHAVEN, MASSACHUSETTS

DATE:	APRIL 11, 2024	DRAWN BY:	KJ
DWG SCALE:	N/A	CHECKED BY:	JCC
PROJECT NO.:	23-1740	APPROVED BY:	SDG



OWNER/APPLICANT:
 FAIRHAVEN PROPERTIES, LLC
 C/O PAUL DOWNEY
 PO BOX 4023
 NEW BEDFORD, MA 02741

DRAWING NO.:
DT-04
 SHEET 14 OF 14