

_____ FOR _____



LOCATION OF SITE:

BRISTOL COUNTY, MASSACHUSETTS

MAP #27, LOT #13



SCALE: 1" = 1000'
PLAN REFERENCE: NEW BEDFORD USGS QUADRANGLE



SCALE: 1" = 60'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION PLAN	C-201
SITE LAYOUT PLAN	C-301
GRADING & DRAINAGE PLAN	C-401
UTILITY PLAN	C-501
EROSION AND SEDIMENT CONTROL PLAN	C-601
EROSION AND SEDIMENT CONTROL NOTES & DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES & DETAILS	C-702
LIGHTING PLAN	C-703
DETAIL SHEET	C-901
DETAIL SHEET	C-902
BOUNDARY & PARTIAL TOPO SURVEY (BY OTHERS)	1 OF 1
ALTA SURVEY (BY OTHERS)	1 OF 1

[illegible]

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PROJECT No.: W211168
DRAWN BY: JJ
CHECKED BY: JF
DATE: 04/04/2022
CAD I.D.: W211168-SPPD-0A

PROJECT:

OR —



MAP: 27 LOT: 13
4 PLAZA WAY, TOWN
OF FAIRHAVEN ,
BRISTOL COUNTY,
MASSACHUSETTS

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

www.BohlerEngineering.com



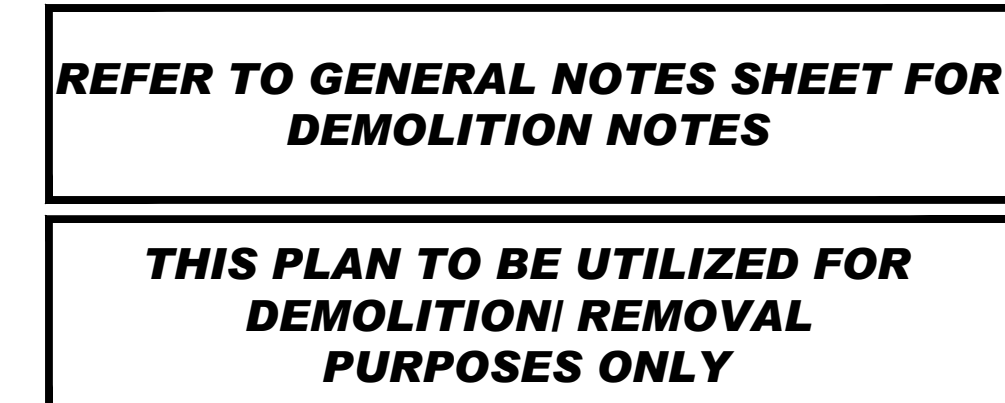
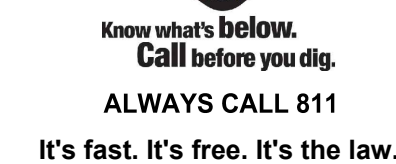
PROFESSIONAL ENGINEER
No. 41697

SHEET TITLE:

SHEET NUMBER:

C-101

RG. DATE - 5/11/2022

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PROJECT No.: W2111
DRAWN BY:
CHECKED BY:
DATE: 04/04/20
CAD I.D.: W211168-SPPD-

PROJECT:

**PROPOSED SITE
PLAN DOCUMENTS**

— FOR



MAP: 27 LOT: 13
14 PLAZA WAY, TOWN
OF FAIRHAVEN,
BRISTOL COUNTY,
MASSACHUSETTS

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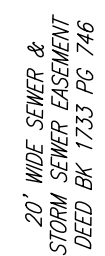
SHEET TITLE:

DEMOLITION PLAN

SHEET NUMBER:

C-201

ORG. DATE - 5/11/2022



1. APPLICANT:
MCZ REALTY LLC
PO BOX 241
MANHASSET, NY 11030
2. OWNER:
MCZ REALTY LLC
PO BOX 241
MANHASSET, NY 11030
3. PARCEL:
MAP #27, LOT #13
12 PLAZA WAY
TOWN OF FAIRHAVEN
BRISTOL COUNTY, MASSACHUSETTS

**THIS PLAN TO BE UTILIZED FOR SITE
LAYOUT PURPOSES ONLY. REFER TO
GENERAL NOTES
SHEET FOR ADDITIONAL NOTES**

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PROJECT No.:	W211168
DRAWN BY:	JJ
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DATE:	04/04/2022
CAD I.D.:	W211168-SPPD-0A

PROJECT:

FOI



MAP: 27 LOT: 13
14 PLAZA WAY, TOWN
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BRISTOL COUNTY,
MASSACHUSETTS

352 TURNPIKE ROAD
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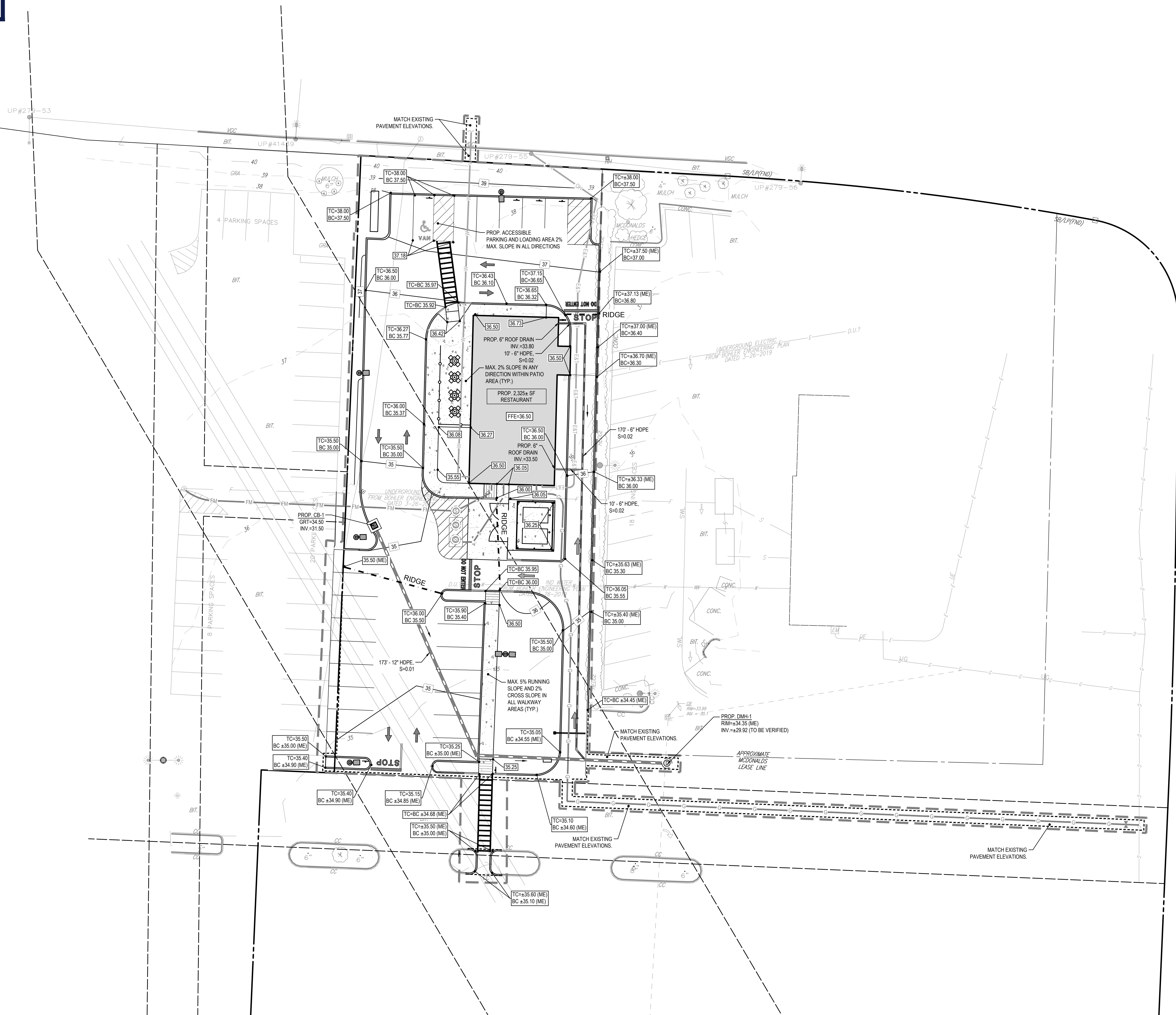
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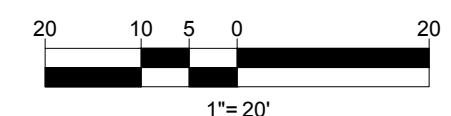
SHEET NUMBER

C-301

ORG. DATE - 5/11/2022



THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES



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SITE CIVIL AND CONSULTING ENGINEERING
LANDSCAPE ARCHITECTURE
PROGRAM MANAGEMENT
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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REVISIONS				
REV	DATE	COMMENT	DRAWN BY / CHECKED BY	

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PROJECT No.: W211168
DRAWN BY: JJ
CHECKED BY: JF
DATE: 04/04/2022
CAD ID: W211168-SPPD-0A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

CHIPOTLE

MEXICAN GRILL

PROPOSED RESTAURANT WITH PICK-UP LANE

MAP: 27 LOT: 13
14 PLAZA WAY, TOWN OF FAIRHAVEN, BRISTOL COUNTY, MASSACHUSETTS

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SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
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J.G. SWERLING

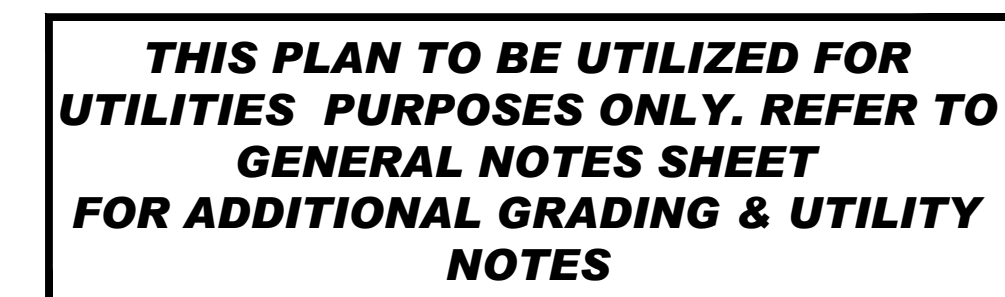
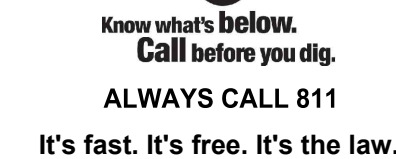
PROFESSIONAL ENGINEER
No. 41697
MASSACHUSETTS
NEW HAMPSHIRE No. 4496
CONNECTICUT No. 38785
RHODE ISLAND No. 11425

SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
C-401

ORG. DATE - 5/11/2022

C:\USERS\JFONCE\APPDATA\LOCALTEMP\ACADPUBLISH_1976\W211168-SPPD-0A-...-LAYOUT C-401-GRAD_DRAIN

[illegible]

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PLAN DOCUMENTS**

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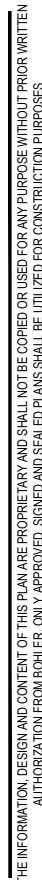
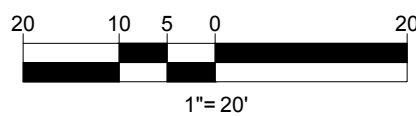


UTILITY PLAN

SHEET NUMBER:

C-501

ORG. DATE - 5/11/2022



ORG. DATE - 5/11/2022

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. IN THOSE AREAS THAT ARE NOT UNDERGOING CONSTRUCTION, THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MUCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR. SLOPES GREATER THAN 10% SHOULD BE PERMANENTLY STABILIZED FOR SEDIMENT CONTROL. DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS HAVING NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE SPECIFIED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 1. SIX INCHES, OR DEPTHER SPECIFIED BY THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND COMPACTED TO A UNIFORM SURFACE.
 2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF (100' x 20' @ 20" OR 48" APPLY FESCUE). SEEDING LAWNS ARE TO BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOIL MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1. SOO SLOPE IS 1.03 LBS STEEPER THAN 3:1 SHOULD BE SEEDING.
 3. FOLLOWS SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 44% KENTUCKY BLUE GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOIL MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1. SOO SLOPE IS 1.03 LBS STEEPER THAN 3:1 SHOULD BE SEEDING.
 4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.

LOCATION	MULCH	MULCH RATE (1000 SF)
PROTECTED AREA	MULCH STRAW	100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

* A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER SHALL BE USED TO ADDITIONAL WIND CONTROL.

* MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

15. PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION. SEDIMENT TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- 15.1. TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND PROVIDE A MINIMUM OF 1,800 CF PER ACRE OF TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED A 15' HEIGHT. UPON COMPLETION OF CONSTRUCTION, THE TRAP SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION, AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
16. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
17. EXISTING GATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
18. THE CONTRACTOR MUST PERFORM DETERIORATING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
19. THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER, THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPLIT PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPLIT PREVENTION AND RESPONSE PROCEDURES.

20. EROSION CONTROL NOTES DURING WINTER CONSTRUCTION
21. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
22. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF.
23. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
24. AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
25. FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH, LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR SEEDING. IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH THEN THE AREA MAY BE DORMANT SEED AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE PERFORMED TO THE PERMANENT DESIGN, EROSION CONTROL SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.

26. MULCHING REQUIREMENTS:
 - 26.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER
 - 26.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 6%.
 - 26.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 6%.
27. ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN.
28. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES AND SPECIFICATIONS SHALL BE CONSIDERED TO BE PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
2. EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
3. THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY XX.XXXX ACRES.
4. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - A. STABILIZED CONSTRUCTION ENTRANCE EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE PROTECTED FROM RUNOFF WATER WILL BE RETAINED ON-SITE.
 - B. SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND EXCAVATION AREAS, AND ALL OTHER AREAS WHERE DISTURBED AREAS ARE LOCATED.
 - C. INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE AROUND THE LIMITS OF THE DISTURBED AREA.
5. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6" OR HALF THE HEIGHT OF THE EROSION CONTROL BARRIERS HEIGHT CALCULATED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
7. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES.
8. THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
9. THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURFLANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
10. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
11. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
12. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
13. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLANS FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
14. THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
15. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
16. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN EFFECTIVE EROSION CONTROL.
17. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.

NOTES:

1. EXCAVATE A 6"x6" TRENCH ALONG THE LINE OF EROSION CONTROL OF THE SITE.
2. UNROLL SILTATION FENCE AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM FLOW DIRECTION).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS LAYING ACROSS THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF THE FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL ALSO BE ACCOMPLISHED BY LAYING FABRIC FLAP ON UNDISTURBED GROUND AND PILING & TAMPING FILL AT THE BASE.

TOE-IN METHODS

PERSPECTIVE OF FENCE

DETAIL OF POST ATTACHMENT (PRE-ASSEMBLED PRIOR TO INSTALLATION)

WOOD OR PLASTIC SLAT STAPLED THROUGH FABRIC TO POST

1-1/2" x 1-1/2" POST

FABRIC

POST

FILTER FABRIC

SLAT

BACKFILL

24" MIN.

12" MIN. (12" MAX. IN ROCKY SOIL)

6" MIN. LAP

NATIVE SOIL

BACKFILL FLOW

SILT FENCE (3' WIDE)

FABRIC

POST

TOE-IN FLAP

BACKFILL

STAPLES
2 PER BALE)

10 MIL PLASTIC
LINING

NATIVE MATERIAL
(OPTIONAL)

WOOD OR METAL
STAKES (2 PER BALE)

BINDING WIRE

STRAW BALE
(SEE NOTE 6)

SECTION A-A

2"

1/8" DIA. STEEL WIRE

1/4"

STAPLE DETAIL

PLYWOOD 48" X 24"
PAINTED WHITE

CONCRETE
WASHOUT

BLACK LETTERS

0.5" LAG SCREWS

WOOD POST 3" X 3" X 8'

SECTION B-B

CONCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT)

NOTES:

1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT. FROM STORM DRAIN INLETS.
2. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF OFF-SITE. CONTRACTOR TO DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.
3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
4. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
5. WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
6. STRAW BALE AND STAPLES MAY BE SUBSTITUTED WITH ALTERNATE SECURING MEASURES SUCH AS CONCRETE BLOCK.

10"
(MIN.)

VARIABLE

STAKE (TYP)

10 MIL PLASTIC LINING

STRAW BALE (TYP)

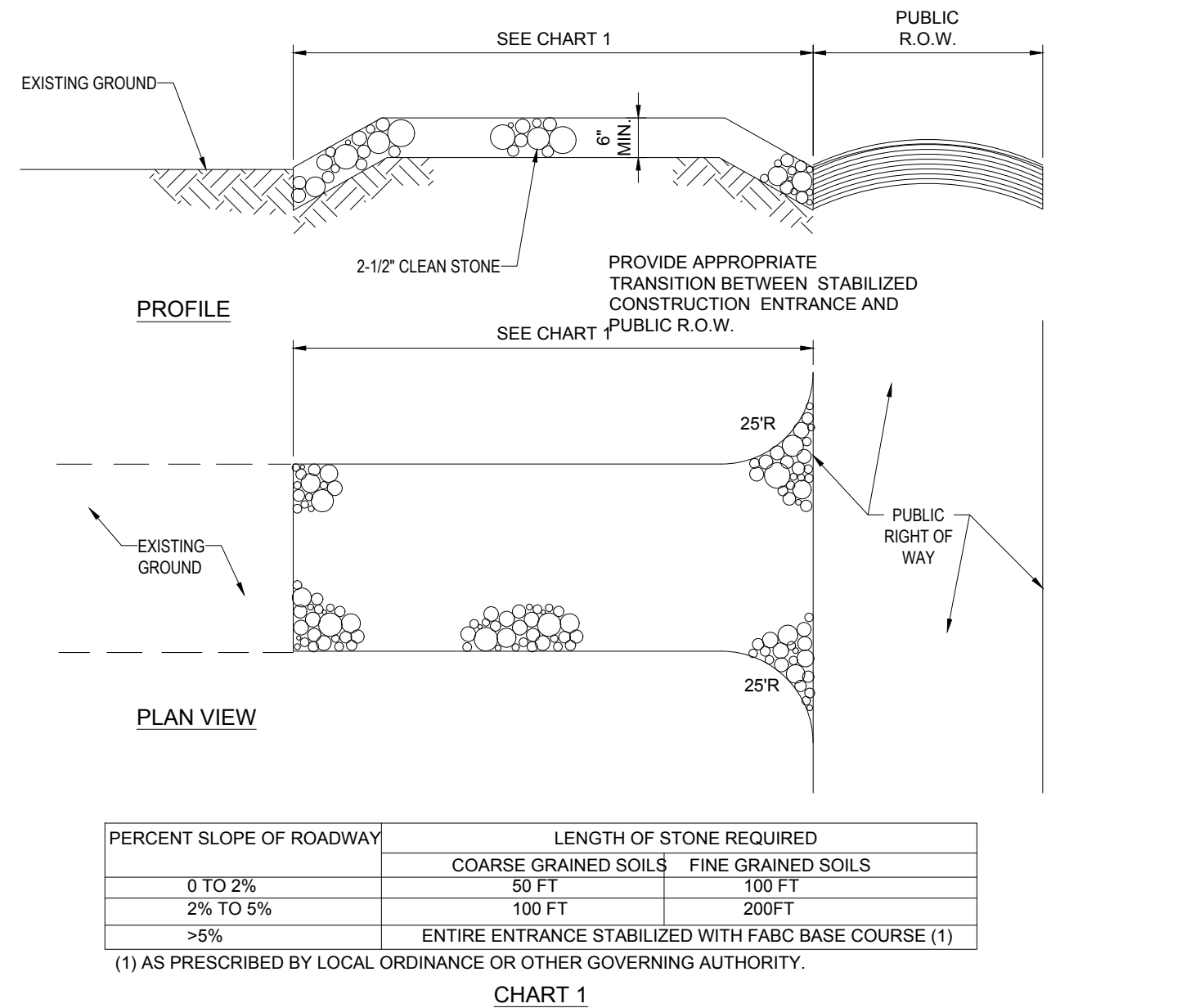
PLAN

	N.T.S.
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THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
- REMOVAL OF THE TEMPORARY SEDIMENT BASINS
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER

N.T.S.



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.

2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 2" OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH AS SHOWN IN DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.

3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURER'S RECOMMENDATION.

4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.

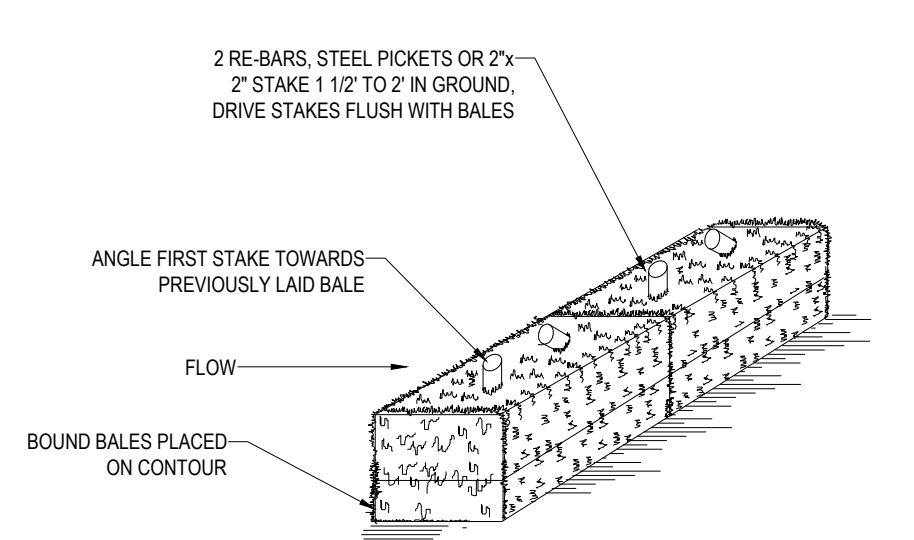
5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.

6. PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.

NOTES:

1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.

[illegible]

DRAINAGE AREA NO MORE THAN $\frac{1}{4}$ AC. PER 100 FEET OF STRAW BALE DIKE FOR SLOPES LESS THAN 25%.

NOTES:

- BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ADJUTING THE ADJACENT BALES.
- EACH BALE SHALL BE PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUS STAKE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE PROMPTLY NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

FINISHED GRADE

SECURE LIFTING LOOPS TO OR UNDER SURFACE

2"X2"X1/4" RUBBER BLOCK (TYP)

1/4" BRIGHTLY COLORED NYLON ROPE EXPANSION RESTRAINT

DEPTH

WIDTH

SECTION

POSSIBLE VIEW OF INSTALLED FILTER SACK

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENT IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4633	120 LBS
UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4461	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC ⁻¹

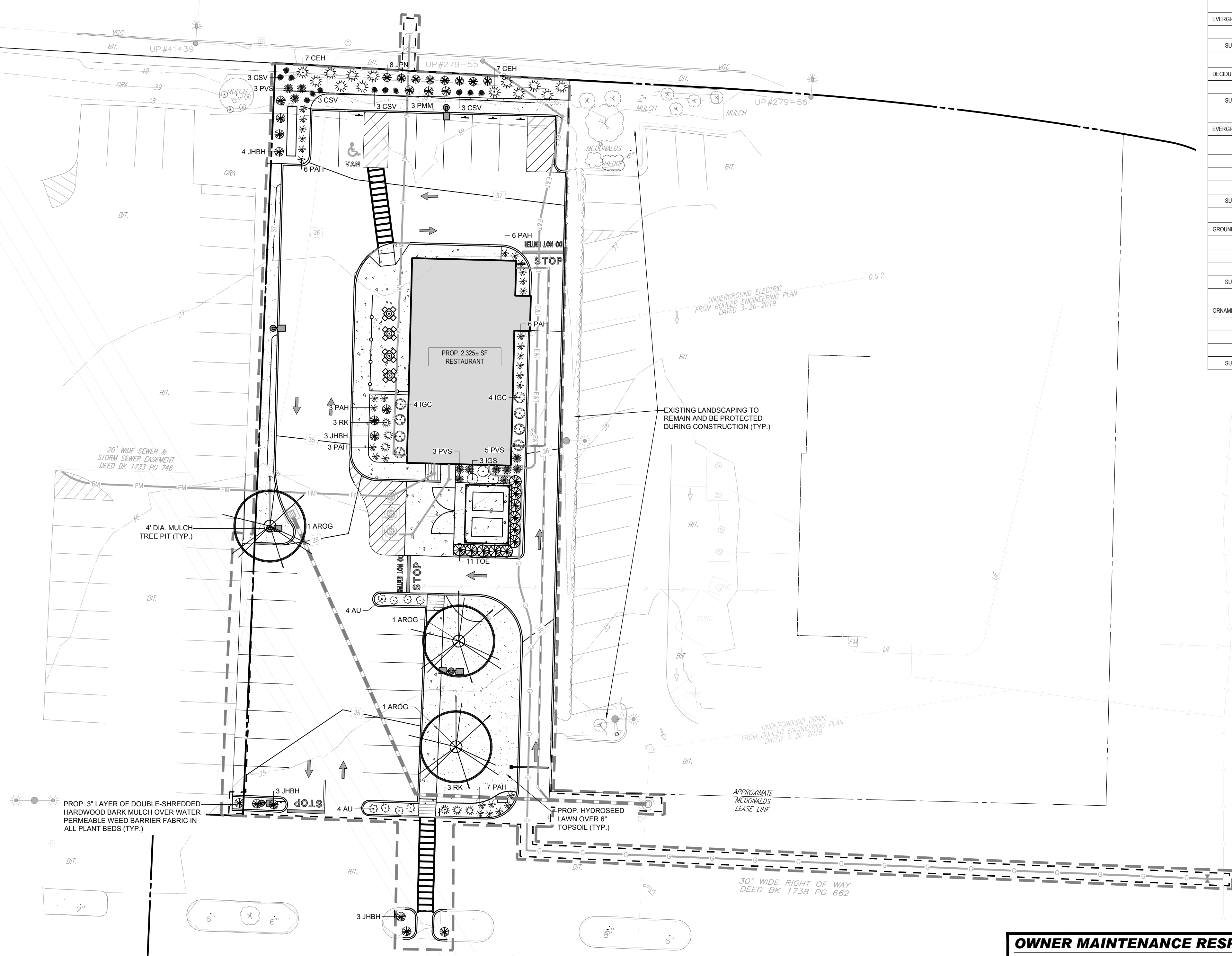
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4633	45 LBS
UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4461	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC ⁻¹

NOTE:
DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	52
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HUTTLESTON AVENUE



TOWN OF FAIRHAVEN, MA LANDSCAPE REQUIREMENTS		
SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
ARTICLE III: GENERAL REGULATIONS §19B-27: PARKING, LOADING AND LANDSCAPING REQUIREMENTS	C. PARKING AREA DESIGNATION AND LOCATION 4) PERIMETER LANDSCAPING REQUIREMENTS. PARKING LOTS FOR FIVE OR MORE CARS SHALL INCLUDE THE FOLLOWING:	PROVIDED REQUIRED: 22 SPACES / 10 = 2.2 TREES PROVIDED: 3 TREES
	(C) PLANTINGS SHALL INCLUDE THE INCORPORATION OF EVERGREEN AND DECIDUOUS PLANTINGS AND SHALL BE DEVELOPED IN CONSULTATION WITH PLANTING ARRANGEMENTS APPROVED BY THE PLANNING BOARD.	
	(5) PARKING LOTS FOR 20 OR MORE CARS SHALL BE INTERRUPTED WITH LANDSCAPED ISLANDS SUCH THAT NO PARKING SURFACE EXCEEDS 100 FEET IN WIDTH, INCLUDING THE AREA(S) USED FOR PARKING AISLES/ISLANDS. A PROTECTIVE LANDSCAPED ISLAND SHALL BE PROVIDED PER 10 PARKING SPACES AND SHALL CONTAIN ONE SHADE TREE WITH THE REMAINING AREA TO BE PLANTED WITH SHRUBS OR GROUND COVER. THE LANDSCAPE ISLAND SHALL BE THE WIDTH AND DEPTH OF A PARKING SPACE. THE SPGA HAVING JURISDICTION MAY GRANT A WAIVER TO THE LANDSCAPE ISLAND SIZE REQUIREMENT IF IT IS DEMONSTRATED THAT AN ALTERNATE DESIGN WILL STILL ACCOMMODATE A SHADE TREE.	

LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREES					
AROG	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B
SUBTOTAL:					
EVERGREEN TREES					
TOE	11	THUJA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	5-6'	B+B
SUBTOTAL:					
DECIDUOUS SHRUBS					
RK	6	ROSA 'RADRAZZ' KNOCK OUT	KNOCK OUT ROSE	24-30"	CONTAINER
SUBTOTAL:					
EVERGREEN SHRUBS					
CEH	13	CELPHALOTAXIS HARRINGTONIA 'PROSTRATA'	PROSTRATE PLUM YEW	18-24"	B+B
IGC	8	ILEX GLABRA 'COMPACTA'	DWARF INKBERRY HOLLY	24-30"	B+B
IGS	3	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	B+B
PMM	3	PINUS MUGO MUGUS	DWARF MUGO PINE	18-24"	CONTAINER
SUBTOTAL:					
GROUND COVERS					
AU	8	ARCTOSTAPHYLOS UVA-URSI	SEABERRY	12-15"	CONTAINER
JHBH	11	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD.	CONTAINER
JPN	8	JUNIPERUS PROCUMBENS 'NANA'	JAPANESE GARDEN JUNIPER	12-15" SPRD.	CONTAINER
SUBTOTAL:					
ORNAMENTAL GRASSES					
CSV	12	CAREX SIDEROSTICHA 'VAREGATA'	VAREGATED SEDGE GRASS	2 GAL.	CONTAINER
PAH	31	PENNISETUM ALOPECUROIDES 'HAEMEL'	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER
PVS	11	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL.	CONTAINER
SUBTOTAL:					

SEED MIX KEY

 PROPOSED HYDROSEED

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPRKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITH VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS/EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR
LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES &
DETAILS SHEET FOR LANDSCAPE
NOTES AND DETAILS

20 10 5 0 20
1"= 20'

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
LANDSCAPE ARCHITECTURE
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY

811

Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

PERMIT SET

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PROJECT No.: W211168
DRAWN BY: JJ
CHECKED BY: JF
DATE: 04/04/2022
CAD ID: W211168-LSCP-0A

PROPOSED SITE
PLAN DOCUMENTS

FOR

CHIPOTLE
MEXICAN GRILL

PROPOSED RESTAURANT
WITH PICK-UP LANE

MAP: 27 LOT: 13
14 PLAZA WAY, TOWN
OF FAIRHAVEN,
BRISTOL COUNTY,
MASSACHUSETTS

BOHLER

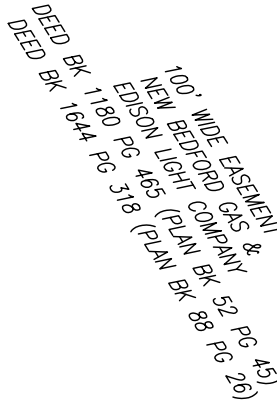
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

MASSACHUSETTS
REGISTERED LANDSCAPE ARCHITECT
Bohler Engineering, Inc.
No. 4517
Expires 12/31/2024
License No. 4348
1992-2024

SHEET TITLE:
LANDSCAPE
PLAN

SHEET NUMBER:
C-701

ORG. DATE - 5/11/2022



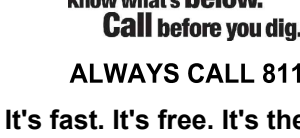
NUMERIC SUMMARY

LUMINAIRE SCHEDULE

Diagram illustrating a luminaire mounting assembly. The assembly consists of a vertical pole, a mounting arm, and a concrete curb. The pole is labeled "POLE". The mounting arm is labeled "MOUNTING ARM". The concrete curb is labeled "CONCRETE CURB". The luminaire fixture is labeled "LIGHT FIXTURE (SEE LUMINAIRE SCHEDULE THIS PLAN)". The diagram also shows a "FOUNDATION (DESIGN BY OTHERS-SEE NOTE BELOW)" and a "MULTIPLE FIXTURE ARRANGEMENT INDICATED ON P...". A dimension of "2.6' (MIN)" is indicated for the height of the mounting arm above the curb. A vertical dimension line on the left indicates "FOR LUMINAIRE MOUNTING HEIGHTS SEE LUMINAIRE LOCATION SUMMARY (THIS SHEET)".

N.T.S

**THIS PLAN TO BE UTILIZED FOR
LIGHTING PURPOSES ONLY**

[illegible]

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
VIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: W211168
DRAWN BY: JJ
CHECKED BY: JF
DATE: 04/04/2022
CAD I.D.: W211168-SPPD-0A

PROJECT:

FOR -



MAP: 27 LOT: 13
4 PLAZA WAY, TOWN
OF FAIRHAVEN ,
BRISTOL COUNTY,
MASSACHUSETTS

BOHLER//

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

www.BohlerEngineering.com

J.G. SWERLING

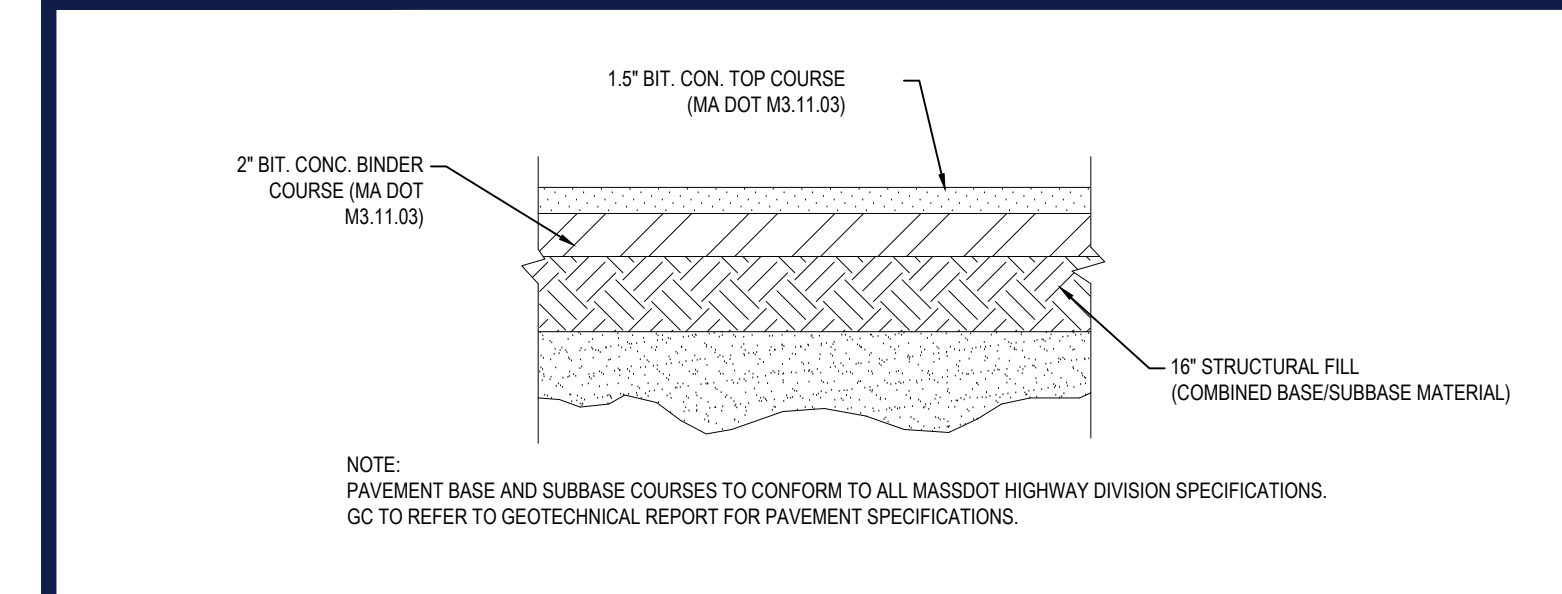


SHEET TITLE:

SHEET NUMBER

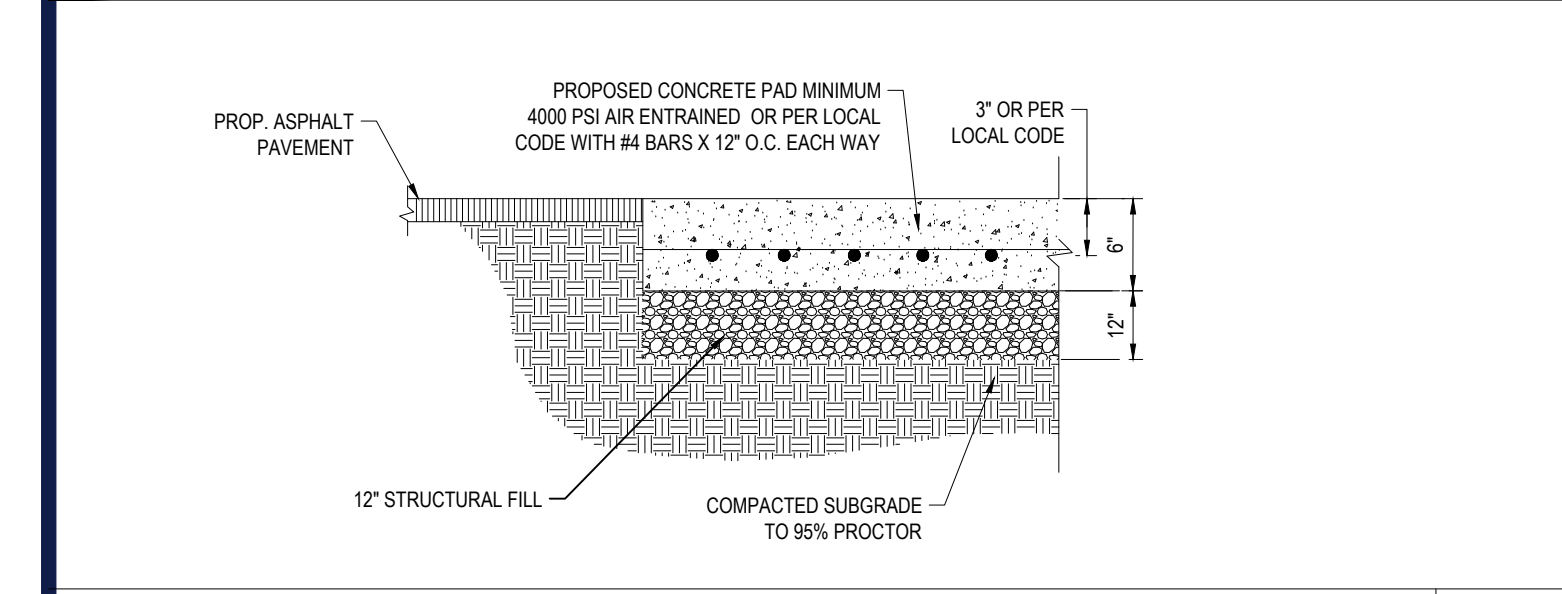
C-703

ORG. DATE - 5/11/2022



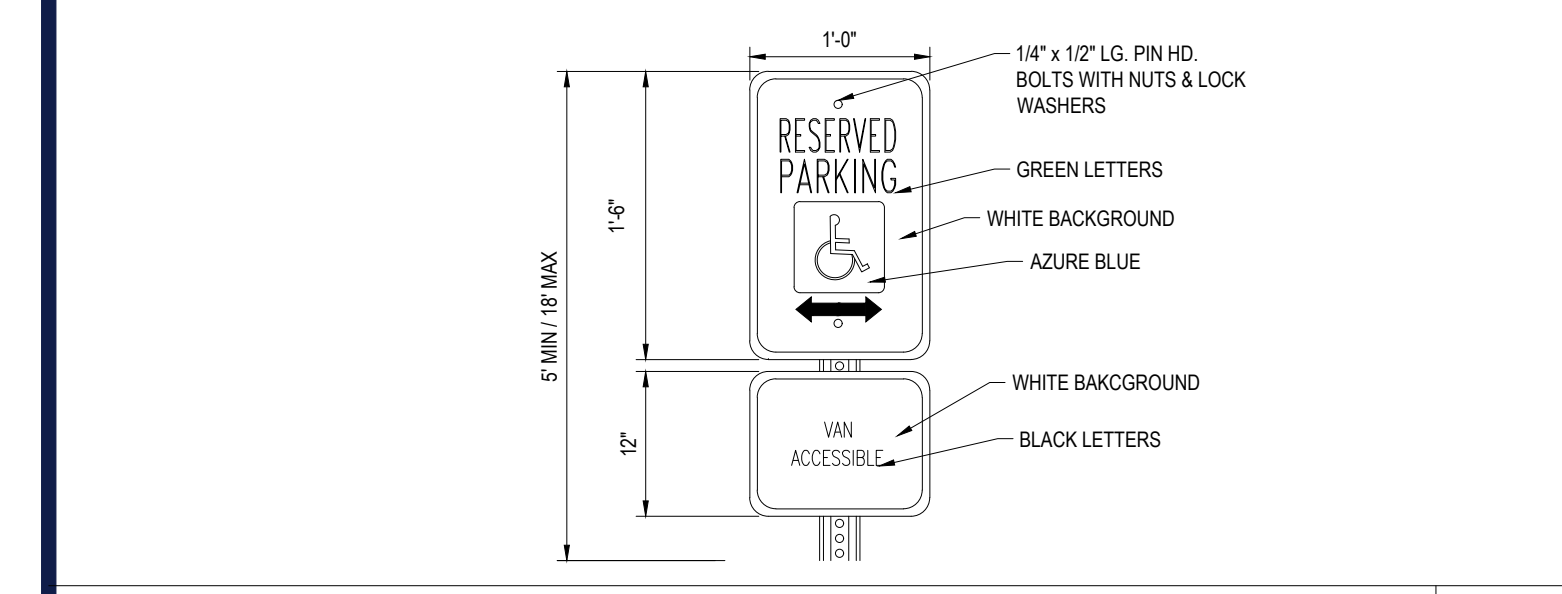
TYPICAL PAVEMENT SECTION

N.T.S.



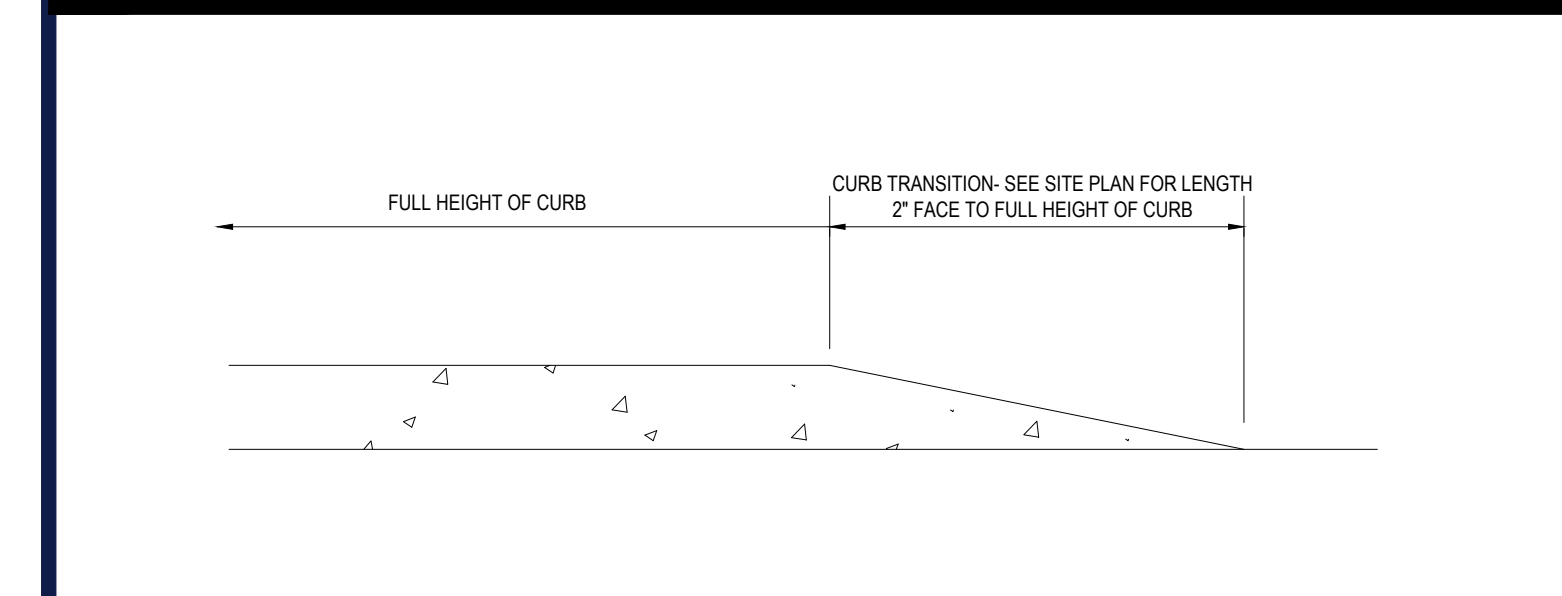
CONCRETE PAD

N.T.S.



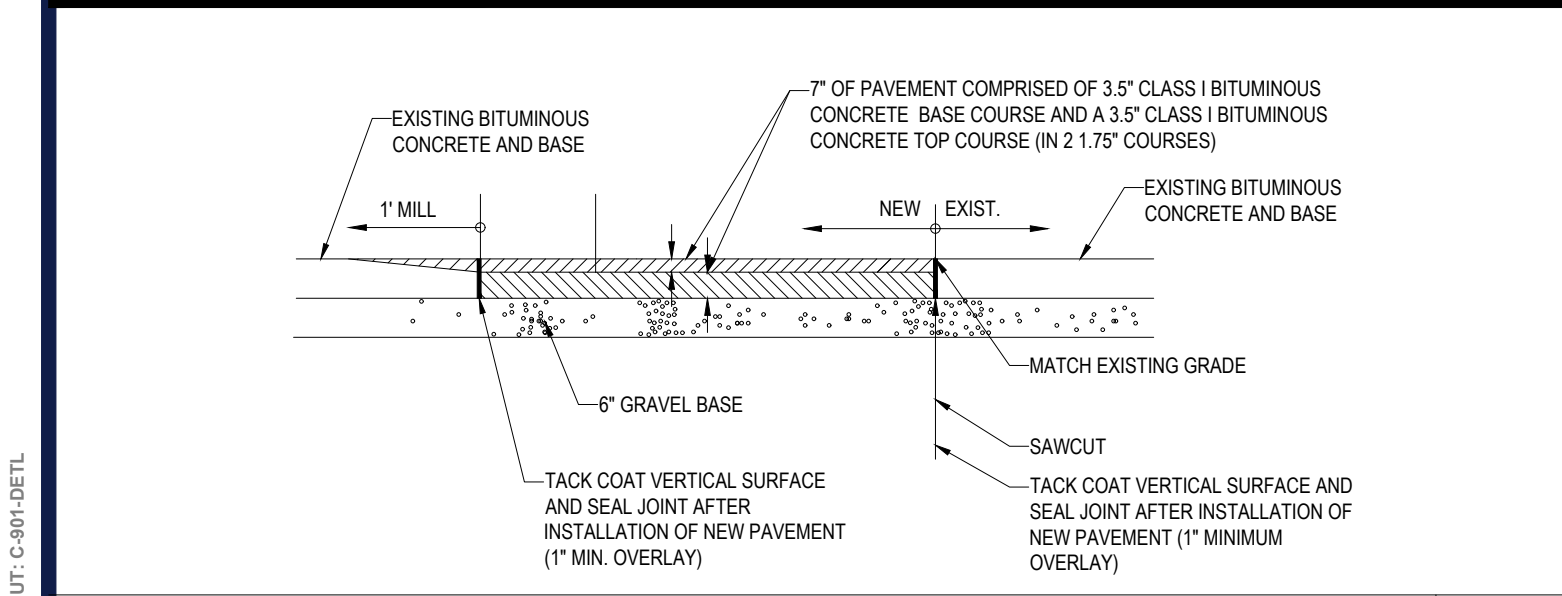
ACCESSIBLE PARKING SIGN

N.T.S.



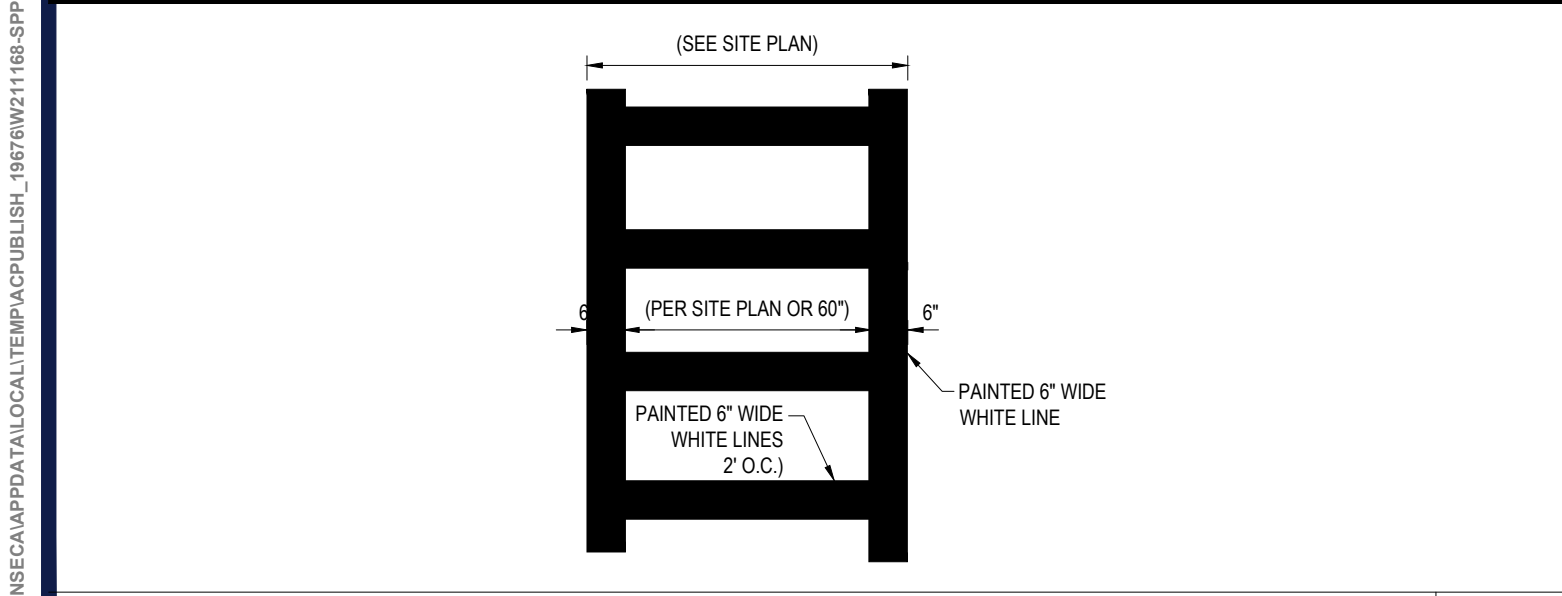
TRANSITION CURB

N.T.S.



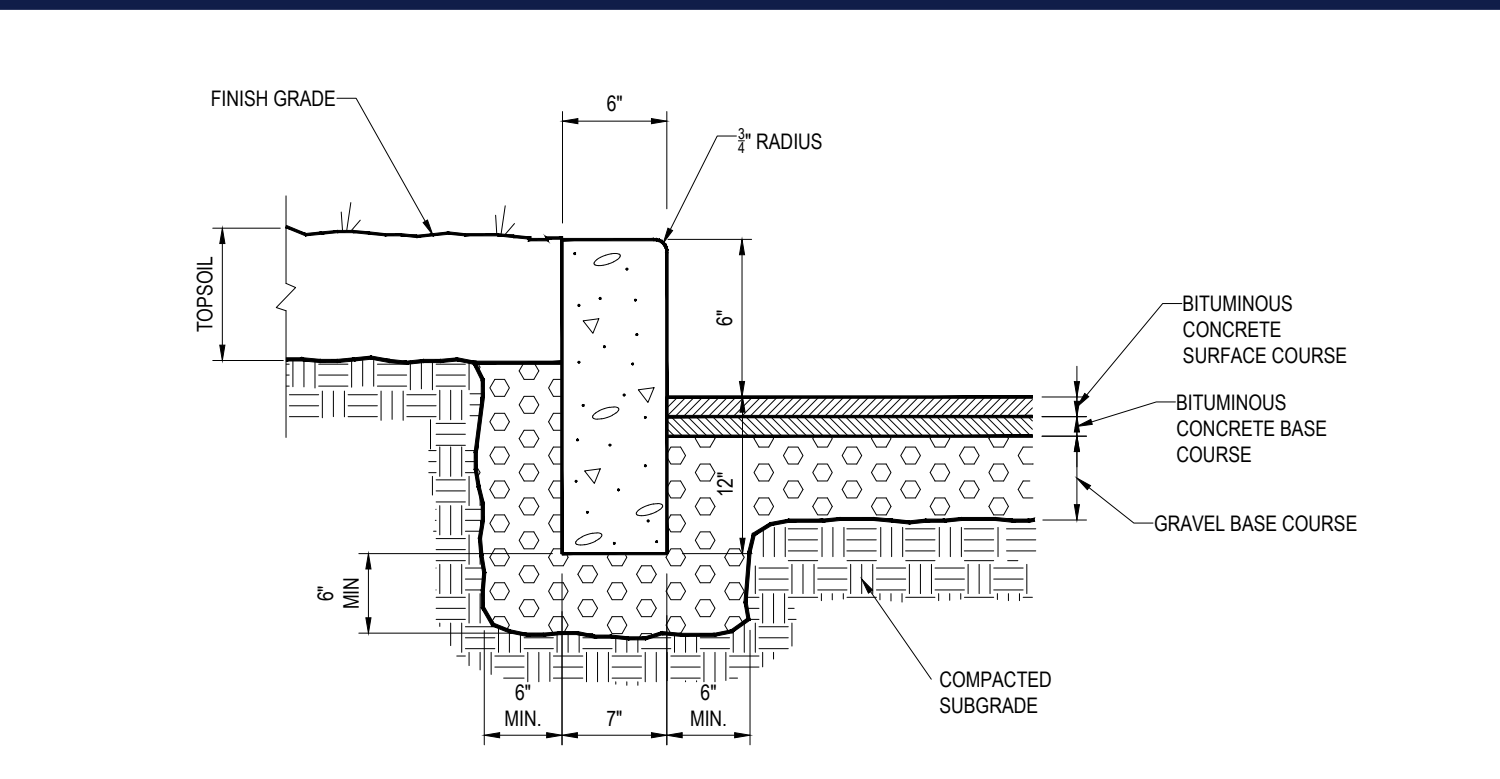
ROADWAY PATCHING

N.T.S.



CROSSWALK DETAIL

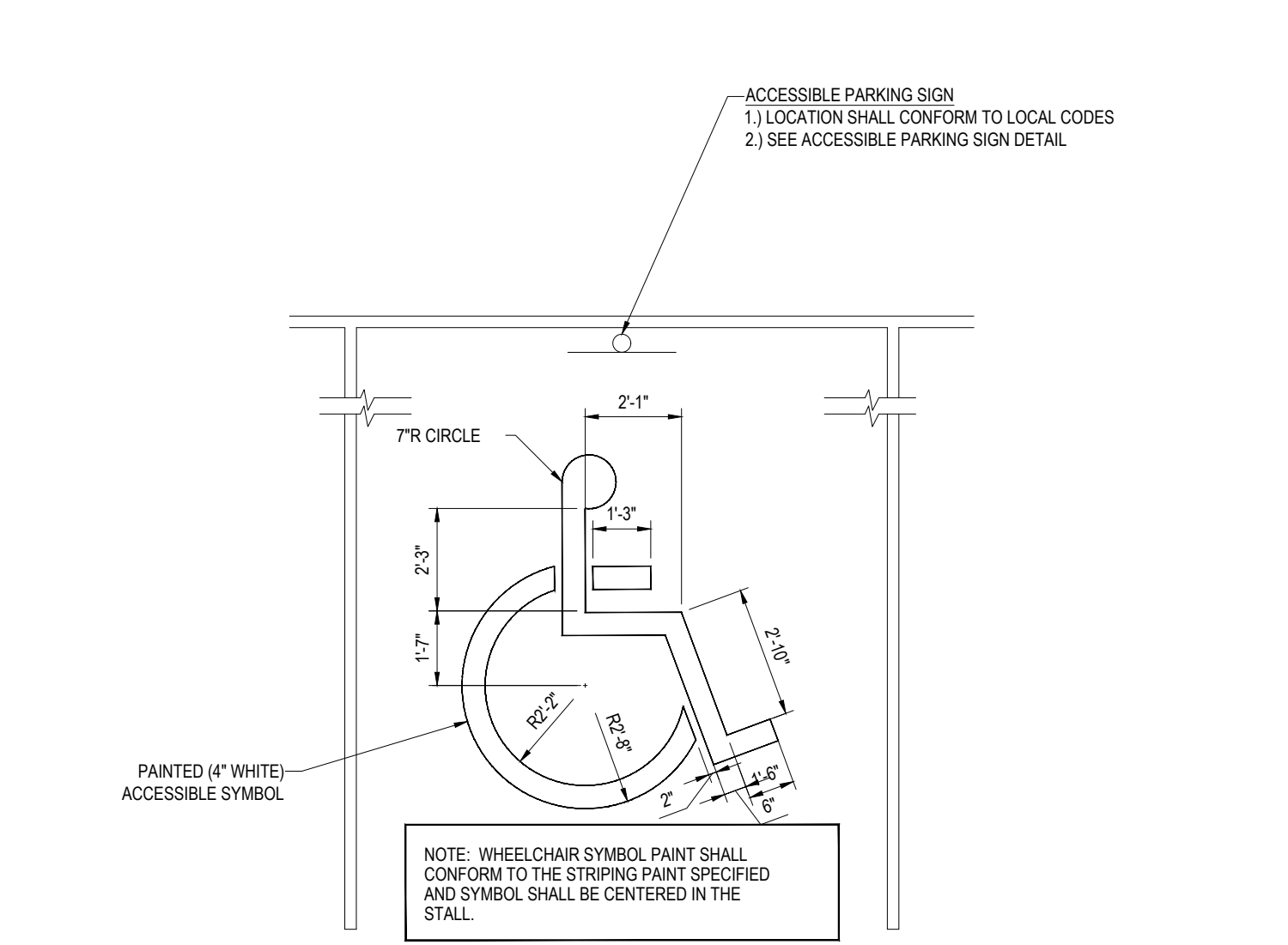
N.T.S.



PRECAST CONCRETE CURB

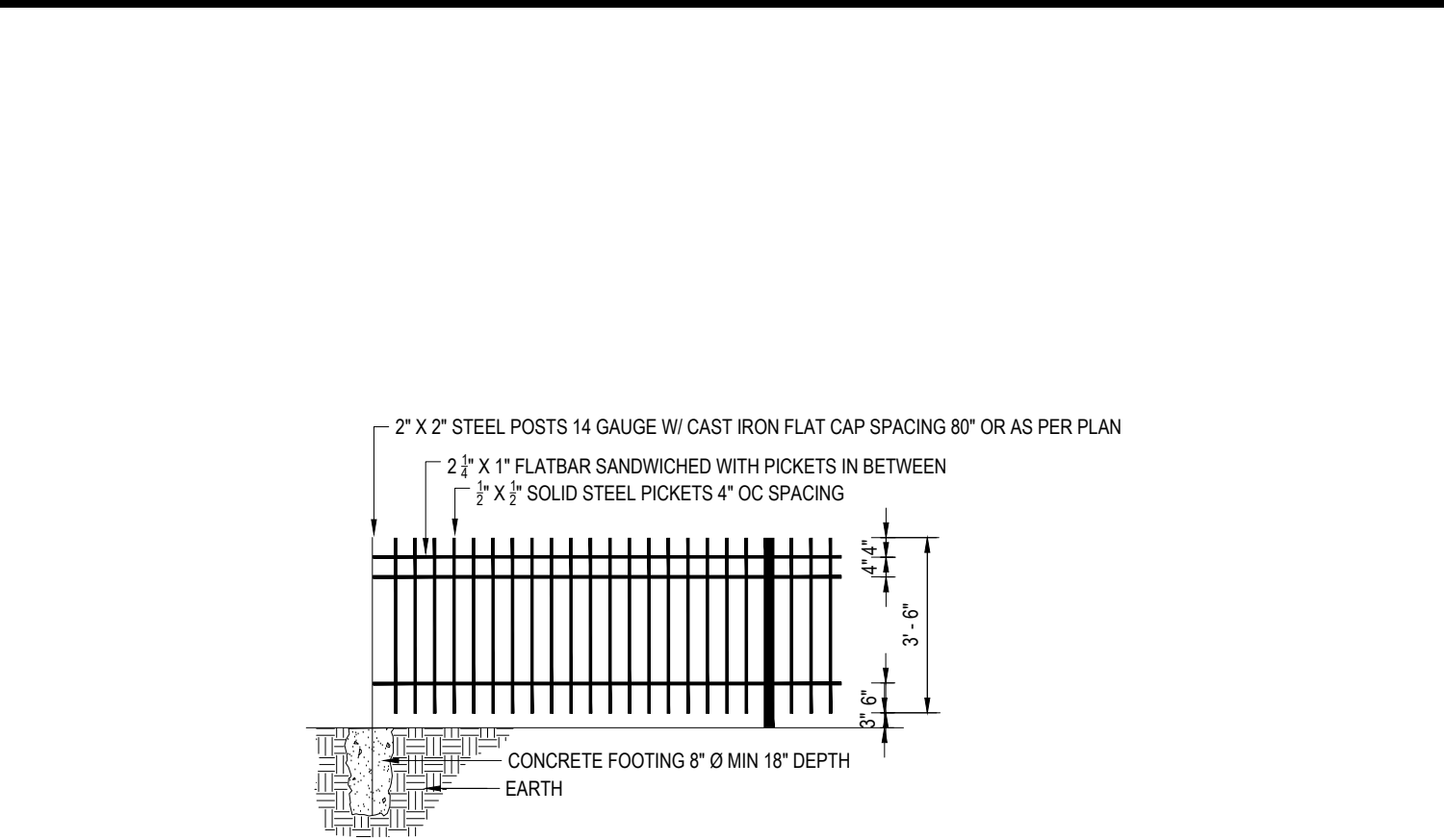
N.T.S.

- NOTE:
1. CURB SHALL CONSIST OF 4,000 PSI AIR ENTRAINED CONCRETE. EXPOSED EDGES TO HAVE RUBBED FINISH AND SURFACE SHALL BE TREATED WITH A CONCRETE PENETRANT/SEALER.
 2. THE ENDS OF CURB SECTIONS SHALL BE CHAMFERED 1/4 INCH.
 3. THE CORNERS OF CURB SECTIONS SHALL MATCH THE ADJACENT CURB IN SIZE, COLOR AND FINISH.
 4. CURBS, CURB CORNERS OR EDGING SHALL BE FITTED TOGETHER AS CLOSELY AS POSSIBLE.
 5. EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM OF TWENTY FEET (20') ON CENTER USING PREFORMED EXPANSION JOINT FILLER HAVING A THICKNESS OF 1/2 INCH.



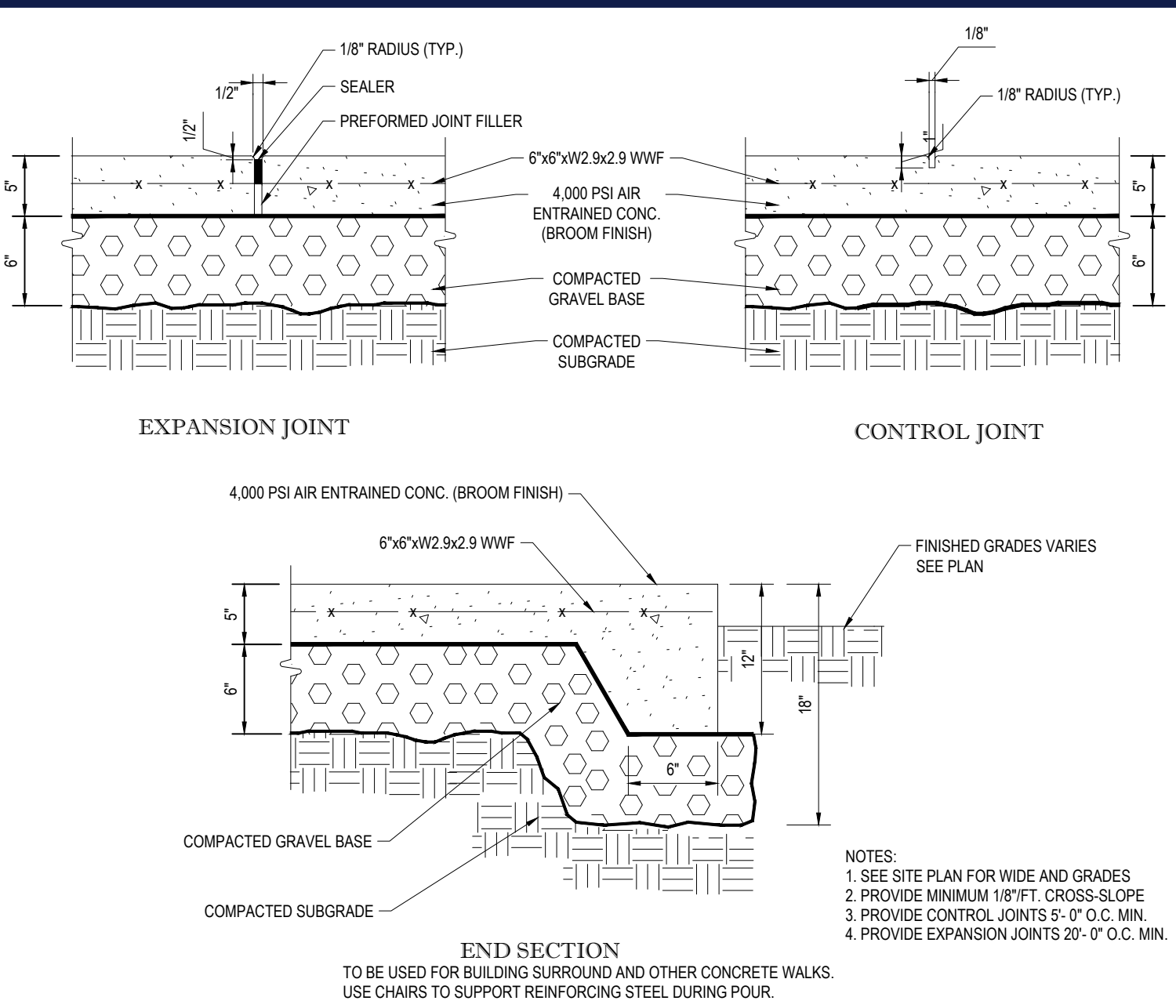
ACCESSIBLE PARKING STALL PAINTING

N.T.S.



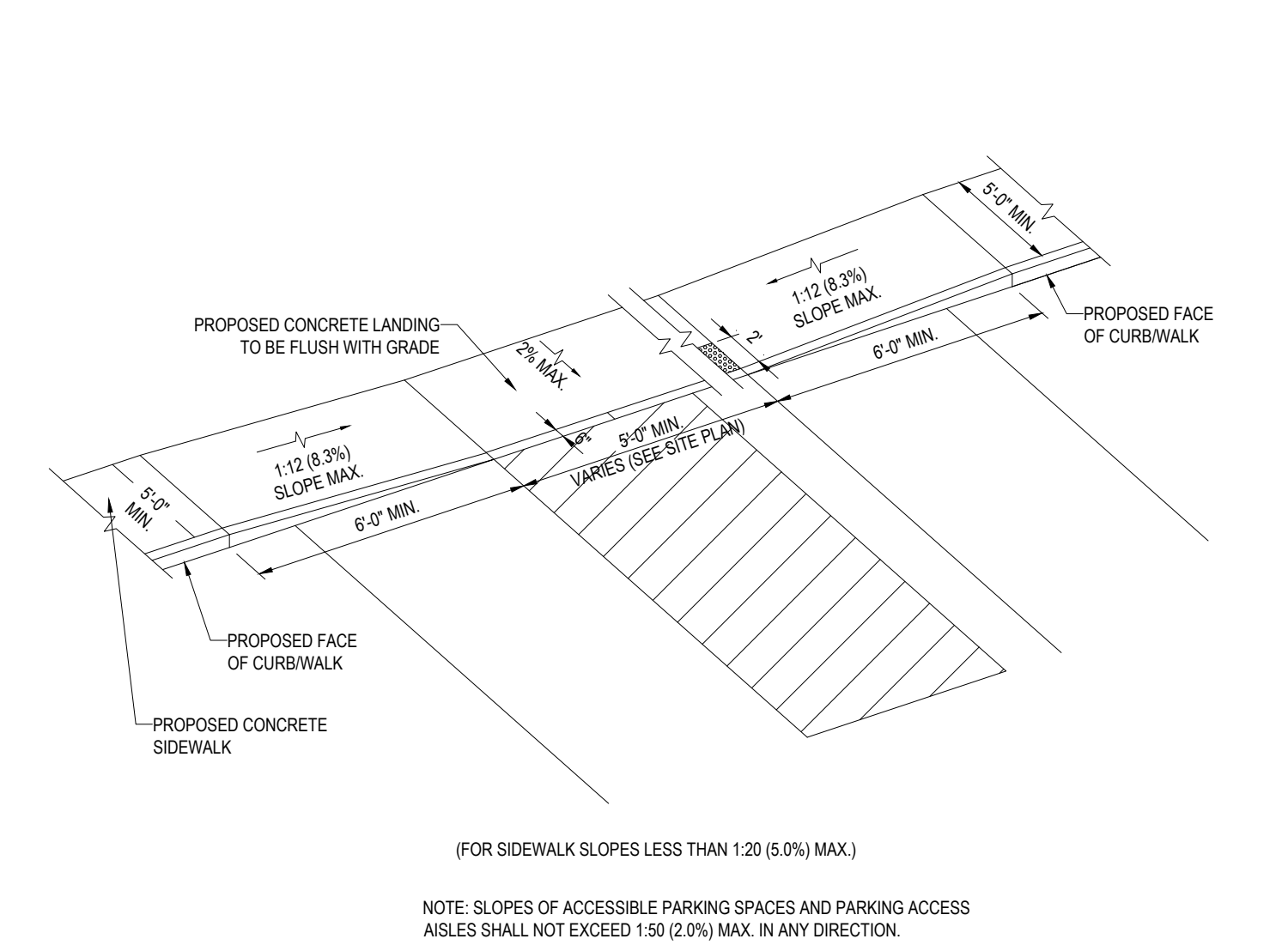
4' WROUGHT IRON FENCE

N.T.S.



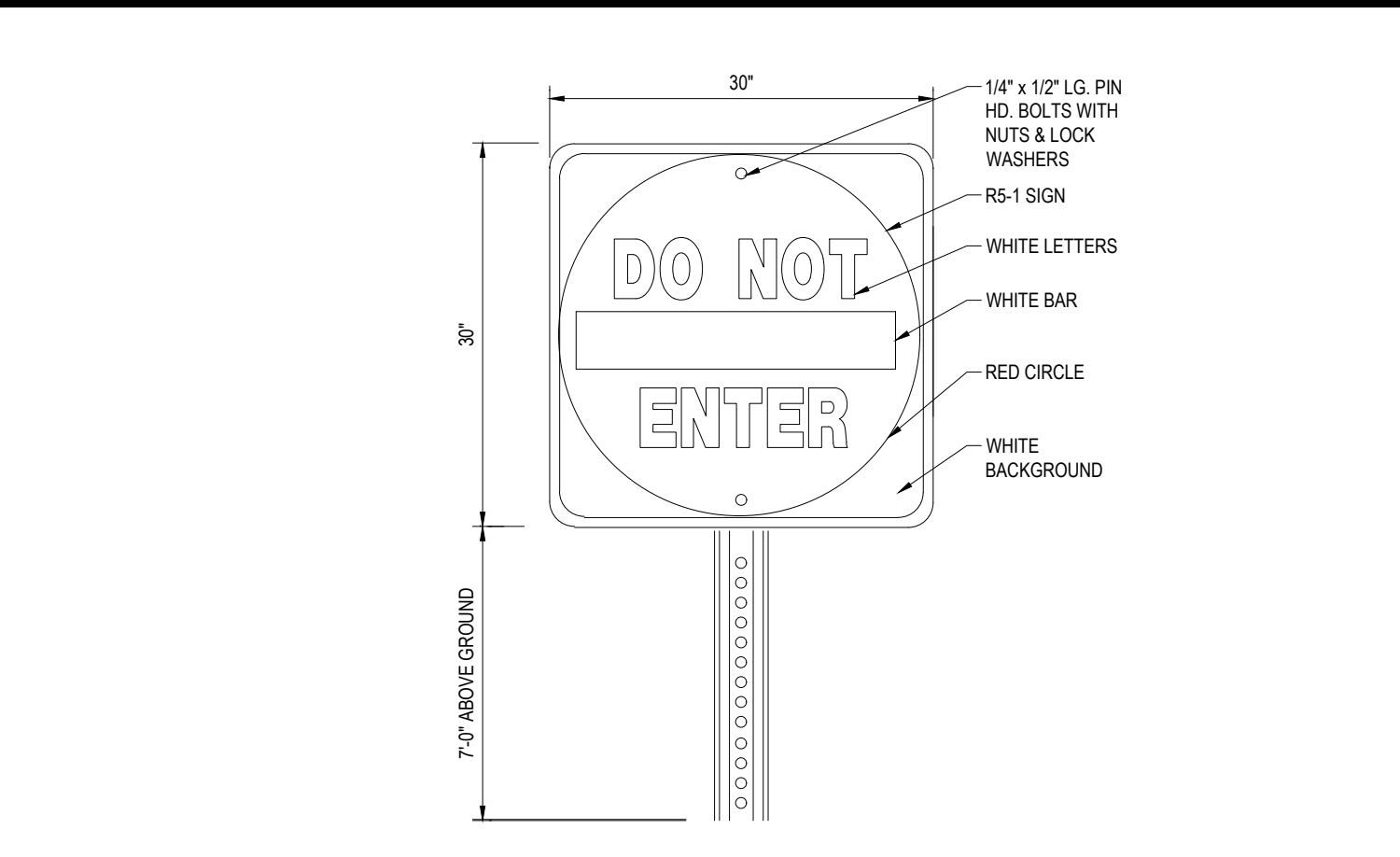
MONOLITHIC CONCRETE SIDEWALK

N.T.S.



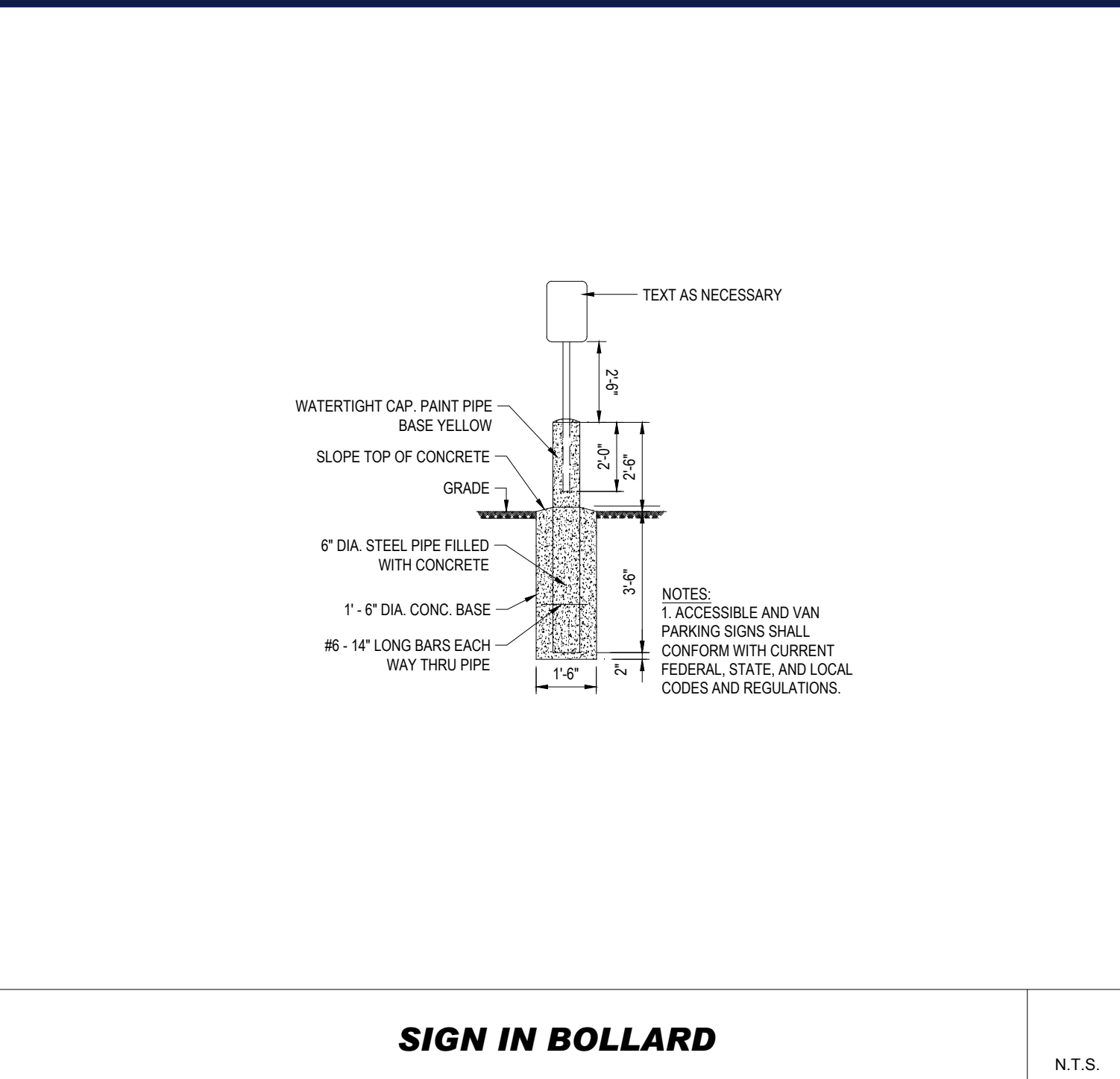
ON-SITE SLOPED WALK

N.T.S.



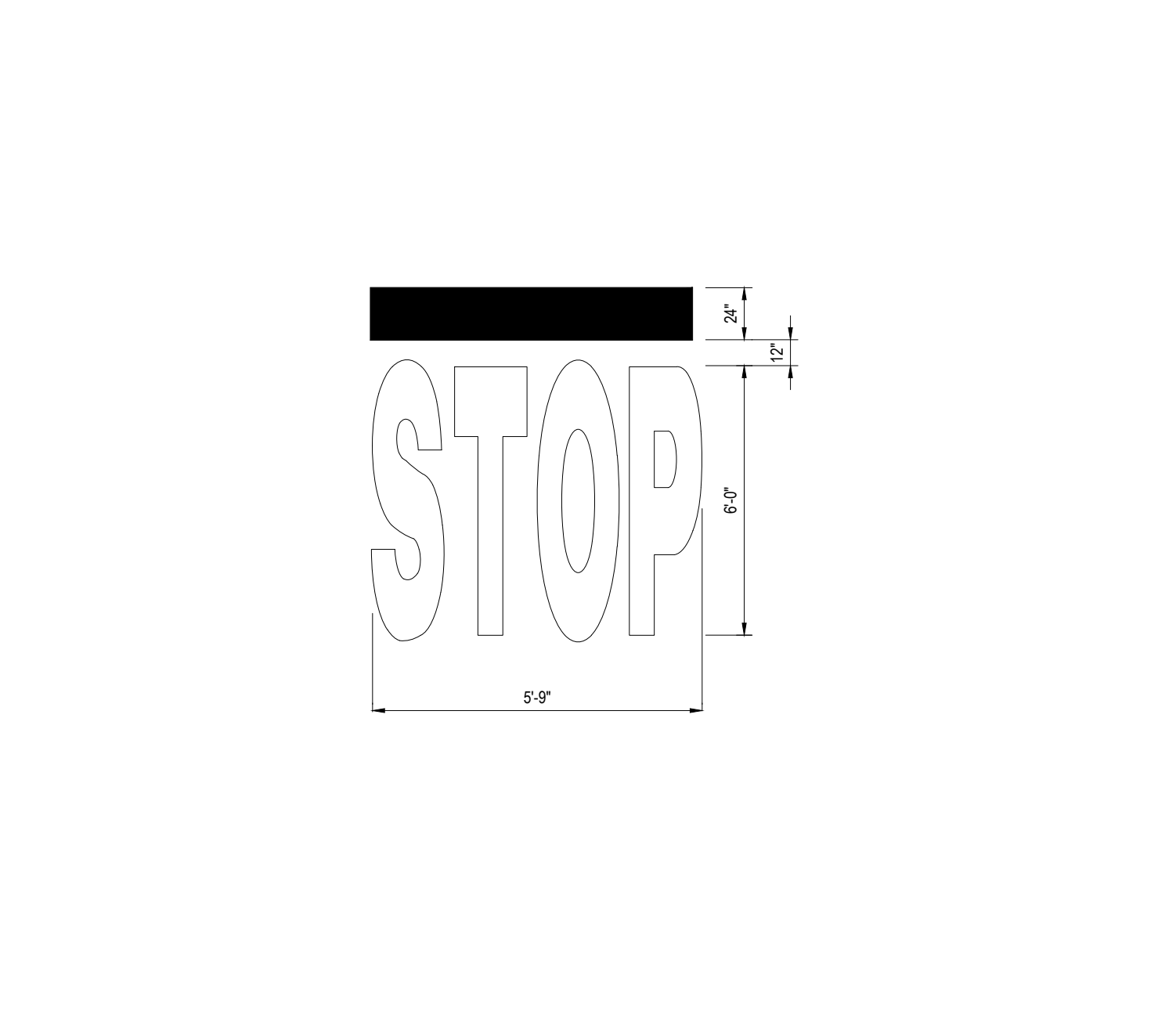
"DO NOT ENTER" SIGN

N.T.S.



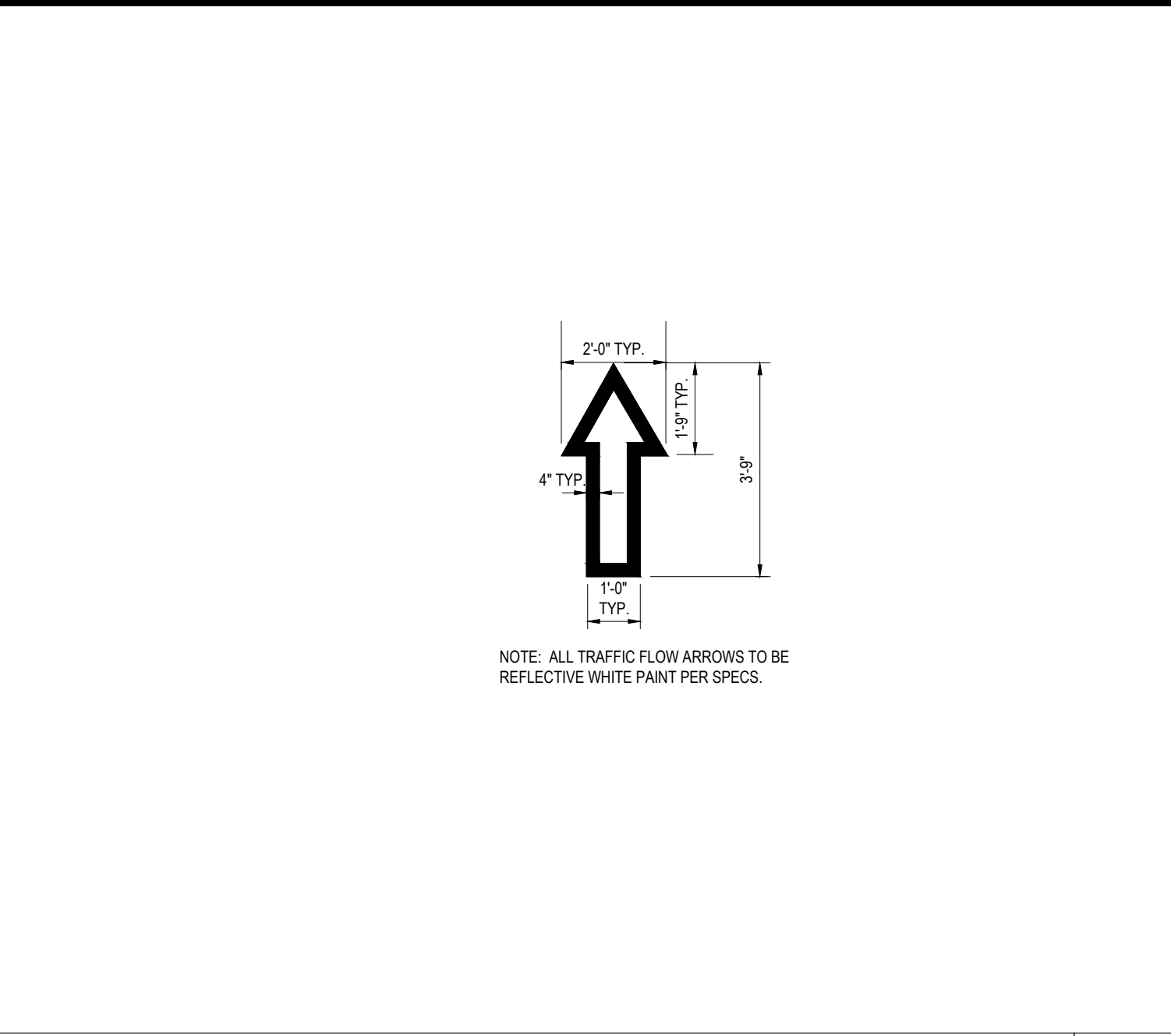
SIGN IN BOLLARD

N.T.S.



"STOP" BAR DETAIL

N.T.S.



TRAFFIC FLOW ARROW

N.T.S.

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
303 SOUTH MAIN STREET
PROVIDENCE, RHODE ISLAND 02903
PHONE: (401) 853-1111
WWW.BOHLERENGINEERING.COM

PROFESSIONAL ENGINEER
No. 41897
MASSACHUSETTS
NEW HAMPSHIRE No. 44996
CONNECTICUT No. 38785
RHODE ISLAND LICENSE No. 11425

REVISIONS				
REV	DATE	COMMENT	DRAWN BY / CHECKED BY	

811

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PROJECT No.: W211168
DRAWN BY: JJ
CHECKED BY: JF
DATE: 04/04/2022
CAD ID: W211168-SPPD-0A

PROPOSED SITE PLAN DOCUMENTS

FOR

CHIPOTLE

MEXICAN GRILL

PROPOSED RESTAURANT WITH PICK-UP LANE

MAP: 27 LOT: 13
14 PLAZA WAY, TOWN OF FAIRHAVEN, BRISTOL COUNTY, MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

J.G. SWERLING

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No. 41897
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NEW HAMPSHIRE No. 44996
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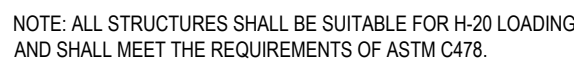
SHEET TITLE:

DETAIL SHEET

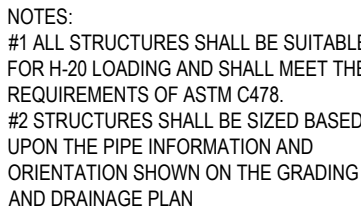
SHEET NUMBER:

C-901

ORG. DATE - 5/11/2022



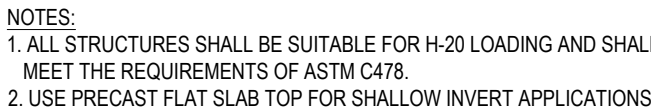
N.T.S



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DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	W211168
DRAWN BY:	JJ
CHECKED BY:	JF
DATE:	04/04/2022
CAD I.D.:	W211168-SPPD-0A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

- FOR -



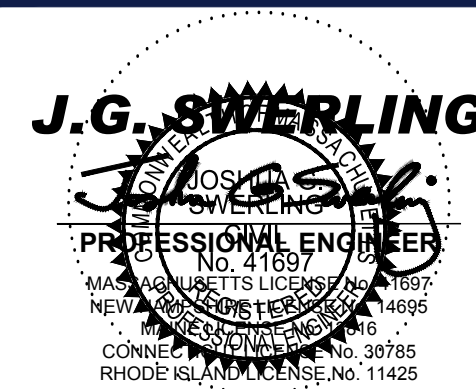
**PROPOSED RESTAURANT
WITH PICK-UP LANE**

MAP: 27 LOT: 13
14 PLAZA WAY, TOWN
OF FAIRHAVEN ,
BRISTOL COUNTY,
MASSACHUSETTS

BOHLER //

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
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SHEET TITLE:

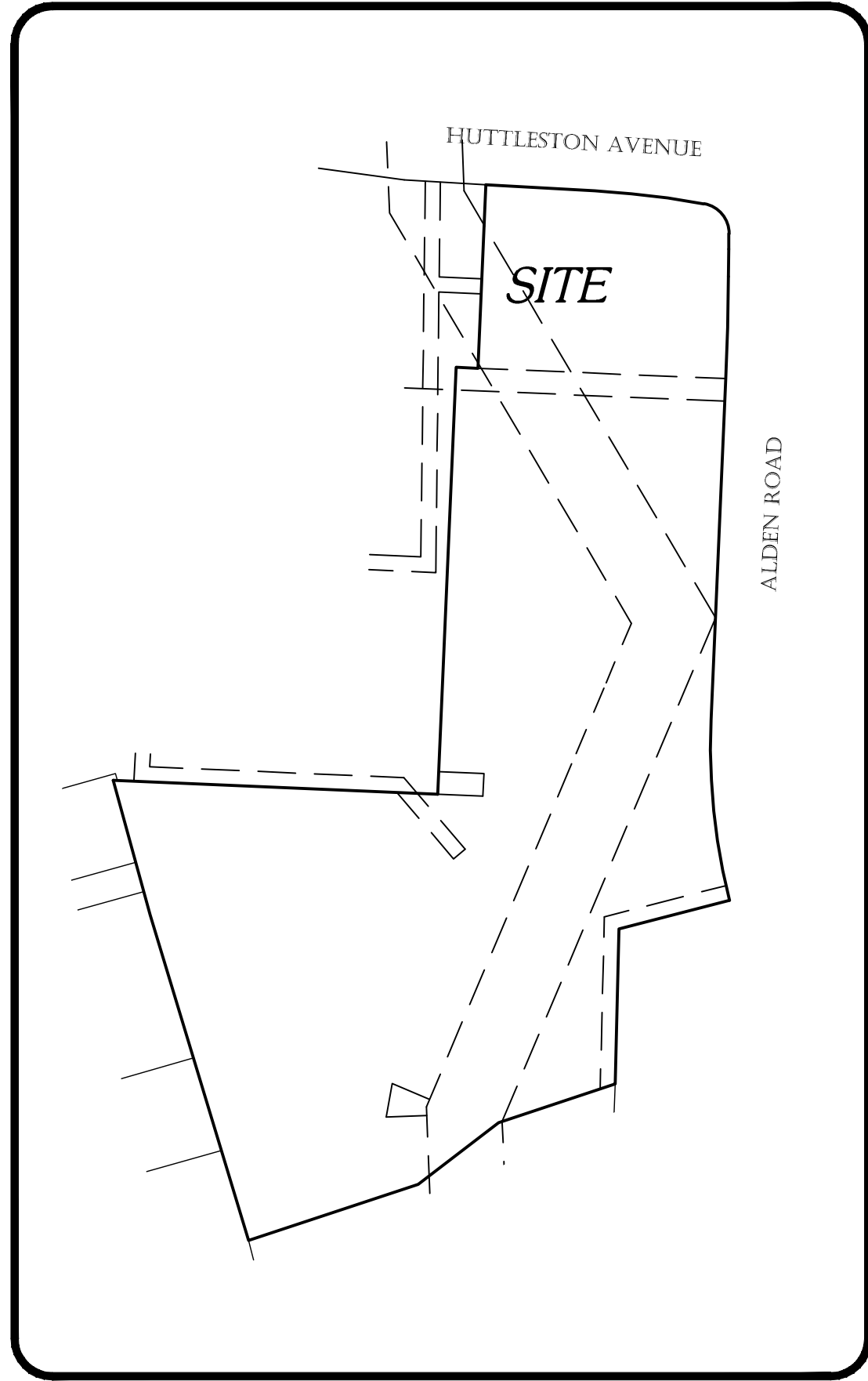
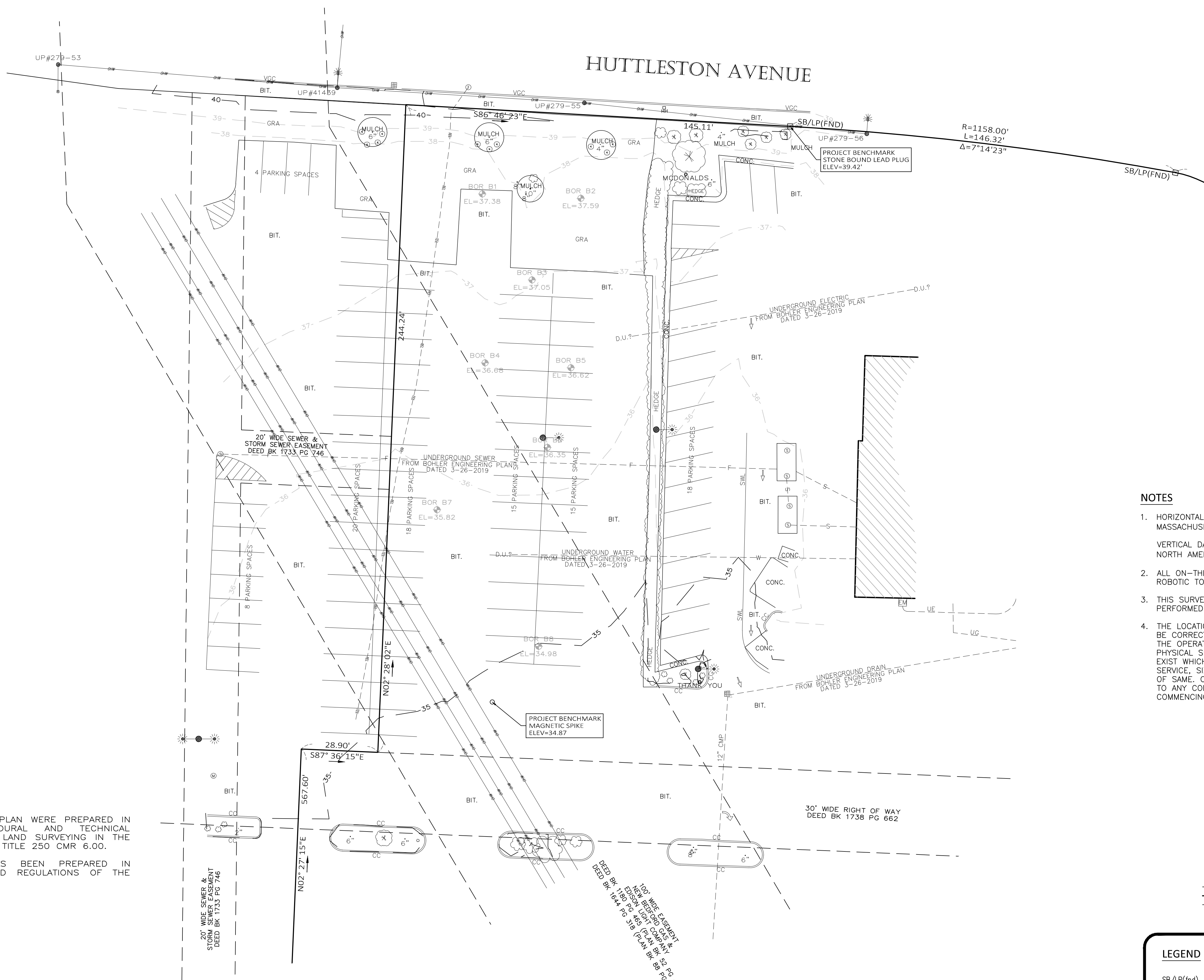
DETAIL SHEET

SHEET NUMBER

C-902

ORG. DATE - 5/11/2022

MA STATE PLANE COORD. SYSTEM
MAINLAND ZONE - NAD 83



LOCUS

SCALE: 1"=200'

NOTES

- HORIZONTAL DATUM:
MASSACHUSETTS STATE PLANE - MAINLAND ZONE NAD83 (2011) EPOCH 2010.00 - US FEET

VERTICAL DATUM:
NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOID 12B) - US FEET
- ALL ON-THE-GROUND OBSERVATIONS WERE PERFORMED USING LEICA TS12 (3") ROBOTIC TOTAL STATIONS.
- THIS SURVEY AND PLAN ARE BASED UPON AN ACTUAL ON THE GROUND INSTRUMENT SURVEY PERFORMED DECEMBER, 2021.
- THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON EITHER RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, VISUAL INSPECTION OF AVAILABLE ABOVEGROUND STRUCTURES, PHYSICAL SURFACE MARKINGS FOUND, OR DATA PROVIDED BY OTHERS. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK.

ABBREVIATION LEGEND

BIT	BITUMINOUS CONCRETE
CC	CONCRETE CURB
CONC	CONCRETE
GRA	GRASS
HH	HANDHOLE
LA	LANDSCAPING AREA
MUL	MULCH
BOR	BORING
UP	UTILITY POLE (WITH OR WITHOUT LIGHT)
VGC	VERTICAL GRANITE CURB
OHW	OVERHEAD WIRES
TEL	TELEPHONE

LINETYPE LEGEND

---	EASEMENTS
---	PROPERTY LINE
---	RIGHT OF WAY

LEGEND

SB/LP(fnd) STONE BOUND LEAD PLUG FOUND

REFERENCES

MCZ REALTY, LLC
DEED BOOK 11949 PAGE 331
PLAN BOOK 97 PAGE 112

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS, TITLE 250 CMR 6.00.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



DECEMBER 9, 2021

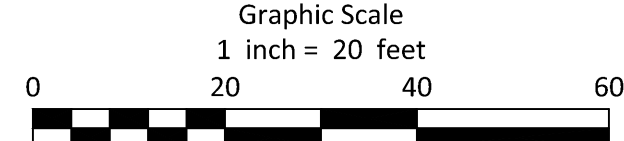
PROFESSIONAL LAND SURVEYOR

DATE

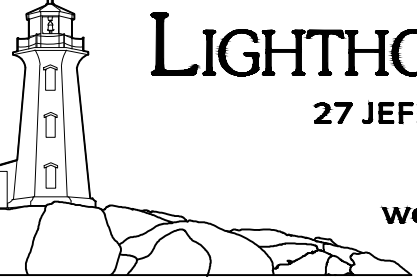
DRWN BY:	SMB
CHK'D BY:	RWR
APRVD BY:	RWR
REV #	0
DATE	ISSUED FOR REVIEW
DESCRIPTION	

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PREPARED BY:



LIGHTHOUSE LAND SURVEYING, LLC

27 JEFFERSON STREET - TAUNTON, MASSACHUSETTS

Tel. 508 - 824 - 6609

website: www.lighthouselandsurveying.com

PROJECT:

14 PLAZA WAY
(BRISTOL COUNTY - NORTH DISTRICT)
FAIRHAVEN MASSACHUSETTS

TITLE:

EXISTING CONDITIONS
PLAN OF LAND

PREPARED FOR:

MCZ REALTY, LLC
P.O. BOX 241
MANHASSET NY, 11030

DATE:

DECEMBER 9, 2021

SHEET NO:

1

OF 1

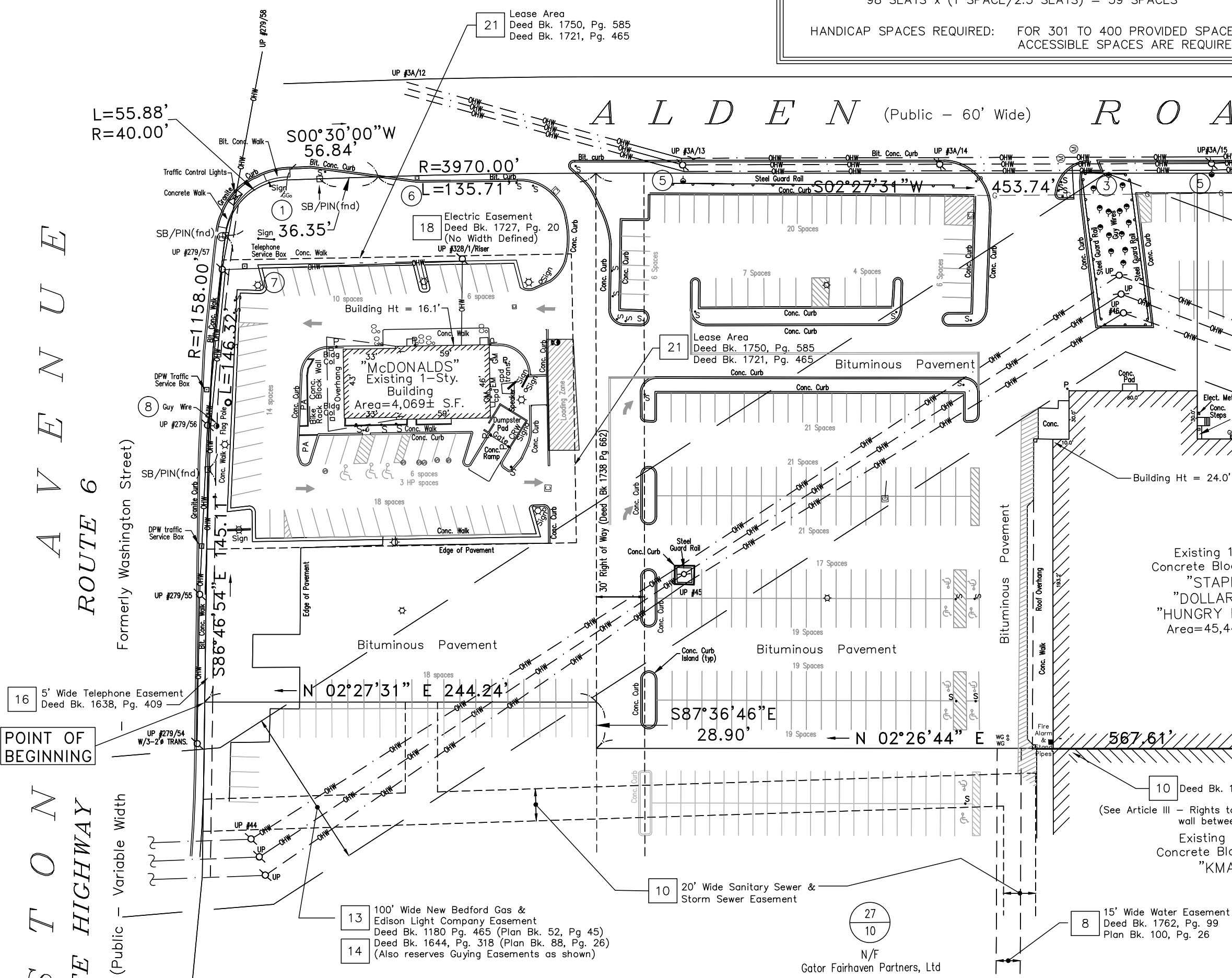
MCZ_CHIPOLITE_SITE_SVBASE.DWG

Surveyor's Certification

Fall River Five Cents Savings Bank, its successors and/or assigns
MCZ Realty, LLC
First American Land Title Insurance Company

The undersigned hereby certifies to the above listed parties, to the best of my knowledge, information and belief that, (a) this survey update is true and correct and was made on the ground under my supervision and correctly shows the boundary lines and dimensions and area of the premises; (b) monuments shown herein actually exist, and the location and type of such monuments are correctly shown; (c) this survey correctly shows the size, location and type of buildings, structures, and other visible improvements on the subject premises; (d) this survey correctly shows the location and dimensions of alleys, streets, roads, right-of-ways, easements, building setback lines and other matters of record of which the undersigned has been advised affecting the subject premises; (e) except as shown, there are no visible (1) improvements, party walls, drainage ditches, streams, (2) encroachments onto adjoining premises, streets, or alleys by any of said buildings, structures, or other improvements, (3) encroachments onto the subject premises by buildings, structures, or other improvements on adjoining premises, or (4) encroachments on any observed easement, known building setback line or other known restricted area by any buildings, structures or other improvements on the subject premises; (f) subject Property is not located in Zone C, which is defined as areas of minimal flooding, as reflected by the National Flood Insurance Program, Flood Insurance Rate Map, community panel number 25005C, 0384G revised date July 16, 2014 which such map panel covers the area in which the premises are situated; and (g) this survey is made in accordance with the "Minimum Standard Detail Requirements for Property Title Surveys" jointly established and adopted by ALTA, ACSM effective 2/23/2016, and includes items 2, 3, 4, 6, 7(b)(1), 7(c), 8, 9, 10, 13, 14, 15, and 16 of Table A thereof.

Registered Professional Land Surveyor Date



BOUNDARY DESCRIPTION

A certain parcel of land situated on the south side of Huttleston Avenue in the Town of Fairhaven, the County of Bristol and the Commonwealth of Massachusetts, being more particularly bounded and described as follows:

Beginning at a point in the southerly sideline of Huttleston Avenue, said point being the northwesterly corner of the herein described parcel;

Thence S86°-46'-54"E, 145.11 feet by the southerly sideline of said Huttleston Avenue to a point;
Thence along a curve to the right having a radius of 1158.00 feet, an arc length of 146.32 feet by said sideline of Huttleston Avenue to a point;
Thence along a curve to the right having a radius of 40.00 feet, an arc length of 55.88 feet by the westerly sideline of Alden Road Extension to a point;
Thence S00°-30'-00"W, 56.84 feet by said sideline of Alden Road Extension to a point;
Thence along a curve to the right having a radius of 3970.00 feet, an arc length of 135.71 feet by the westerly sideline of Alden Road Extension to a point;
Thence S02°-27'-31"W, 453.74 feet by said sideline of Alden Road Extension to a point;
Thence along a curve to the left having a radius of 830.00 feet, an arc length of 241.80 feet by the westerly sideline of Alden Road Extension to a point;
Thence S75°-30'-43"W, 151.68 feet by land now or formerly owned by Maurice & Betty Ann Mendonca to a point;
Thence S01°-20'-56"W, 206.06 feet by land now or formerly owned by Maurice & Betty Ann Mendonca to a point;
Thence S71°-39'-17"W, 163.42 feet by land now or formerly owned by the Town of Fairhaven to a point;
Thence S52°-28'-08"W, 134.77 feet by land now or formerly owned by the Town of Fairhaven to a point;
Thence S71°-39'-17"W, 237.16 feet by land now or formerly owned by the Town of Fairhaven to a point;
Thence N16°-53'-01"W, 452.41 feet by lands now or formerly owned by Michael El-khoury, Ana B. Ponte and Andre D. & Nanette Benton to a point;
Thence N15°-16'-54"W, 185.04 feet by lands now or formerly owned by Andre D. & Nanette Benton, Michele E. Agostinho and George A. Carver to a point;
Thence S87°-33'-16"E, 431.72 feet by land now or formerly owned by Gator Fairhaven Partners, Ltd to a point;
Thence N02°-26'-44"E, 567.61 feet by land now or formerly owned by Gator Fairhaven Partners, Ltd to a point;
Thence S87°-36'-46"E, 28.90 feet by land now or formerly owned by Gator Fairhaven Partners, Ltd to a point;
Thence N02°-27'-31"E, 244.24 feet by land now or formerly owned by Gator Fairhaven Partners, Ltd to the point of beginning.

Containing 13.74 acres and being shown as Lot B on a plan entitled, "Plan of Land in Fairhaven, Mass., for Healy Corp., Washington Street (Rt. 6) prepared by Philip A. Ayres & Assoc., scale 1"=60', dated November 18, 1976, revised December 7, 1976 and recorded at the Bristol County Registry of Deeds (Southern District) in Plan Book 97, Page 112.

ZONING INFORMATION DATA			
ZONING DISTRICT:	BUSINESS DISTRICT	SOURCE FAIRHAVEN BUILDING COMMISSIONER TEL. NO. (508)979-4019	
MINIMUM LOT AREA	15,000 S.F.	REQUIRED	PROVIDED
MINIMUM FRONTAGE	100 FEET		13.74 AC (598,667 S.F.) 291.43 FEET (HUTTLESTON AVENUE)
MAXIMUM LOT COVERAGE	70%		43%
MINIMUM SETBACK REQUIREMENTS			
FROM HUTTLESTON AVENUE:	50 FEET		526.4± FEET
FROM ALDEN ROAD:	20 FEET		135.7± FEET
FROM SIDELINE:	0 FEET		0 FEET
MAXIMUM BUILDING HEIGHT	40 FEET		24.0 FEET

PARKING SPACE DATA	
USE:	SHOPPING MALL CENTER / RESTAURANT
SPACES REQUIRED:	221 TOTAL PARKING SPACES
SPACES PROVIDED:	310 TOTAL SPACES (299 REGULAR + 11 HANDICAP)
PARKING REQUIREMENTS	
SHOPPING MALL CENTER	
BUILDING FOOTPRINT AREA:	45,450± S.F.
MINIMUM SPACES REQUIRED:	1 SPACE/250 S.F. < 100,000 S.F.
PARKING SPACE CALCULATIONS:	45,450 S.F. x (1 SPACE/250 S.F.) = 182 SPACES
RESTAURANT - (McDONALD'S)	
NO. OF SEATS:	98 SEATS
MINIMUM SPACES REQUIRED:	1 SPACE/2.5 SEATS
PARKING SPACE CALCULATIONS:	98 SEATS x (1 SPACE/2.5 SEATS) = 39 SPACES
HANDICAP SPACES REQUIRED:	FOR 301 TO 400 PROVIDED SPACES, 8 HANDICAP ACCESSIBLE SPACES ARE REQUIRED

NOTES:

- PLAN REFERENCES ARE RECORDED AT THE BRISTOL COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT, AT NEW BEDFORD, MA.
- EXISTING CONDITIONS SHOWN ARE THE RESULTS OF A FIELD SURVEY PERFORMED BY TIBBETTS ENGINEERING CORP. IN MARCH 2000 AND UPDATED IN MARCH OF 2010, APRIL 2015, AND DECEMBER 2016.
- NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS FOUND AS OF THE DATE OF SURVEY.
- NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS FOUND AS OF THE DATE OF SURVEY.
- NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AS IS AVAILABLE FROM THE CONTROLLING JURISDICTION, WERE FOUND AS OF THE DATE OF SURVEY.
- NO OBSERVABLE EVIDENCE OF THE LOCUS PROPERTY AS TO ITS USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL WAS FOUND AS OF THE DATE OF SURVEY.
- THE LOCUS PROPERTY HAS ACCESS TO A DEDICATED PUBLIC WAY (ALDEN ROAD EXTENSION) AS SHOWN HEREON.

Items listed in Dave's Title Examining Company Exam #105588

- Subject to an easement contained in the Grant of Easement from East Bay Development Corp. to H. Halsey Davis, Stanton W. Davis and Robert L. Eklund, Trustees of East Shopping Center Realty Trust (the "Trustees") dated May 10, 1978 and recorded in Book 1762, Page 99. **Locus property has the benefit of this easement over land of others. See plan.**
- Together with the rights, benefits and easements in favor of the Trustees contained in the Operating Agreement by and between the Trustees and East Bay Development Corp. dated April 21, 1977 and recorded in Book 1738, Page 722, as affected by a Notice of Term of Operating Agreement and Clarification Thereof dated May 23, 1978 and recorded in Book 1762, Page 109. **Not a survey related matter.**
- Together with the rights, benefits and easements in favor of the Trustees contained in the Right of Way and Easement Agreement between the Trustees and East Bay Development Corp. dated April 21, 1977 and recorded in Book 1738, Page 746. **See plan.**
- Special permit granted by the Town of Fairhaven Board of Appeals recorded in Book 2436, Page 174. **Not a survey related matter.**
- Planning Board Decision recorded in Book 3915, Page 49. **Not a survey related matter.**
- Order of Taking by New Bedford Gas and Edison Light Company dated May 3, 1956 and recorded in Book 1180, Page 465. **See plan.**
- Grant of easement by Brockton Public Markets, Inc. and Westfair Realty Inc. to New Bedford Gas and Edison Light Company dated June 5, 1972 and recorded in Book 1644, Page 318. **See plan.**
- Grant of Easement by Maynard A. Davis Real Estate Corporation to the Town of Fairhaven dated 5/17/1961 and recorded in Book 1342, Page 21. **See plan.**
- Grant of Easement by Brockton Public Markets, Inc. to New England Telephone and Telegraph dated 3/9/1972 and recorded in Book 1638, Page 409. **See plan.**
- Rights and easements granted by Brockton Public Markets, Inc. and Westfair Realty Inc. to Fairhaven Institution for Savings dated 3/9/1972 and recorded in Book 1636, Page 1006. **Not a survey related matter.**
- Grant of rights and easement by Trustees of East Shopping Center Realty Trust to New Bedford Gas and Edison Light Company dated 10/7/1976 and recorded in Book 1727, Page 20. **See plan.**
- Grant of rights and easement by Trustees of East Shopping Center Realty Trust to Commonwealth Electric Company dated 9/28/1984 and recorded in Book 1905, Page 718. **See plan.**
- Order of Conditions by the Town of Fairhaven Conservation Commission DEQE File No. 23-97 recorded in Book 1890, Page 721. **Not a survey related matter.**
- Subject to Lease to McDonald's recorded in Book 1721, Page 465, as amended in Book 6780, Page 320. **See plan.**
- Subject to Lease to Staples, Inc. recorded in Book 3948, Page 152. **Not a survey related matter.**

BEARING SYSTEM BASED UPON

MASS. HIGHWAY LAYOUT NO. 5941

PLAN REFERENCES

PLAN BOOK 39 PAGE 23
PLAN BOOK 52 PAGE 45
PLAN BOOK 60 PAGE 56
PLAN BOOK 82 PAGE 4
PLAN BOOK 87 PAGE 9
PLAN BOOK 87 PAGE 70
PLAN BOOK 88 PAGE 26
PLAN BOOK 90 PAGE 108
PLAN BOOK 97 PAGE 112
PLAN BOOK 98 PAGE 32
PLAN BOOK 98 PAGE 33
PLAN BOOK 99 PAGE 103
PLAN BOOK 100 PAGE 26

Rev.	Date	Description	By

Project Location
**Plaza Way
Huttleston Avenue
Fairhaven
Bristol County
Massachusetts**

Prepared For
MCZ Realty, LLC

Drawing Title
**ALTA/ACSM
Land Title Survey**

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Design by: N/A
Reviewed by: SFA
Approved by: RAM
Project No: 10576.080
Date: 01-30-2017

Drawing Number
1 of 1