

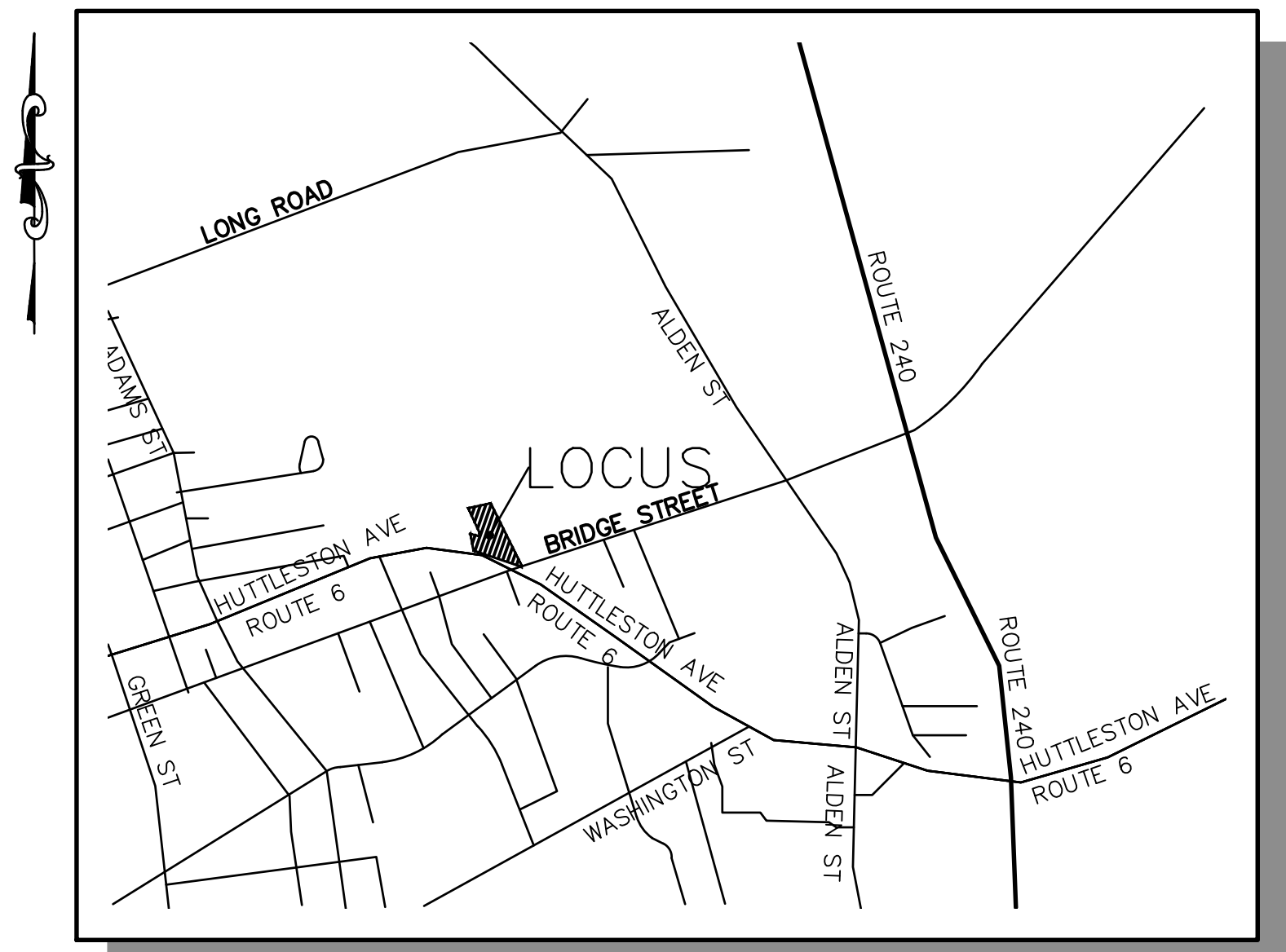
SITE PLANS FOR WASH ASHORE CAR WASH

LOCATED AT
128 HUTTLESTON AVENUE
FAIRHAVEN, MASSACHUSETTS 02719
DATE: JANUARY 21, 2022
REVISED: MARCH 30, 2022 PER TOWN COMMENTS

INDEX OF PLANS		
SHEET NO.	TITLE	SCALE
1	COVER SHEET	1" = 50'
2	EXISTING CONDITIONS PLAN	1" = 20'
3	SITE LAYOUT PLAN	1" = 20'
4	GRADING AND DRAINAGE PLAN	1" = 20'
5	UTILITY PLAN	1" = 20'
6	DEMOLITION PLAN	1" = 20'
7	LANDSCAPE PLAN	1" = 20'
8	DETAIL PLAN	N.T.S.
9	DETAIL PLAN	N.T.S.



OVERALL LOCUS PLAN
SCALE: 1" = 50'



LOCUS MAP
SCALE: 1" = 1,000'

SEE SHEET 2 FOR GENERAL NOTES
SEE SHEET 4 FOR CONSTRUCTION
NOTES AND LEGEND



OWNER(S):

TEAM VENTURES TWO, LLC
PO BOX 1805
SAGAMORE BEACH, MA 02562

APPLICANT:

TEAM VENTURES LLC,
DBA WASH ASHORE CAR WASH
PO BOX 1805
SAGAMORE BEACH, MASSACHUSETTS 02719

SITE PLAN APPROVED _____

DATE _____

ENGINEER:

Atlantic DESIGN ENGINEERS, INC.
P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

FILE: 3269.00-SITE	
Sheet	of
1	9
JOB NUMBER	
3269.00	



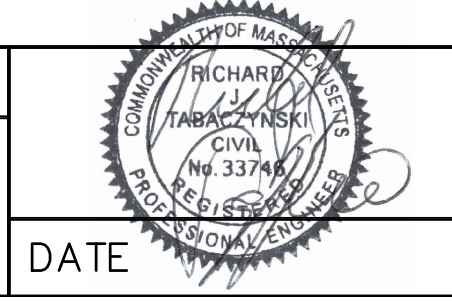
LEGEND	
	25 NO TOUCH SETBACK
	50 WETLAND SETBACK
	100' WETLAND BUFFER
	EXISTING EDGE OF PAVEMENT W/ VERTICAL GRANITE CURBING
	EXISTING EDGE OF PAVEMENT
	EXISTING 1 FOOT CONTOUR LINE
	EXISTING 5 FOOT CONTOUR LINE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING UNDERGROUND UTILITY
	EXISTING TREE LINE/BRUSH LINE
	EXISTING DRAINAGE CATCH BASIN
	EXISTING DRAINAGE MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING UTILITY POLE
	EXISTING HYDRANT
	EXISTING WATER VALVE
	CONCRETE BOUND W/DRILL HOLE
	BORING SAMPLE
	EXISTING CONCRETE
	EXISTING BRICK PAVERS
	EXISTING STONE DRIVEWAY
	EXISTING RIP-RAP

GENERAL NOTES:

- OWNER OF RECORD:
GINGERA LLC
331 UNION STREET
NEW BEDFORD, MA 02740
BOOK 10587 PAGE 116
- THE SUBJECT PROPERTY IS SHOWN AS LOT 243 AND 240C HUTTLESTON AVE. ON ASSESSORS MAP 25, LAND AREA IS APPROXIMATELY 1.54± ACRES.
- THE PROPERTY LIES WITHIN THE BUSINESS (B) ZONING DISTRICT BASED UPON A REVIEW OF THE TOWN OF FAIRHAVEN ZONING MAP.
- THE PROPERTY LINES SHOWN HEREON, ARE COMPILED FROM PLANS AND DEEDS OF RECORD AND FIXED TO RECORD MONUMENTS LOCATED AS PART OF A FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS, INC. AND HAVE BEEN ROTATED ONTO THE HORIZONTAL NORTH AMERICAN DATUM OF 1983 (NAD83), MASSACHUSETTS STATE PLANE, MAINLAND ZONE, BASED UPON A GPS SURVEY BY ATLANTIC DESIGN ENGINEERS, INC. IN OCTOBER AND NOVEMBER OF 2021.
- EXISTING CONDITIONS SHOWN HEREON IS BASED UPON A FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS, INC. IN OCTOBER OF 2021.
- THE PROPERTY LIES WITHIN FLOOD ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 25005C0394H, EFFECTIVE DATE JULY 6, 2021.
- THE PROPERTY IS NOT LOCATED WITHIN A ZONE II OR INTERIM WELHEAD PROTECTION AREA BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM AND IS NOT LOCATED WITHIN THE GROUNDWATER PROTECTION OVERLAY DISTRICT PER THE TOWN OF FAIRHAVEN ZONING MAP.
- THE SITE IS NOT LOCATED WITHIN AN ESTIMATED HABITAT OF RARE WILDLIFE OR A PRIORITY HABITAT OF RARE SPECIES BASED UPON A REVIEW OF THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM MAPS OBSERVED ON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
- THE PROPERTY DOES NOT LIE WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC) BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.

Atlantic DESIGN ENGINEERS, INC.
P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

Designed by :	SCALE
Drawn by :	SCALE 1" = 20'
Checked by :	0 5 10 20 40
Survey chk. by :	
Approved by :	

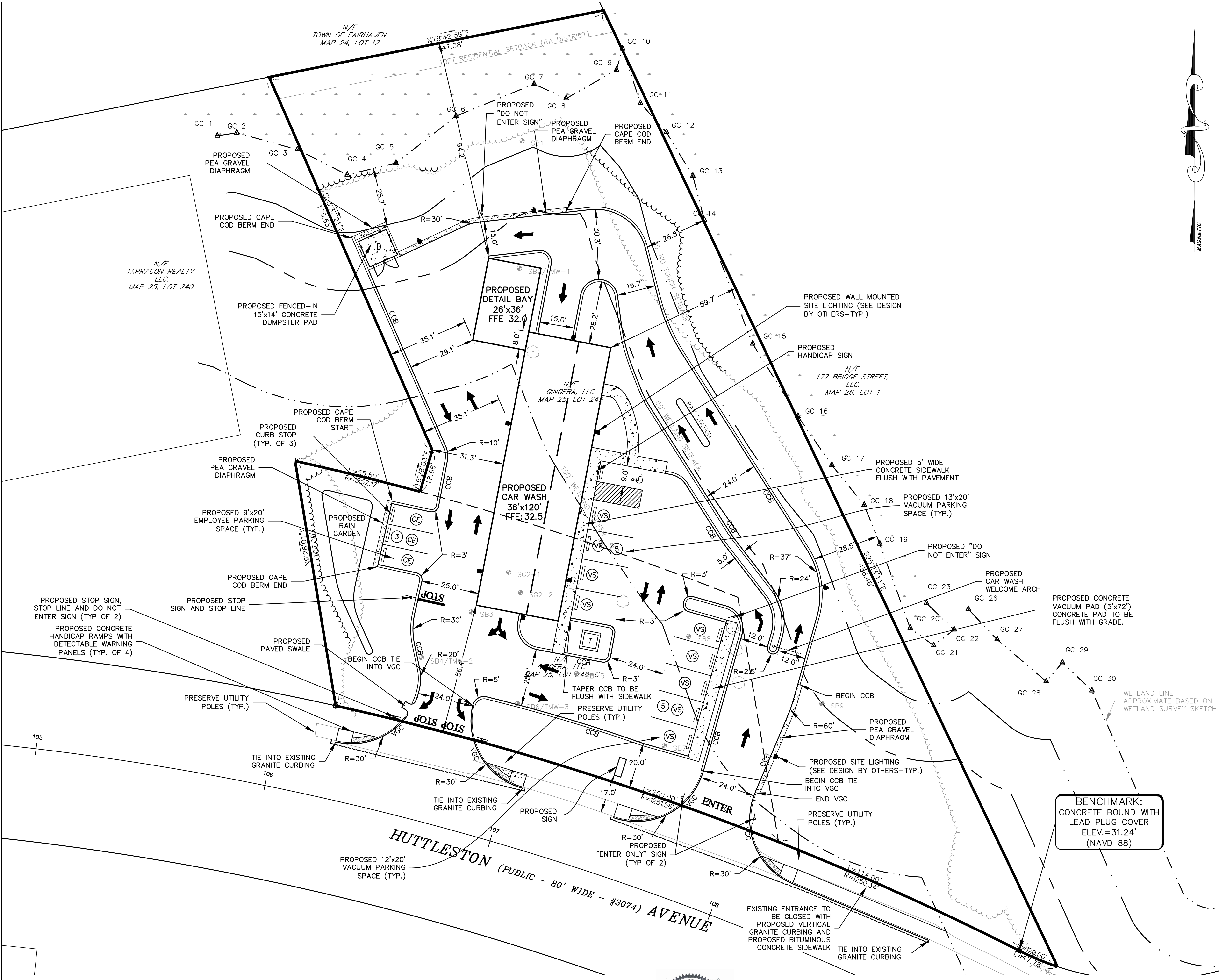


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PREPARED FOR:
TEAM VENTURES TWO, LLC
DBA WASH ASHORE CAR WASH
PO BOX 1805
SAGAMORE BEACH, MA 02562

EXISTING CONDITIONS PLAN
FOR
WASH ASHORE CAR WASH
FAIRHAVEN, MASSACHUSETTS 02719
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FILE: 3269.00-SITE	Sheet	of
	2	9
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ZONING DISTRICT: B (BUSINESS DISTRICT)
(PER TOWN OF FAIRHAVEN-CODE - CHAPTER 240 ZONING)

	REQUIRED	PROVIDED
MINIMUM LOT SIZE:	15,000 SQFT	67,400 SQFT
MINIMUM FRONTAGE:	100'	332.0'±
MINIMUM YARDS:		
FRONT ¹	-	56.4'
REAR ²	-	93.9'
SIDE ²	-	31.3'
MAXIMUM LOT COVERAGE:	70%	±45.0%
CONTIGUOUS UPLAND:	14,250 SQFT	61,040 SQFT
% OF MINIMUM LOT AREA:	95%	90.6%
MAXIMUM BUILDING HEIGHT:	40'	<40'
MAXIMUM BUILDING COVERAGE:	25%	7.8%

- 1) MINIMUM OF 20FT REQUIRED WHEN NONE SPECIFIED
- 2) 10FT WHEN ABUTTING A RESIDENCE DISTRICT ONLY

LEGEND

---	25 NO TOUCH SETBACK
---	50 WETLAND SETBACK
---	100' WETLAND BUFFER
---	EXISTING EDGE OF PAVEMENT W/ VERTICAL GRANITE CURBING
---	EXISTING EDGE OF PAVEMENT
---	EXISTING 1 FOOT CONTOUR LINE
---	EXISTING 5 FOOT CONTOUR LINE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING OVERHEAD WIRES
---	EXISTING UNDERGROUND UTILITY
---	EXISTING TREE LINE/BRUSH LINE
---	EXISTING DRAINAGE CATCH BASIN
---	EXISTING DRAINAGE MANHOLE
---	EXISTING SEWER MANHOLE
---	EXISTING UTILITY POLE
---	EXISTING HYDRANT
---	EXISTING WATER VALVE
---	CONCRETE BOUND W/DRILL HOLE BORING SAMPLE
---	EXISTING CONCRETE
---	EXISTING BRICK PAVERS
---	EXISTING STONE DRIVEWAY
---	EXISTING RIP-RAP
(VS)	PROPOSED VACUUM PARKING SPACE
(CE)	PROPOSED CUSTOMER/EMPLOYEE PARKING SPACE
(1)	PROPOSED TOTAL OF PARKING SPACES
---	PROPOSED EDGE OF PAVEMENT W/CAPE COD BERM
---	PROPOSED EDGE OF PAVEMENT W/VERTICAL GRANITE CURB
---	PROPOSED EDGE OF PAVEMENT W/ MONOLITHIC (CAST-IN-PLACE) CURB

PARKING REQUIREMENTS

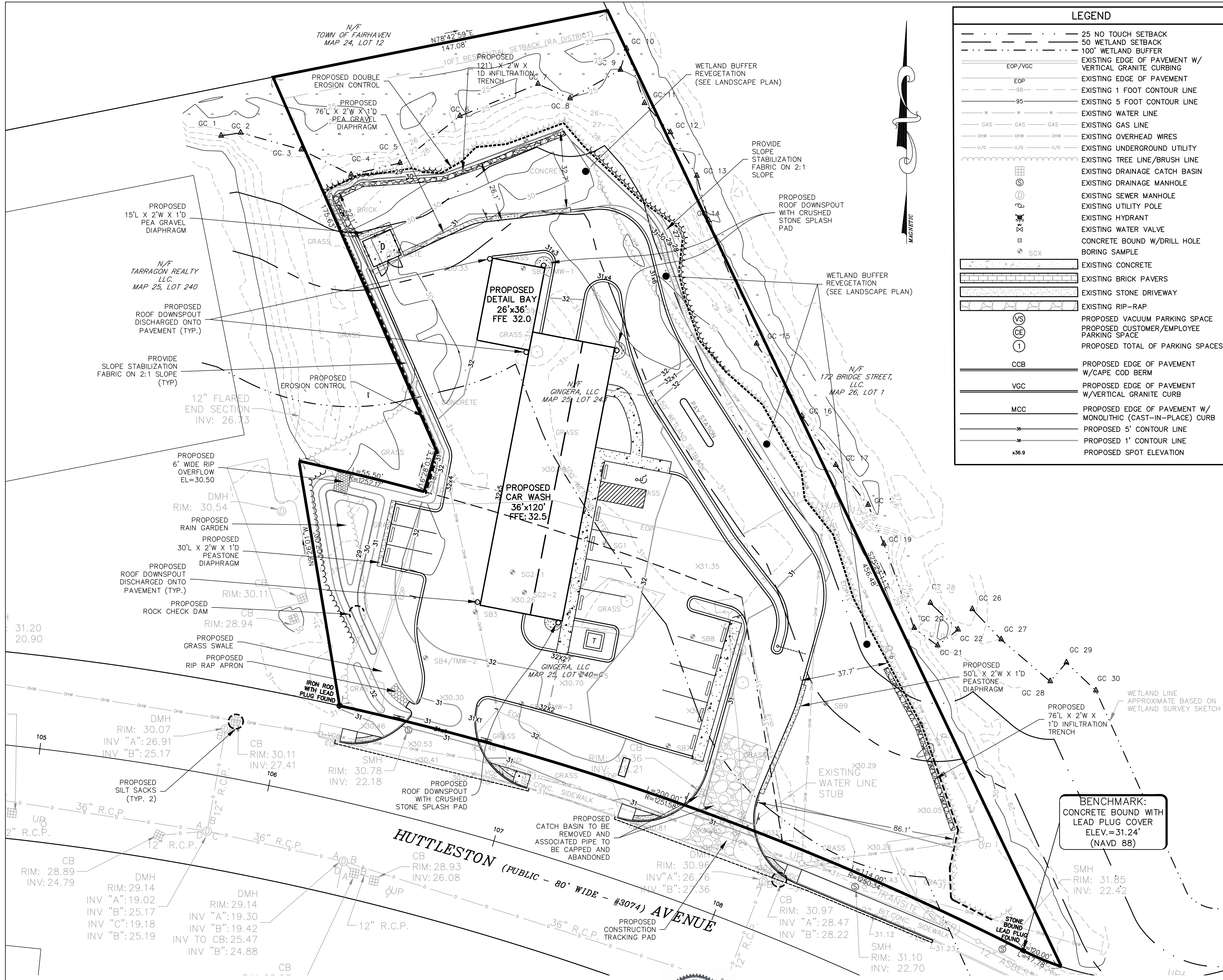
	AREA	REQUIRED	PROVIDED
OTHER USE: (CAR WASH)	-	AS DETERMINED BY PLANNING BOARD	13 SPACES
TOTAL:		AS DETERMINED BY PLANNING BOARD	13 SPACES*

* INCLUDES (1) HANDICAP PARKING SPACE.

IMPERVIOUS COVERAGE SUMMARY

	EXISTING	PROPOSED
	36,800 S.F.	30,470 S.F.

SEE SHEET 2 FOR GENERAL NOTES
SEE SHEET 4 FOR CONSTRUCTION NOTES AND LEGEND



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	PROPOSED TOTAL OF PARKING SPACES
	PROPOSED EDGE OF PAVEMENT W/CAPE COD BERM
	PROPOSED EDGE OF PAVEMENT W/VERTICAL GRANITE CURB
	PROPOSED EDGE OF PAVEMENT W/MONOLITHIC (CAST-IN-PLACE) CURB
	PROPOSED 5' CONTOUR LINE
	PROPOSED 1' CONTOUR LINE
	PROPOSED SPOT ELEVATION

- ### EROSION CONTROL NOTES
- PRIOR TO COMMENCING SITE WORK OR EARTHWORK OPERATIONS, INSTALL EROSION CONTROL BARRIERS AND MAINTAIN THROUGHOUT ALL CONSTRUCTION ACTIVITIES.
 - ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
 - ALL MATERIALS AND STOCKPILES SHALL BE STORED ON THE AREA. ALL STOCKPILES SHALL BE SURROUNDED BY HAYBALES, SHALL HAVE SLOPES NO GREATER THAN 3:1 AND SHALL BE SEEDED OR STABILIZED IF LEFT UNDISTURBED FOR TWO WEEKS OR MORE.
 - SEMI-ANNUAL INSPECTIONS OF EROSION CONTROL BARRIERS SHALL BE CONDUCTED WEEKLY AND MAINTAINED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION AND PROMPTLY AFTER EACH RAINFALL.
 - ANY SLOPE STEEPER THAN 3:1 SHALL BE EQUIPPED WITH SLOPE STABILIZATION FABRIC OR EROSION CONTROL MATS.
 - ALL CATCH BASINS SHALL BE PROVIDED WITH HAYBALE BINS OR PRE-MANUFACTURED "SLT-BAG" CATCH BASIN INLET SEDIMENT COLLECTION SYSTEMS UNTIL BASE COURSE IS IN PLACE. INSPECT WEEKLY AND AFTER MAJOR STORM EVENTS (1" OR GREATER) THROUGHOUT CONSTRUCTION.
 - CONTRACTOR SHALL INSTALL 4" CRUSHED STONE TRACKING PAD AT ENTRANCE PRIOR TO CONSTRUCTION.
 - ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTITUTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER AND/OR THE PLANNING BOARD.
 - THE CONTRACTOR MUST REPAIR OR RE-SEE ANY AREAS THAT DO NOT DEVELOP WITHIN A PERIOD OF ONE YEAR AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - MATERIAL STOCKPILES SHALL NOT BE LOCATED WITHIN THE PATH OF EXISTING OR PROPOSED WATERCOURSES (BOTH TEMPORARY OR PERMANENT) OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
 - SEDIMENT CONTROL DEVICES AND EROSION CONTROL BARRIERS MAY BE REMOVED ONLY AFTER THE SITE HAS BEEN STABILIZED.
 - ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION WHICH REMAIN UNDISTURBED BUT INACTIVE FOR AT LEAST THIRTY DAYS, SHALL RECEIVE TEMPORARY SEEDING IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES. IN ALL CASES, STABILIZATION MEASURES SHALL BE IMPLEMENTED AS SOON AS POSSIBLE IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.
 - EARTHWORK ACTIVITY ON THE SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO TEMPORARY DRAINAGE SWALES, STILLING BASINS, SEDIMENT TRAPS AND/OR SEDIMENTATION BASINS TO SETTLE OUT SUSPENDED MATERIAL PRIOR TO DISCHARGE THROUGH PERMITTED EROSION CONTROL BARRIERS. THE INFILTRATION FIELDS AND CATCH BASINS SHALL NOT AT ANY POINT DURING CONSTRUCTION BE UTILIZED AS TEMPORARY SEDIMENT BASINS.
 - THE LOCATION OF TEMPORARY DRAINAGE SWALES, SEDIMENTATION TRAPS AND SEDIMENT BASINS SHALL BE DETERMINED IN THE FIELD AND RELOCATED AS REQUIRED AS CONSTRUCTION PROGRESSES.
 - THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL EROSION CONTROL FOR INSTALLATION AT THE DISCRETION OF THE ENGINEER OR THE PLANNING BOARD TO MITIGATE ANY EMERGENCY CONDITION.
 - REFER TO THE CONSTRUCTION DETAILS FOR ADDITIONAL EROSION CONTROL MEASURES.
 - THE ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITING, RELOCATION AND AUGMENTATION OF EROSION CONTROL DEVICES AS THE PROJECT PROGRESSES AND THE SITE DRAINAGE CONDITIONS CHANGE.
 - THE CONTRACTOR SHALL MOOPLY EROSION CONTROL MEASURES BASED ON CHANGING SITE DRAINAGE CONDITIONS AND EXPECTED FUTURE CONSTRUCTION.
 - THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED SOIL. EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED AREAS.
 - NO MORE THAN 80 FEET IN WIDTH AND 100 FEET IN LENGTH OF A SINGLE LOT, OR FIVE ACRES OF THE OVERALL TRACT AT ONE TIME MAY BE DISTURBED.
 - EXPOSED AREAS AND STOCKPILES SHALL BE VEGETATED WITHIN 40 DAYS OF BEING EXPOSED. THE BOARD OF PUBLIC WORKS, DEPENDING ON WEATHER CONDITIONS, MAY REQUIRE SLOPE AND STOCKPILE STABILIZATION SOONER METHODS FOR STABILIZING DISTURBED AREAS INCLUDE MECHANICAL, STRUCTURAL AND VEGETATIVE. IN SOME CASES, SOME OR ALL OF THESE METHODS SHOULD BE COMBINED IN ORDER TO RETARD EROSION.
 - THE CONTRACTOR SHALL MAINTAIN AND KEEP ALL SAFETY MEASURES NECESSARY TO PROTECT THE PUBLIC DURING CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, BARRICADES, SIGNS, FENCES, FLAGGERS, LIGHTING, POLICE, TOWERS, AND OTHER MEANS AS DIRECTED BY THE TOWN. NO TRENCHES ARE TO REMAIN OPEN OVERNIGHT.
 - THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIAL AND OTHER DEBRIS RESULTING FROM THE WORK. AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. THROUGH INSPECTION OF THE WORK, PERMITTER IS TO BE MADE, AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED FROM THE SITE.
 - THE CONTRACTOR SHALL REMOVE ALL VEGETATION, TREES, STUMPS, GRASSES, ORGANIC SOILS, DEBRIS AND DELETERIOUS MATERIALS WITHIN THE AREAS SLATED FOR CONSTRUCTION.
 - THESE PLANS SHOULD NOT BE USED FOR CONSTRUCTION UNTIL ALL REQUIRED APPROVALS HAVE BEEN RECEIVED.
 - ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPROVED PERMITS AND WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, STANDARDS, ORDINANCES, RULES AND REGULATIONS.
 - BUILDING FOOTPRINTS SHOWN HEREON WERE PROVIDED BY ARCHITECT.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, DESIGN AND DIMENSIONS OF ROOF DRAINS, SEWER, DOMESTIC WATER SERVICE, FIRE SERVICE, ELECTRIC, TELEPHONE, CABLE UTILITIES, CANOPY DRAINS, FLOOR DRAINS, ENTRANCE/EXIT, STEPS/STAIRWAYS, DOCKS, PATIOS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING DESIGN AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE PERPENDICULAR TO THE PROPERTY LINES.
 - ALL BUILDING UTILITY SERVICES SHOWN ARE APPROXIMATE. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS. SITE CONTRACTOR IS RESPONSIBLE FOR UTILITY SERVICES TO WITHIN 10' OF THE BUILDINGS.
 - ALL PROPOSED UTILITIES AND APPURTENANCES TO BE CONSTRUCTED TO WITHIN 10' OF THE SITE. THROUGH INSPECTION OF THE WORK, PERMITTER IS TO BE MADE, AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED FROM THE SITE.
 - MINIMUM SIDEWALK GRADES ARE TO BE 1/4" PER FT. SLOPED AWAY FROM THE BUILDING.
 - FINAL DESIGN AND LAYOUT OF UNDERGROUND GAS AND UTILITIES TO BE DESIGNED BY OTHERS IN CONJUNCTION WITH THE UTILITY COMPANIES. SITE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES AND ALL UTILITY INSTALLATIONS ARE TO BE IN FULL COMPLIANCE WITH ALL THE UTILITY COMPANIES' DESIGN AND SPECIFICATIONS.
 - ALL UNSUITABLE SOIL MATERIALS UNDER ALL INFILTRATION STRUCTURES SHALL BE REMOVED AND REPLACED WITH SAND PER 310 CMR 15.255.3.
 - ALL WORKING WITHIN A PUBLIC RIGHT OF WAY WILL REQUIRE A ROAD OPENING PERMIT.
 - THE CONTRACTOR MUST PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE 2017 NPDES CONSTRUCTION GENERAL PERMIT. A COPY OF THE SWPPP MUST BE ON SITE AT ALL TIME THROUGHOUT CONSTRUCTION.

GENERAL O AND M NOTES:

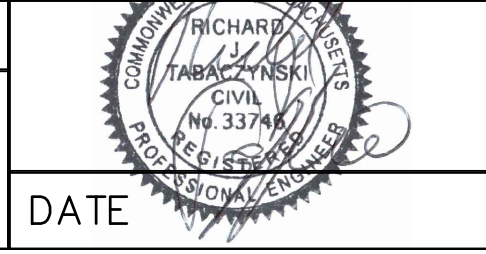
- THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES UNTIL THE PROJECT CONSTRUCTION IS COMPLETED. SUBSEQUENT TO THAT, THE FACILITY MANAGEMENT COMPANY WILL BE RESPONSIBLE.
- THE OWNER/CONTRACTOR/FACILITY MANAGER SHALL FILE AN INSPECTION REPORT TO THE ENGINEER FOLLOWING EACH SITE INSPECTION AS RECOMMENDED ABOVE. THE INSPECTION REPORT SHALL IDENTIFY THE DATE OF INSPECTION, NAME AND CONTACT NUMBER OF RESPONSIBLE PARTY, SPECIFIC STRUCTURES INSPECTED, SPECIFIC MAINTENANCE AND/OR REPAIRS REQUIRED AND GENERAL OBSERVATIONS. ANY DEFICIENCIES NOTED IN THE INSPECTION REPORT SHALL BE CORRECTED TO THE SATISFACTION OF THE PLANNING BOARD.
- DISPOSAL OF ACCUMULATED SEDIMENT AND HYDROCARBONS TO BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL COMPONENTS OF THE STORMWATER MANAGEMENT SYSTEM AND MAINTAINING ALL PAVED AREAS.

STORMWATER OPERATION AND MAINTENANCE RAIN GARDEN

- INSPECT AFTER EVERY MAJOR STORM EVENT (2" OR GREATER) DURING CONSTRUCTION AND FOR THE FIRST FEW MONTHS AFTER CONSTRUCTION TO ENSURE PROPER STABILIZATION AND FUNCTION. THEREAFTER, INSPECT AT LEAST TWICE PER YEAR DURING WET WEATHER TO ENSURE THE RAIN GARDEN IS DRAINING PROPERLY AND VEGETATION IS THRIVING. CHECK FOR EROSION, INVASIVE TREE GROWTH, CLOGGING AND TRASH AND REMOVE ORGANIC MATTER, WEEDS, TRASH AND DEBRIS AS NECESSARY. RE-SEED ERODED OR BARREN SPOTS IMMEDIATELY AFTER INSPECTION. REMOVE SEDIMENT AS NECESSARY DURING CONSTRUCTION, WHILE DRY, AND AT LEAST EVERY FIVE YEARS AFTER CONSTRUCTION.
- VEGETATED FILTER STRIP/PEA GRAVEL DIAPHRAGM**
- INSPECT SEMI-ANNUALLY DURING THE FIRST YEAR (AND ANNUALLY THEREAFTER). INSPECT THE PEA GRAVEL DIAPHRAGM FOR SEDIMENT BUILDUP. ADDITIONAL INSPECTIONS SHOULD BE SCHEDULED DURING THE FIRST FEW MONTHS TO ENSURE THAT THE VEGETATION IN THE CHANNELS IS ESTABLISHED ADEQUATELY. ACCUMULATED SEDIMENT SHALL BE REMOVED AT LEAST ONCE A YEAR OR BEFORE IT EXCEEDS 0.5" IN DEPTH, WHICHEVER OCCURS FIRST. PERIODICALLY REMOVE SEDIMENT THAT ACCUMULATES NEAR THE TOP OF THE STRIP TO MAINTAIN THE APPROPRIATE SLOPE AND PREVENT FORMATION OF A "BERM" THAT COULD IMPEDE THE DISTRIBUTION OF RUNOFF AS SHEET FLOW.
- GRASSED SWALES W/ CHECK DAMS**
- INSPECT AT A MINIMUM OF TWICE A YEAR, OR AFTER MAJOR STORM EVENTS (2" OR GREATER). REPAIR ERODED SPOTS IMMEDIATELY AFTER INSPECTION. ADDITIONAL INSPECTIONS SHOULD BE SCHEDULED DURING THE FIRST FEW MONTHS TO ENSURE THAT THE VEGETATION IN THE CHANNELS IS ESTABLISHED ADEQUATELY. ACCUMULATED SEDIMENT SHALL BE REMOVED AT LEAST ONCE A YEAR OR BEFORE IT EXCEEDS 0.5" IN DEPTH, WHICHEVER OCCURS FIRST. PERIODICALLY REMOVE SEDIMENT THAT ACCUMULATES NEAR THE TOP OF THE STRIP TO MAINTAIN THE APPROPRIATE SLOPE AND PREVENT FORMATION OF A "BERM" THAT COULD IMPEDE THE DISTRIBUTION OF RUNOFF AS SHEET FLOW.

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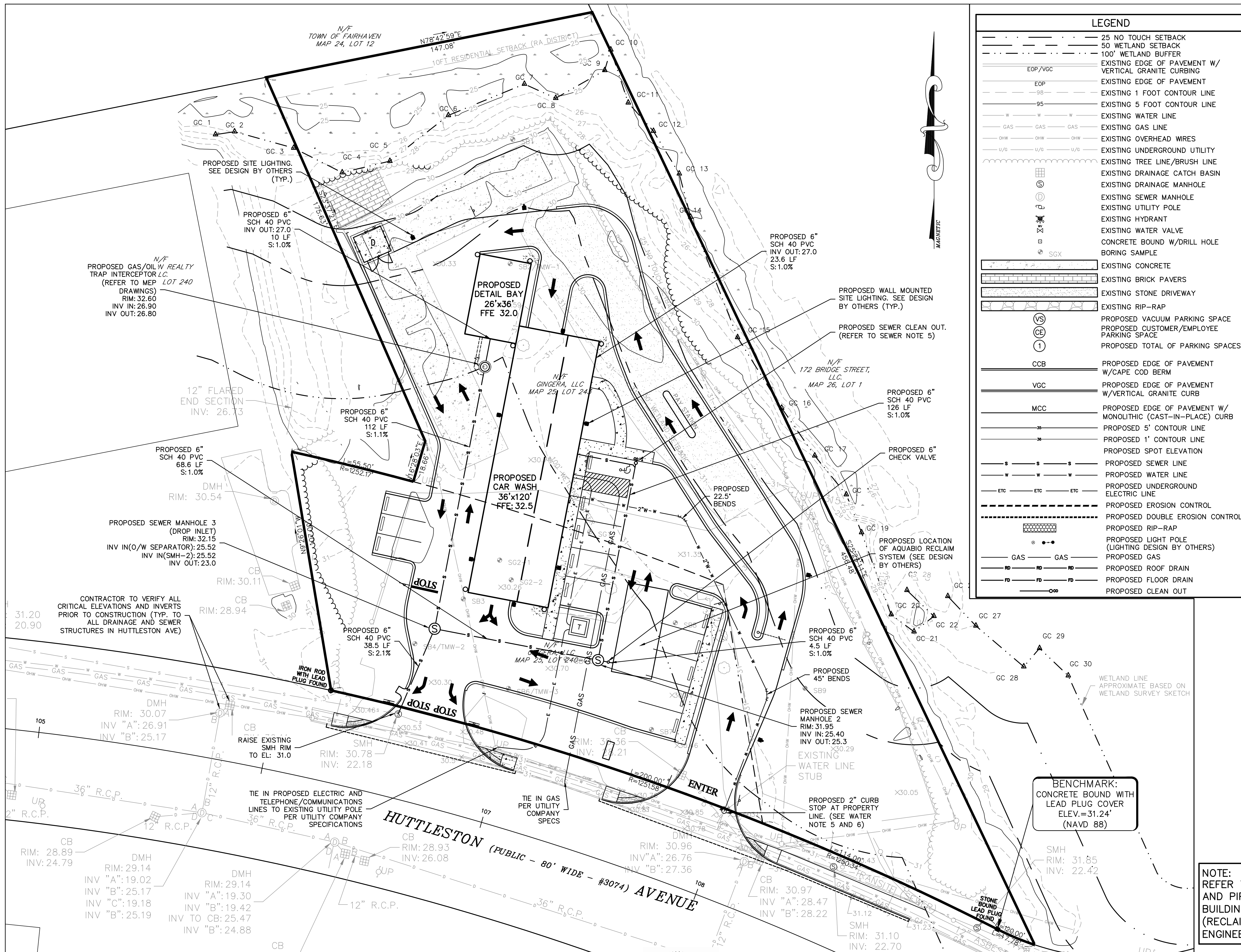


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GRADING AND DRAINAGE PLAN
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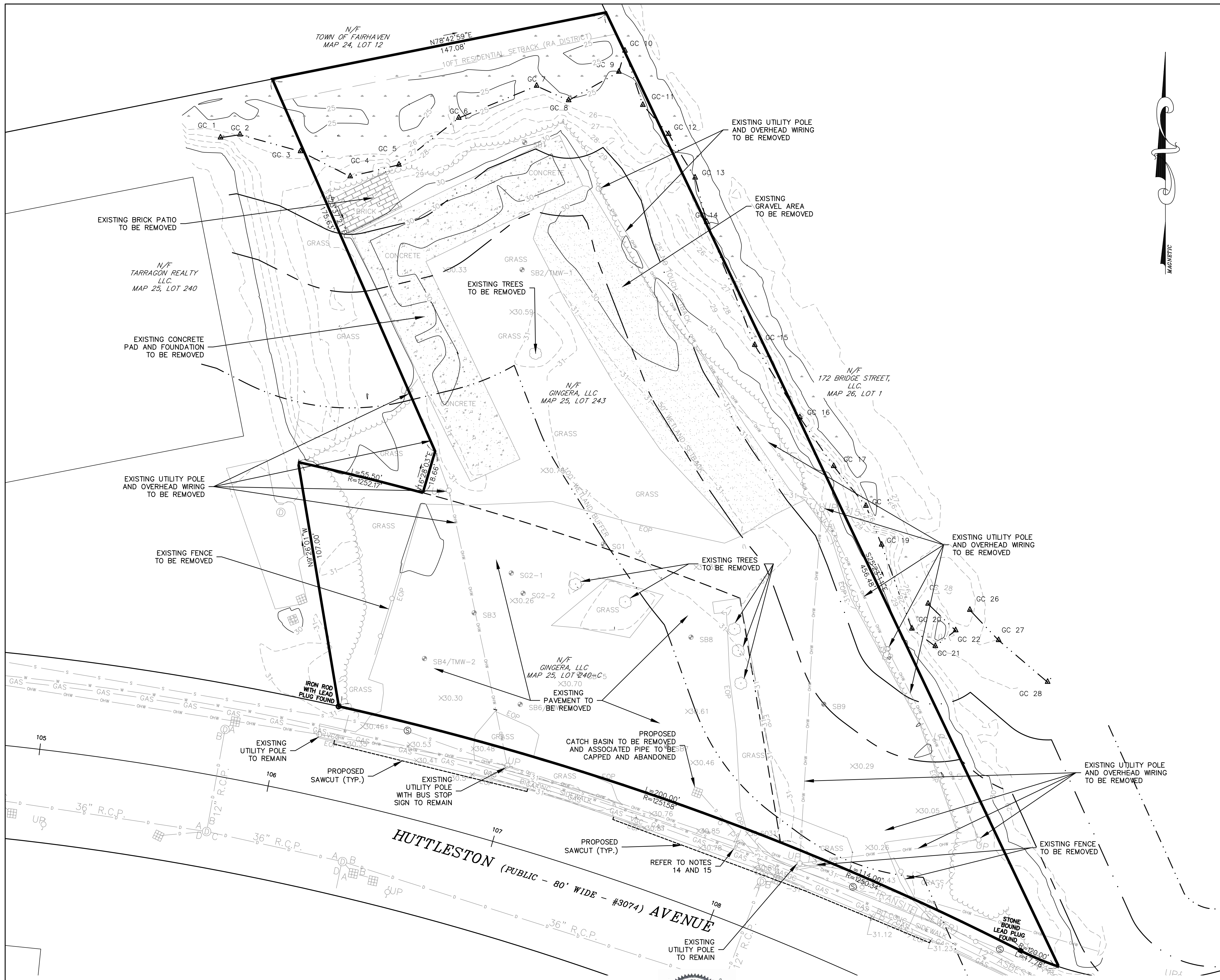
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---	PROPOSED 5' CONTOUR LINE
---	PROPOSED 1' CONTOUR LINE
---	PROPOSED SPOT ELEVATION
---	PROPOSED SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED UNDERGROUND ELECTRIC LINE
---	PROPOSED EROSION CONTROL
---	PROPOSED DOUBLE EROSION CONTROL
---	PROPOSED RIP-RAP
---	PROPOSED LIGHT POLE (LIGHTING DESIGN BY OTHERS)
---	PROPOSED GAS
---	PROPOSED ROOF DRAIN
---	PROPOSED FLOOR DRAIN
---	PROPOSED CLEAN OUT

- WATER SYSTEM NOTES:**
- ALL MATERIALS AND WORKMANSHIP TO CONFORM TO THE RULES, REGULATIONS AND SPECIFICATIONS OF THE FAIRHAVEN WATER SYSTEMS AS AMENDED TO PRESENT. WATER DISTRICT HAS AUTHORITY TO AMEND PLANS.
 - DOMESTIC SERVICES TO BE 200 PSI CTS PLASTIC LINE TO WATER DISTRICT SPECIFICATIONS SLEEVED WHERE REQUIRED.
 - GATE VALVES SHALL BE FORD ONLY. IRON BODY, BRONZE MOUNTED, DOUBLE DISC, WITH TWO INCH OPERATING NUT WITH MECHANICAL JOINT HUBS. GATE VALVE SHALL CONFORM IN EVERY RESPECT TO ALL APPLICABLE AWWA STANDARDS. VALVE SHALL BE DESIGNED FOR 200 PSI WORKING AND 300 PSI TEST PRESSURE AND SHALL OPEN LEFT.
 - VALVES SHALL ALSO CONFORM TO THE SPECIFICATIONS OF THE AWWA AS TO SIZE STEM, PITCH OF THREAD, GASKET SEATING AREA SHALL BE FULLY MACHINED TO THE FIXED DIMENSIONS AND TOLERANCES AS PER AWWA SPECIFICATIONS. ALL VALVES SHALL BE PROVIDED WITH "O" RINGS. THE DESIGN OF THE VALVE SHALL BE SUCH THAT THE SEAL PLATE CAN BE FITTED WITH NEW "O" RINGS WHICH THE VALVE IS UNDER PRESSURE IN THE FULLY OPEN POSITION.
 - FAIRHAVEN WATER SYSTEMS APPROVED CONTRACTOR AND INSPECTOR REQUIRED. CONTRACTOR TO CONTACT WATER INSPECTOR FOR INSPECTION OF EXISTING TAPPING SLEEVE AND VALVE ONCE EXCAVATED TO DETERMINE AND APPROVE USE OF EXISTING SERVICE.
 - IF APPLICABLE, A REPRESENTATIVE OF THE TOWN OF FAIRHAVEN WATER SUPPLY DIVISION MUST WITNESS THAT EXISTING SERVICES ARE CUT AND CAPPED AT THE WATER MAIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE WATER SUPPLY DIVISION AND SCHEDULE AN INSPECTION.
 - ALL WATER LINES WITHIN 10' OF ANY UTILITY (SEWER, GAS, DRAINAGE, ETC.) TO BE ENCASED IN POLYETHYLENE WRAP/TUBE PER TOWN OF FAIRHAVEN WATER DEPARTMENT SPECIFICATIONS.

- SEWER NOTES:**
- ALL MATERIALS AND WORKMANSHIP TO CONFORM WITH THE TOWN OF FAIRHAVEN DEPARTMENT OF PUBLIC WORKS LATEST REVISION OF THE "TOWN OF FAIRHAVEN DESIGN AND INSTALLATION STANDARDS FOR BUILDING SEWER CONNECTIONS".
 - PRIOR TO COMMENCING WORK FOR THE INSTALLATION OF PROPOSED SEWER COMPONENTS, THE CONTRACTOR SHALL APPLY FOR A SEWER CONNECTION PERMIT WITH THE TOWN OF FAIRHAVEN DEPARTMENT OF PUBLIC WORKS-SEWER DIVISION.
 - ALL EXISTING SEWER LINES TO BE REMOVED SHALL BE CUT AND CAPPED AT MANHOLE. EXISTING OPENINGS TO BE ABANDONED SHALL BE BRICKED AND MORTARED ACCORDING TO THE TOWN OF FAIRHAVEN DEPARTMENT OF PUBLIC WORKS-SEWER DIVISION SPECIFICATIONS.
 - ALL EXISTING ON-SITE SEWER MANHOLES, PIPES, ETC. SHALL BE REMOVED.
 - 12" SEWER FRAME AND COVER TO BE INSTALLED OVER EVERY CLEANOUT AND NEED TO BE CEMENTED IN WITH A 6" CAP WITHOUT GASKET FOR EASY ACCESS. SCREW CAPS ARE PROHIBITED.

SEE SHEET 2 FOR GENERAL NOTES
SEE SHEET 4 FOR CONSTRUCTION NOTES

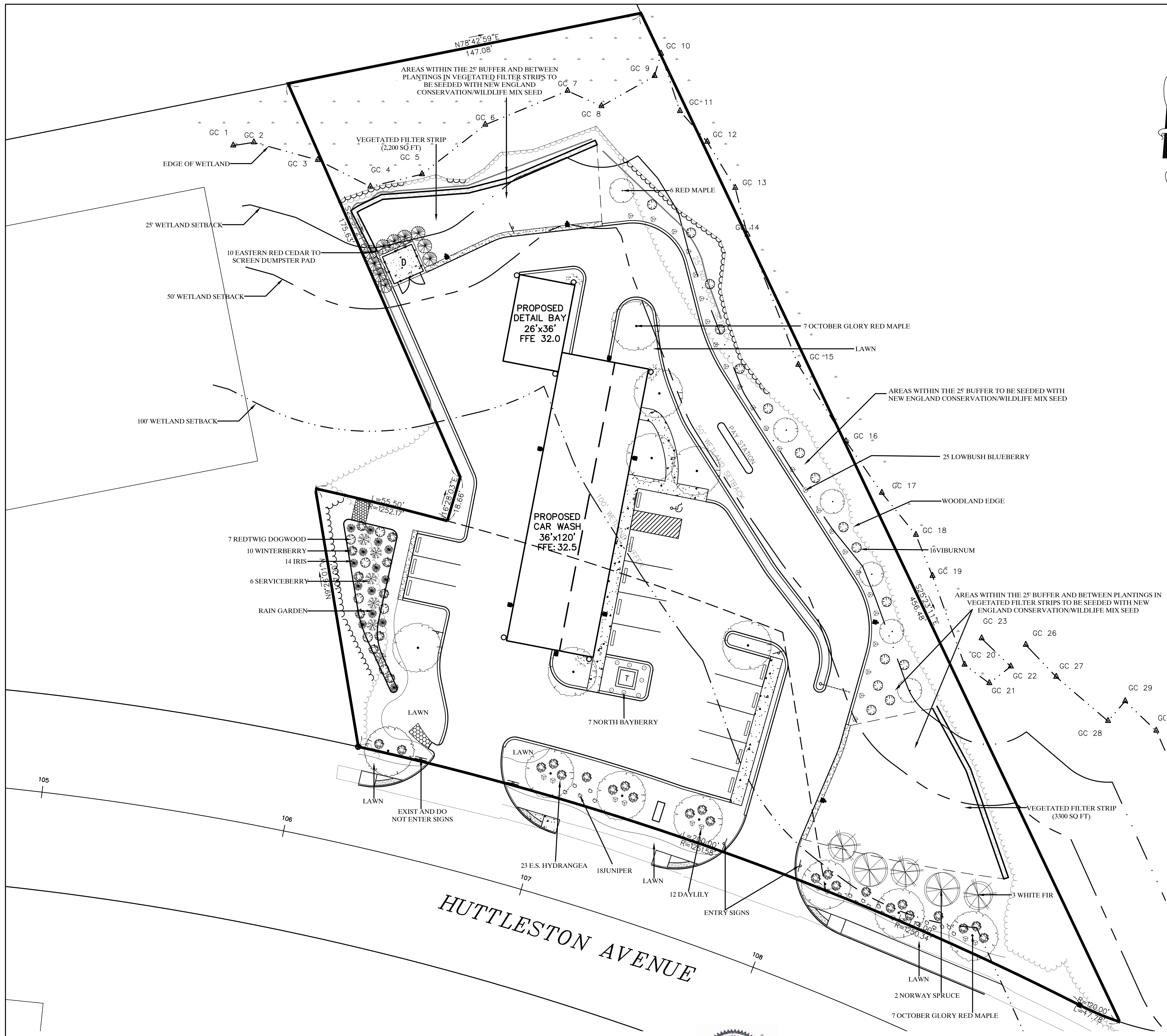
NOTE:
REFER TO MEP DRAWINGS TO CONFIRM FINAL UTILITY LOCATIONS AND PIPE ELEVATIONS AND SPECIFICATIONS WITHIN 10' OF BUILDING AND FOR THE DESIGN/DETAILS OF THE WATER RECOVERY (RECLAIM) SYSTEM. CONTRACTOR SHALL NOTIFY MEP AND CIVIL ENGINEER OF ANY DISCREPANCIES THAT ARE FOUND (TYP).



- DEMOLITION NOTES:**
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
 - LOCATION BUILDING DEMOLITION EQUIPMENT THROUGH THE STRUCTURE AND REMOVE MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
 - PROVIDE APPROPRIATE SHORING, BRACING AND SUPPORTS TO PREVENT UNCONTROLLED MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
 - DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS, SLABS, AND OTHER MATERIALS WITHIN THE AREA DESIGNATED ON THE PLANS.
 - ERECT AND MAINTAIN PROTECTED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION.
 - CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE TO STRUCTURES, ADJACENT BUILDINGS, AND PROPERTY AND IN A MANNER THAT WILL PREVENT PERSONNEL INJURY TO ALL PERSONS.
 - CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION FROM THE APPROPRIATE AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED.
 - USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF AIRBORNE DUST, DIRT, AND DEBRIS. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
 - ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
 - COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH COMPACTED GRAVEL, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
 - REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENT.
 - DISCONNECT, SHUT OFF AND SEAL PER UTILITY COMPANY SPECIFICATIONS ALL UTILITIES SERVICING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK AND PROTECT FOR POSITION ALL ACTIVE UTILITY LINES THAT ARE TO REMAIN IN SERVICE AFTER DEMOLITION PER UTILITY COMPANY SPECIFICATIONS. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIGSAFE, THE TOWN OF FAIRHAVEN DEPARTMENT OF PUBLIC WORKS, AND ALL UTILITY COMPANIES A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION ACTIVITIES FOR LOCATION OF ALL UNDERGROUND UTILITIES AND UTILITY COMPANY AND DPW APPROVALS.
 - FAIRHAVEN WATER SYSTEMS APPROVED CONTRACTOR AND INSPECTOR REQUIRED. CONTRACTOR TO CONTACT WATER INSPECTOR FOR INSPECTION OF EXISTING TAPPING SLEEVE AND VALVE ONCE EXCAVATED TO DETERMINE AND APPROVE USE OF EXISTING SERVICE.
 - IF APPLICABLE, A REPRESENTATIVE OF THE TOWN OF FAIRHAVEN WATER SUPPLY DIVISION MUST WITNESS THAT EXISTING SERVICES ARE CUT AND CAPPED AT THE WATER MAIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE WATER SUPPLY DIVISION AND SCHEDULE AN INSPECTION.
 - IF ENCOUNTERED CONTRACTOR RESPONSIBLE TO REMOVE EXISTING UNDERGROUND UTILITIES, WATER LINES, SEWER LINES, ETC. NOT SHOWN HEREON.

SEE SHEET 2 FOR GENERAL NOTES
 SEE SHEET 4 FOR CONSTRUCTION NOTES AND LEGEND
 SEE SHEET 5 FOR UTILITY NOTES

NOTE TO CONTRACTOR
 ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN HEREON.
 CONTRACTOR SHALL NOTIFY DIGSAFE PRIOR TO COMMENCING DEMOLITION ACTIVITIES



PLANT LIST				
	COMMON NAME	LATIN NAME	QNTY	SIZE
TREES	OCTOBER GLORY RED MAPLE	ACER RUBRUM 'OCTOBER GLORY'	14	4" CAL.
	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	10	6-7'
	NORWAY SPRUCE	PICEA ABIES	2	7-8'
	WHITE FIR	ABIES CONCOLOR	3	7-8'
SHRUBS	BAR HARBOR JUNIPER	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	18	3 GAL.
	ENDLESS SUMMER HYDRANGEA	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	23	7 GAL.
PERENNIALS	STELLA D ORO DAYLILY	HEMEROCALLIS 'STELLA D ORO'	12	1 GAL.
TREES	RED MAPLE	ACER RUBRUM	6	6-8"
SHRUBS	VIBURNUM	VIBURNUM DENTATUM	16	24"
	NORTHERN BAYBERRY	MYRICA PENNSYLVANICA	7	24"
	LOWBUSH BLUEBERRY	VACCINIUM ANGSTIFOLIUM	25	24"
GROUND COVER	NE CONSERVATION/WILDLIFE MIX			TBD
RAINGARDEN				
TREES	SERVICEBERRY	AMELANCHIER CANADENSIS	6	6-8"
SHRUBS	WINTERBERRY	ILEX VERTICILLATA	10	24"
	REDTWIG DOGWOOD	CORNUS SERICEA	7	24"
PERENNIALS	IRIS	IRIS VERSICOLOR	14	1 GAL.

PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- CONTRACTOR TO VERIFY ALL UTILITIES ON PROPERTY AND TO PROTECT ALL UTILITIES DURING EXCAVATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN THE PLANT LIST, THE NUMBER OF PLANTS SHOWN ON THE LIST WILL TAKE PRECEDENCE.
- ALL CONTAINER MATERIAL TO BE GROWN IN CONTAINER A MINIMUM OF SIX MONTHS.
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ACCORDING TO THE AMERICAN ASSOCIATION OF NURSERYMEN.
- CONTRACTOR SHALL REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM TIME OF PROVISIONAL ACCEPTANCE.
- ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS AND THE PLACEMENT SHALL BE APPROVED BY THE LANDSCAPE DESIGNER BEFORE THE INSTALLATION.
- ALL DISTURBED AREAS NOT TO BE PAVED OR PLANTED SHALL BE LOAMED AND SEEDED AS SHOWN. SEE SPECIFICATIONS FOR SOIL PREPARATION AND SEED MIX.
- TWO INCH (2") DEEP, FINELY SHREDDED BARK MULCH WILL BE INSTALLED AROUND ALL TREES AND SHRUBS THAT ARE ISOLATED FROM GROUND COVER AREAS AND GENERAL SHRUB MASSES.
- ALL PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE DESIGNER ON SITE PRIOR TO INSTALLATION. THE LANDSCAPE DESIGNER WILL TAG ALL TREES AT THE NURSERY AND INSPECT THEM AFTER DELIVERY TO THE SITE. SEE SPECIFICATIONS FOR TAGGING, INSPECTION, AND ACCEPTANCE OF PLANT MATERIAL.
- LANDSCAPE DESIGNER SHALL CONFIRM PLANT LIST AND APPROVE SUBSTITUTIONS OF PLANT VARIETIES PRIOR TO ORDERING OF MATERIAL.
- SOIL MIX: 1/3 PEAT MOSS, 1/3 SCREENED LOAM, 1/3 DEHYDRATED MANURE.
- THE OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT SELECTIONS WITH PLANTS OF SIMILAR CHARACTERISTICS IF THE SPECIFIED PLANTS ARE NOT AVAILABLE IN ACCEPTABLE QUANTITIES OR CONDITIONS.

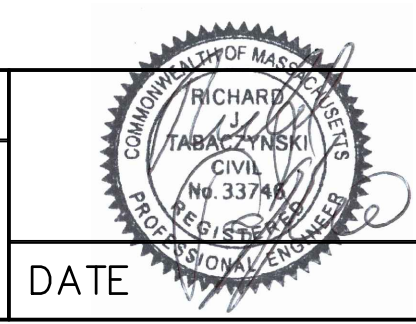
GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND UTILITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE DESIGNER.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES BY NOTIFYING DIG-SAFE AT 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL CONDUCT PRELIMINARY INVESTIGATIONS INCLUDING ALL NECESSARY EXCAVATION TO DETERMINE IF THE WORK CAN BE DONE AS SHOWN ON THE PLANS. CHANGES MAY BE MADE AS REQUIRED BY FIELD CONDITIONS AND AS DIRECTED BY THE LANDSCAPE DESIGNER.
- ALL EXISTING UTILITIES MAY NOT BE SHOWN ON THE DRAWING. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DETERMINING THE EXACT LOCATION, SIZE, AND TYPE OF ALL UNDERGROUND UTILITIES AND FOR PROTECTING ALL LINES DURING CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.

Atlantic DESIGN ENGINEERS, INC.
 P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

Designed by : _____
 Drawn by : _____
 Checked by : _____
 Survey chk. by : _____
 Approved by : _____

SCALE
 SCALE 1" = 20'
 0 5 10 20 40



NO.	BY	DATE	REVISION
1	NJC	3-30-22	PER TOWN REVIEW COMMENTS

PREPARED FOR:
TEAM VENTURES TWO, LLC
 DBA WASH ASHORE CAR WASH
 PO BOX 1805
 SAGAMORE BEACH, MA 02562

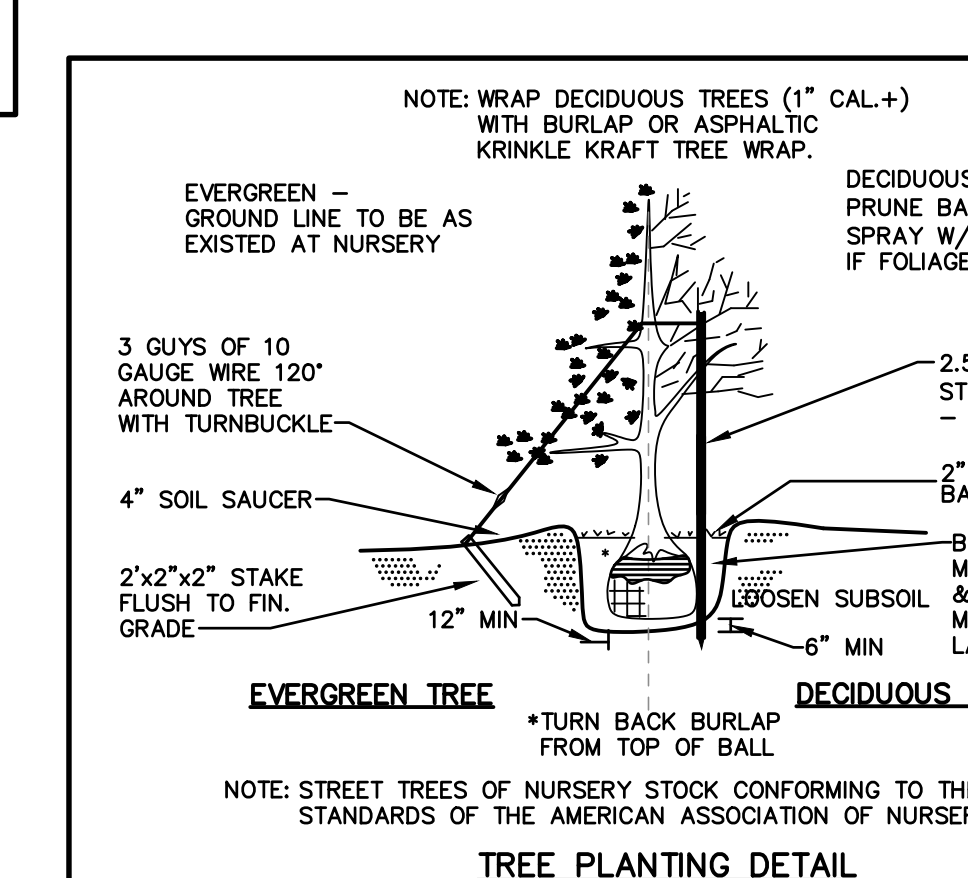
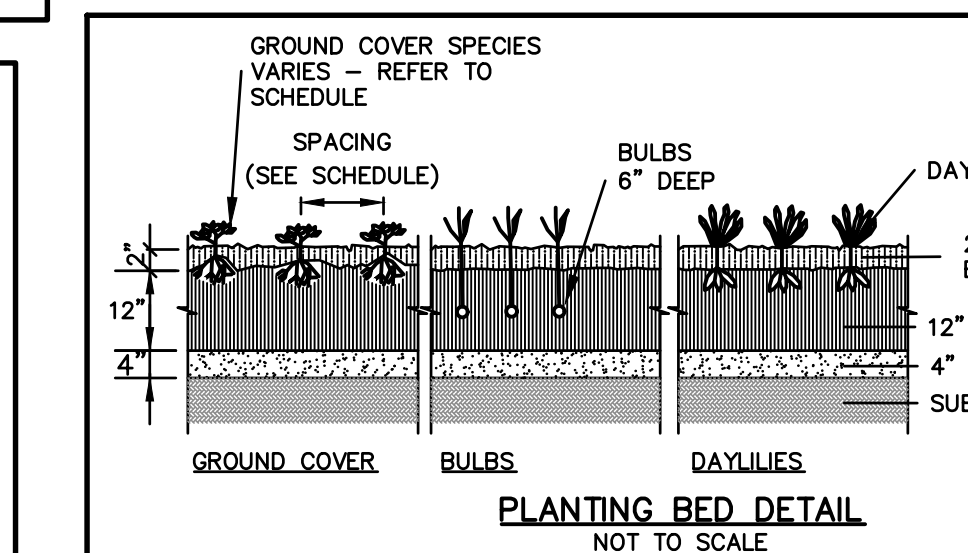
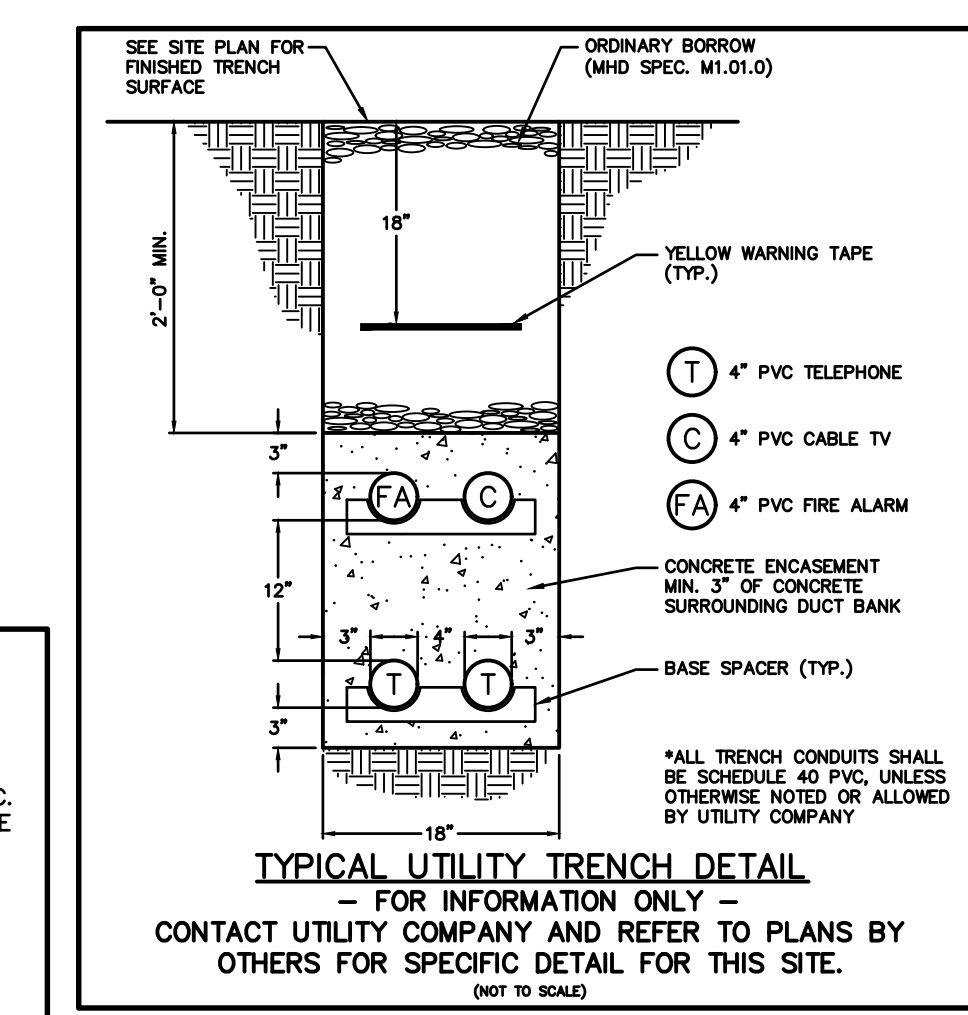
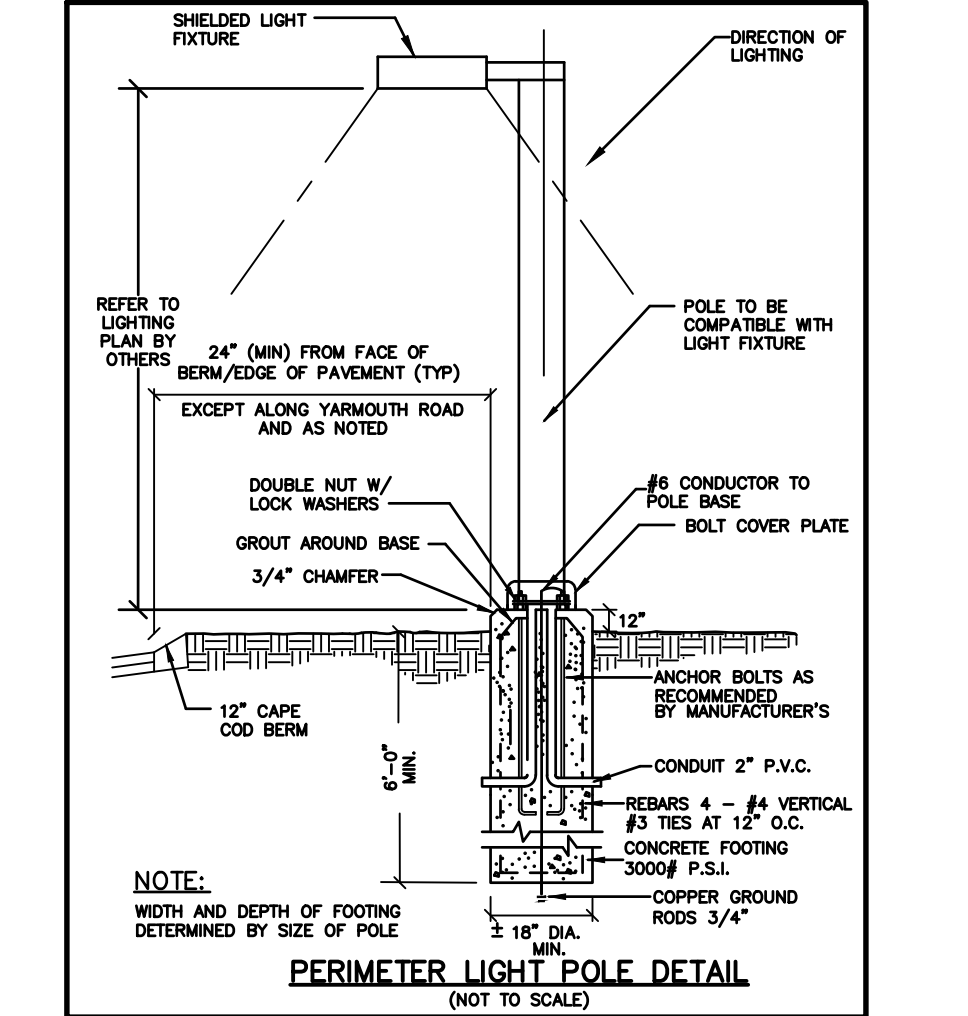
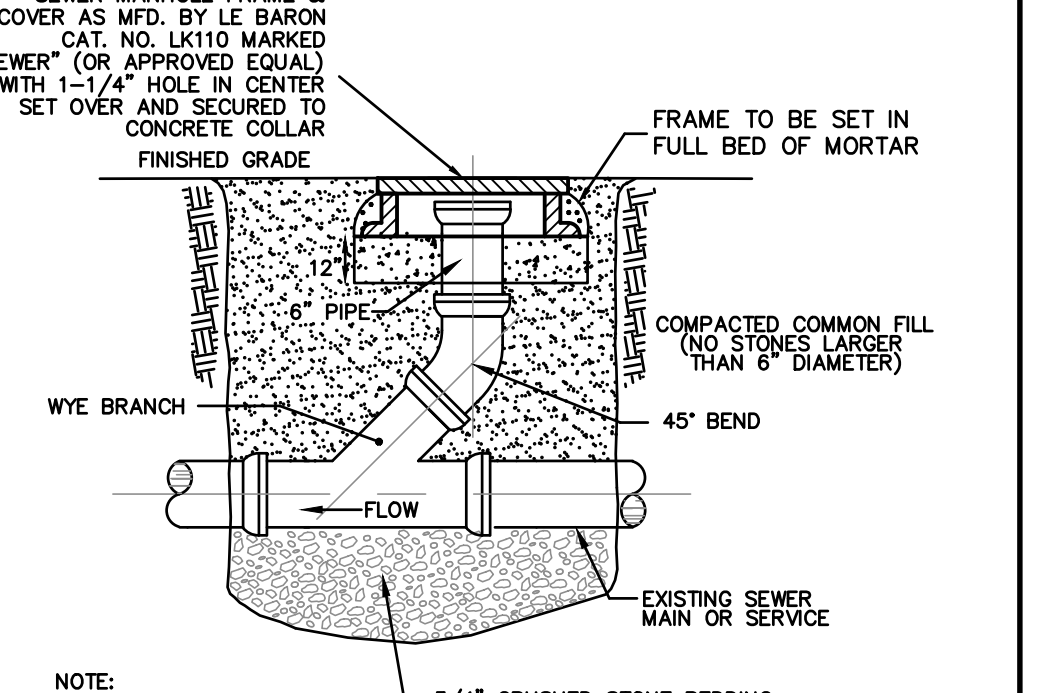
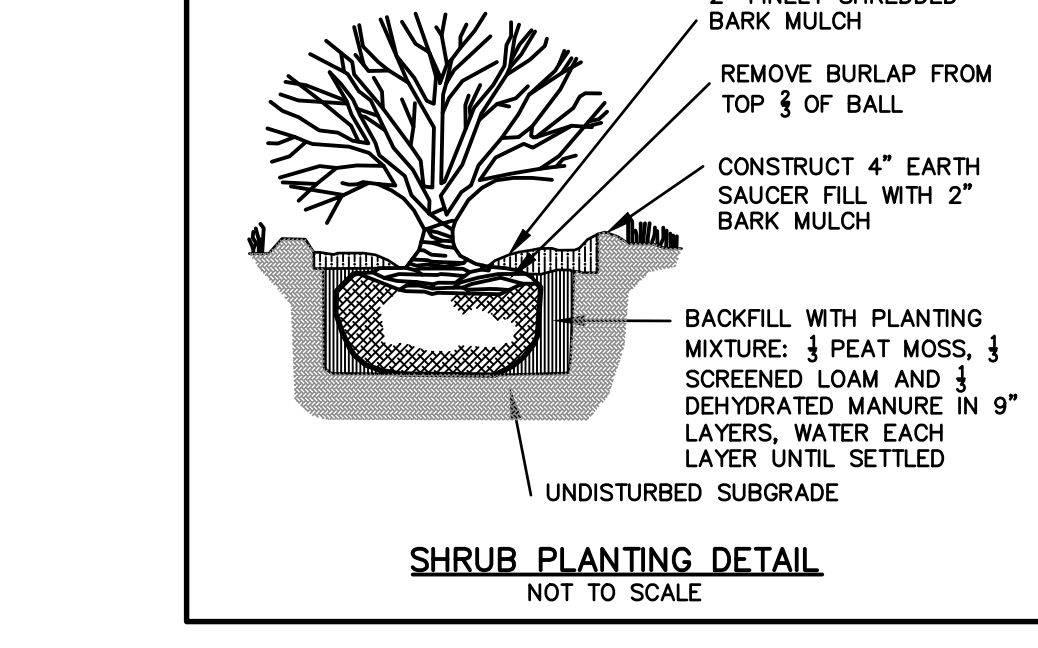
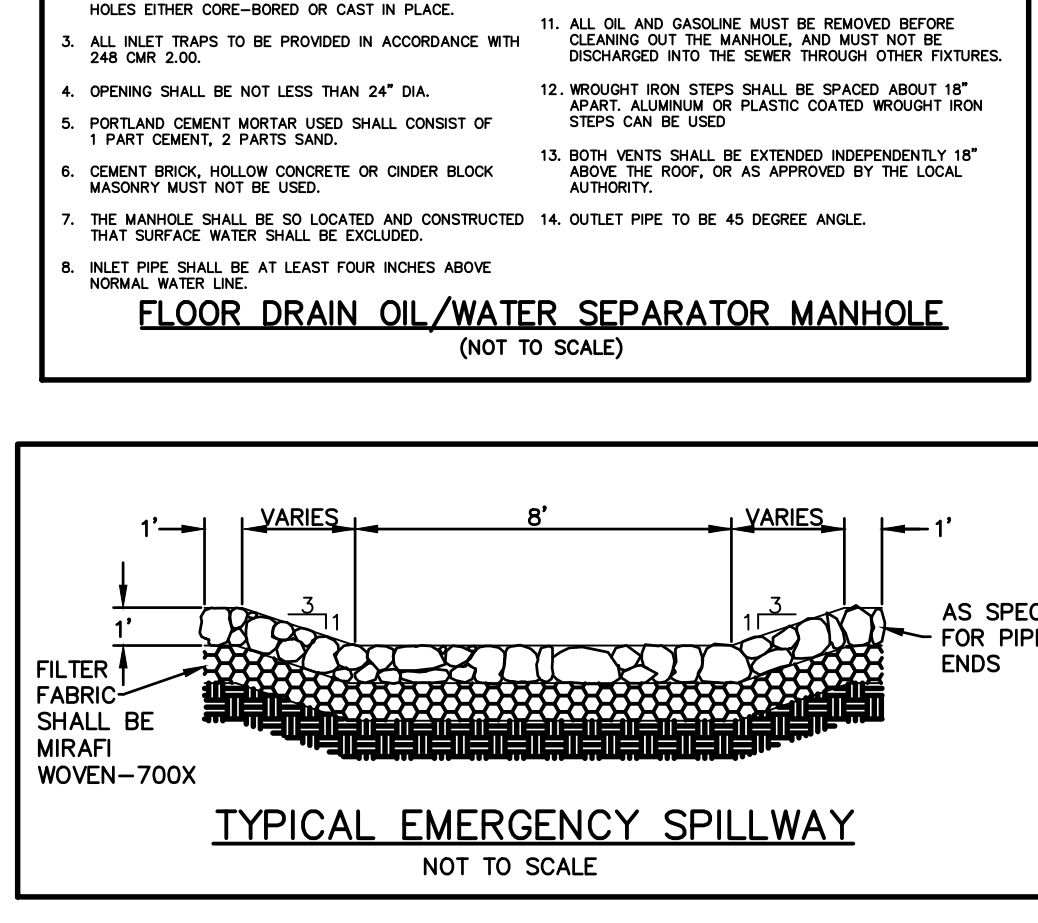
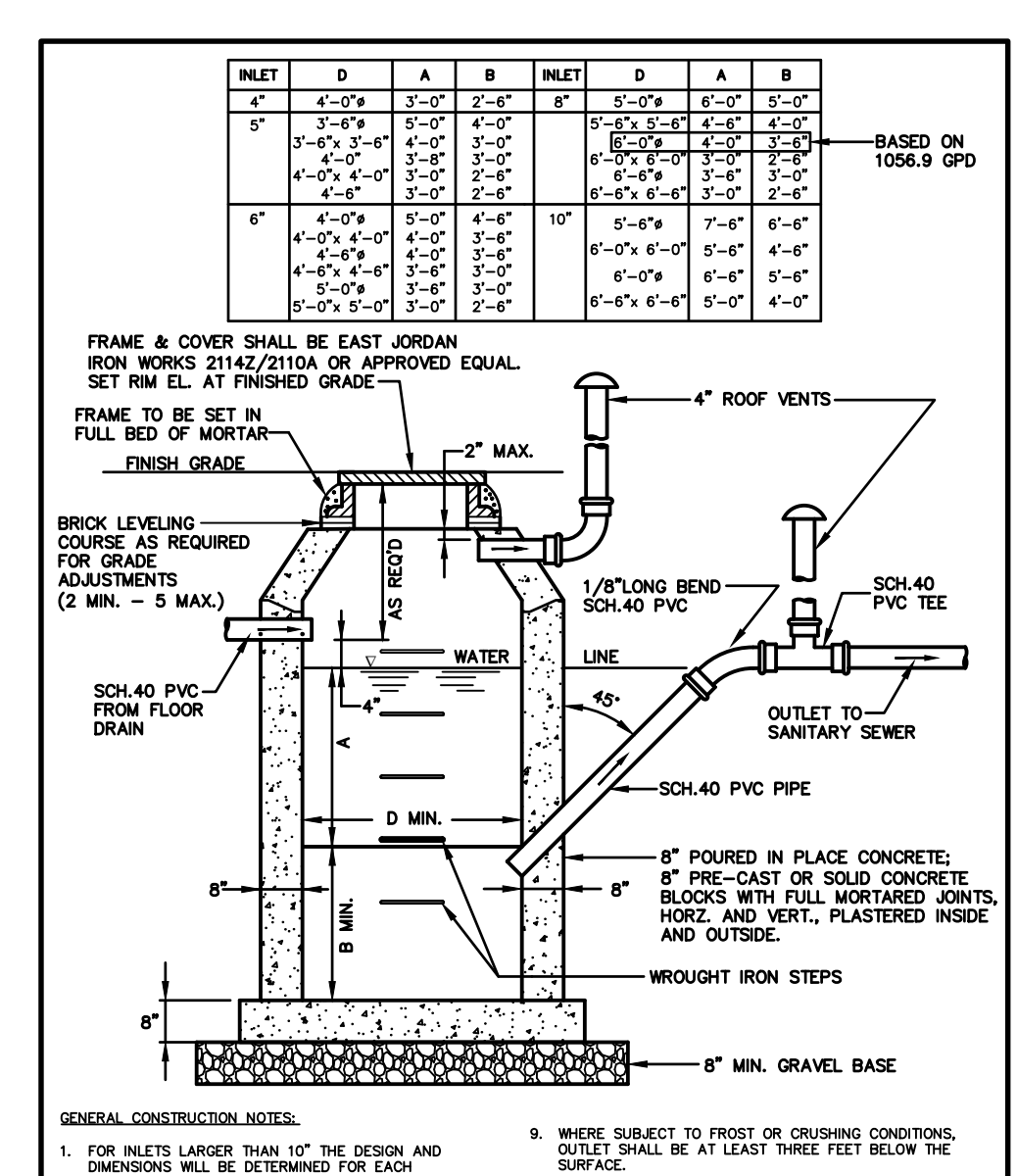
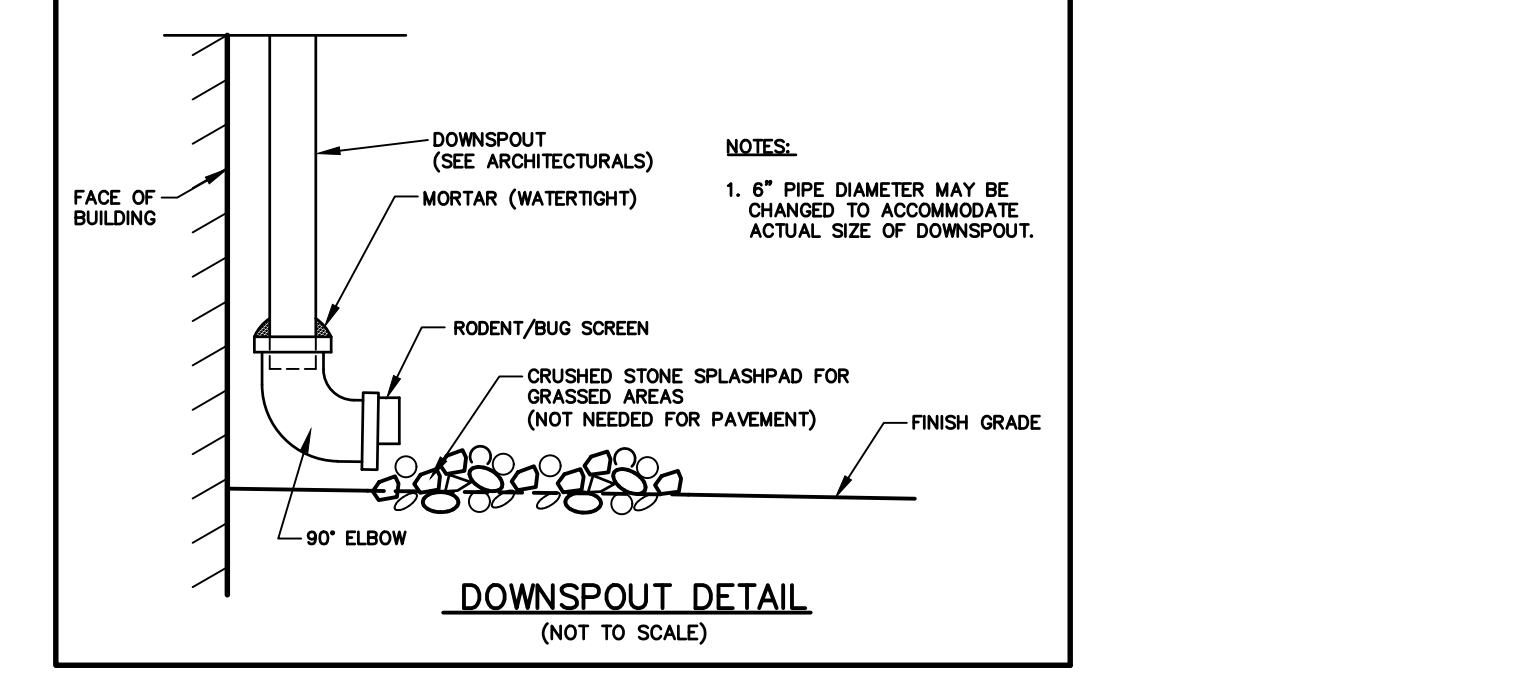
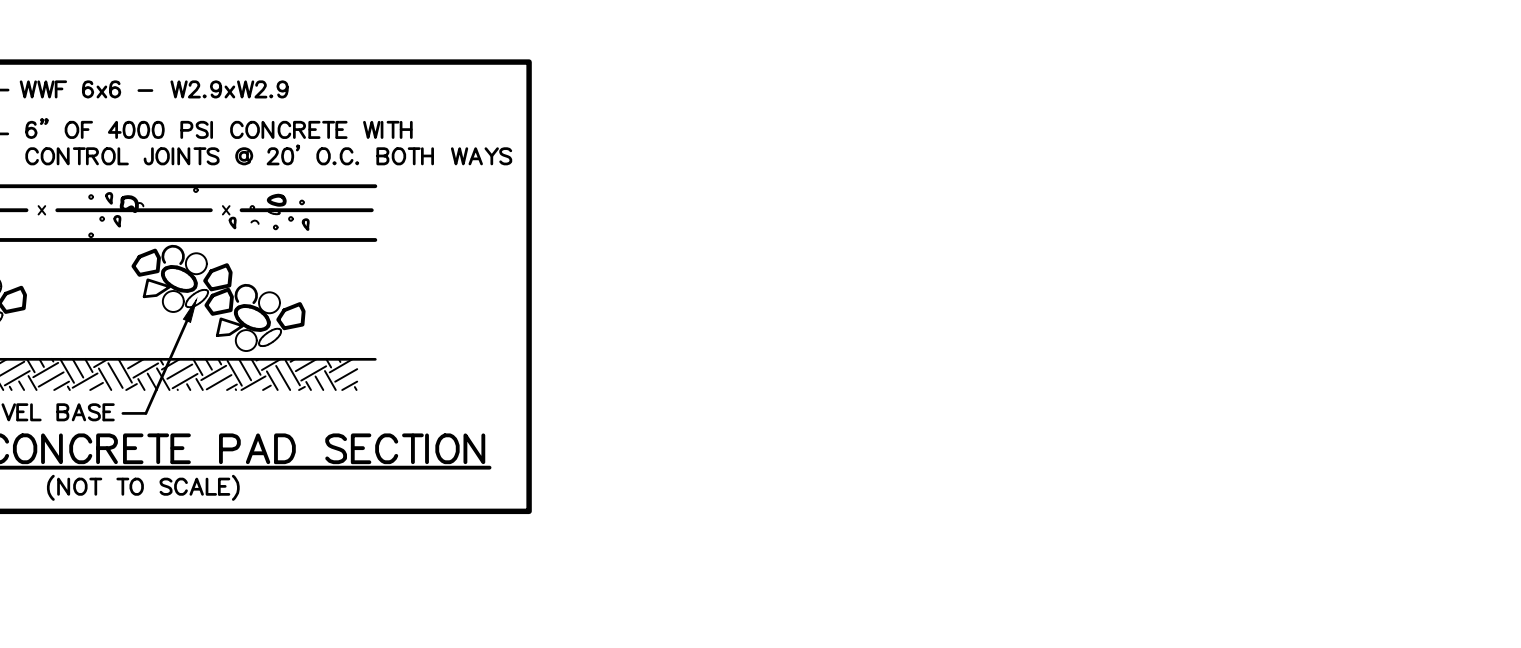
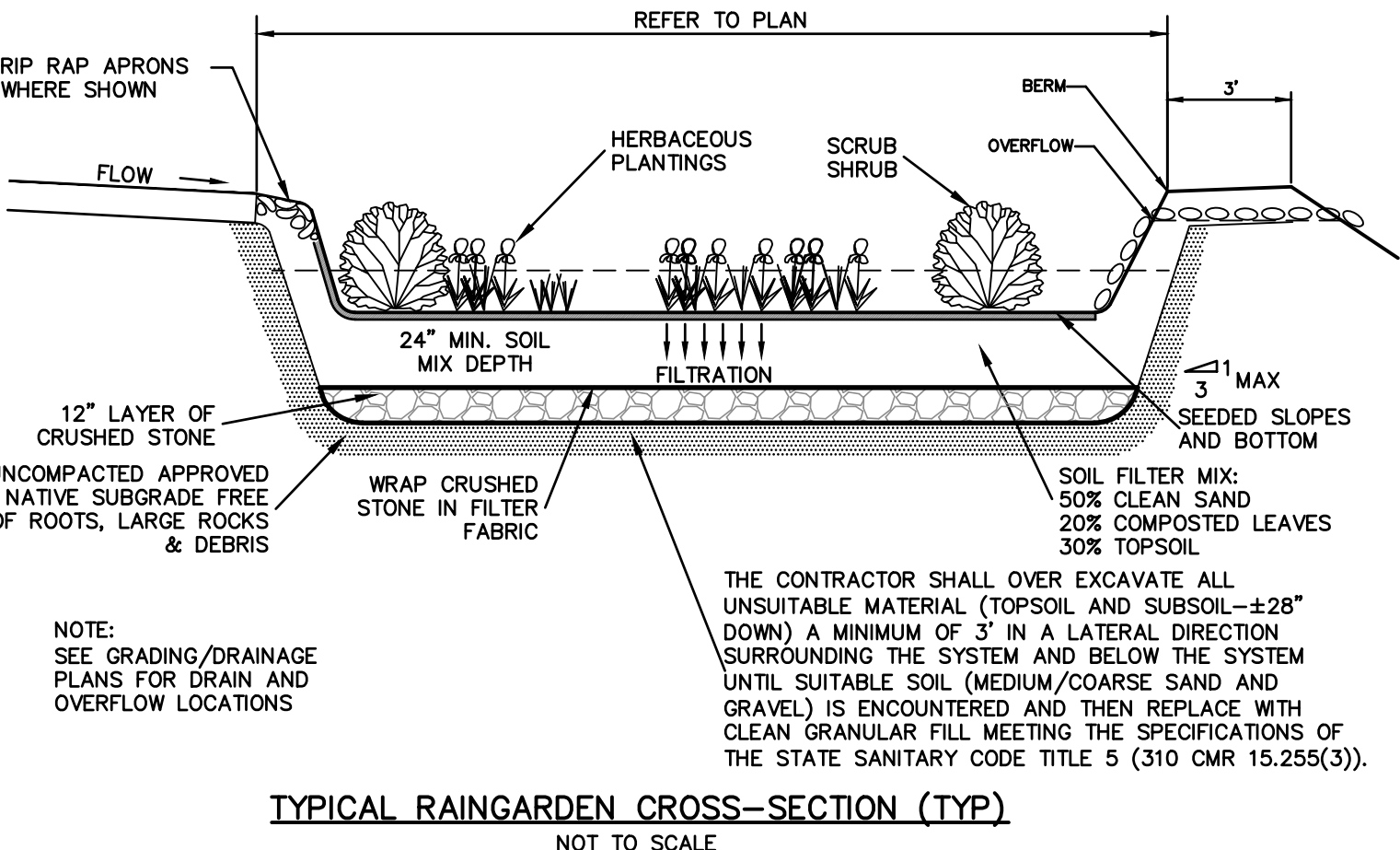
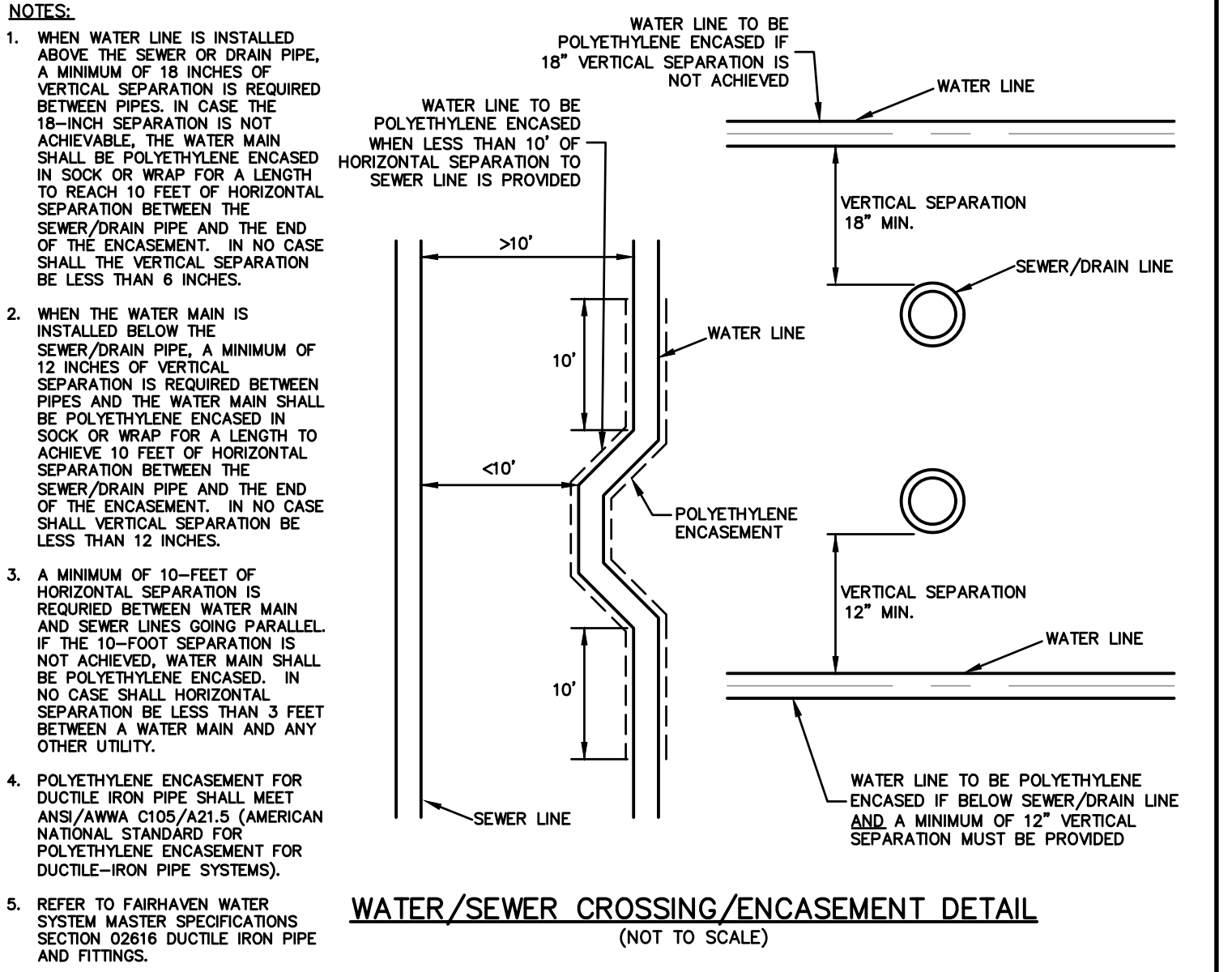
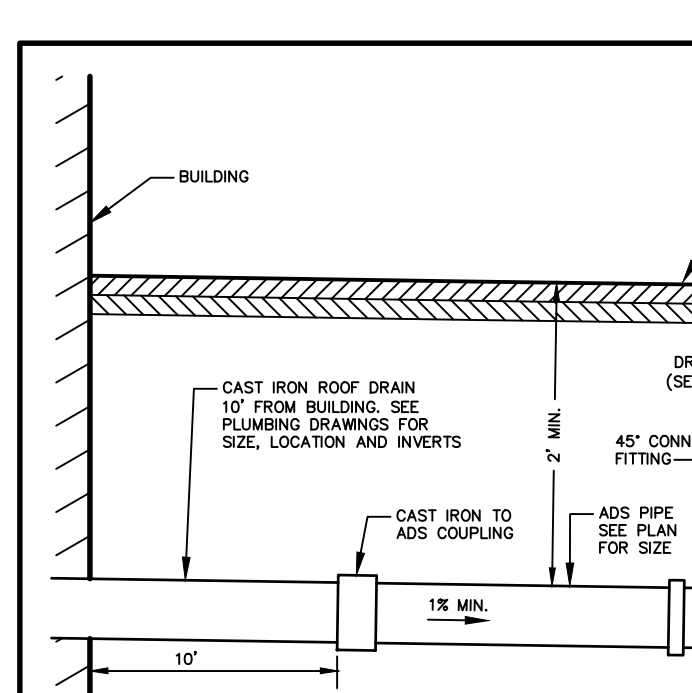
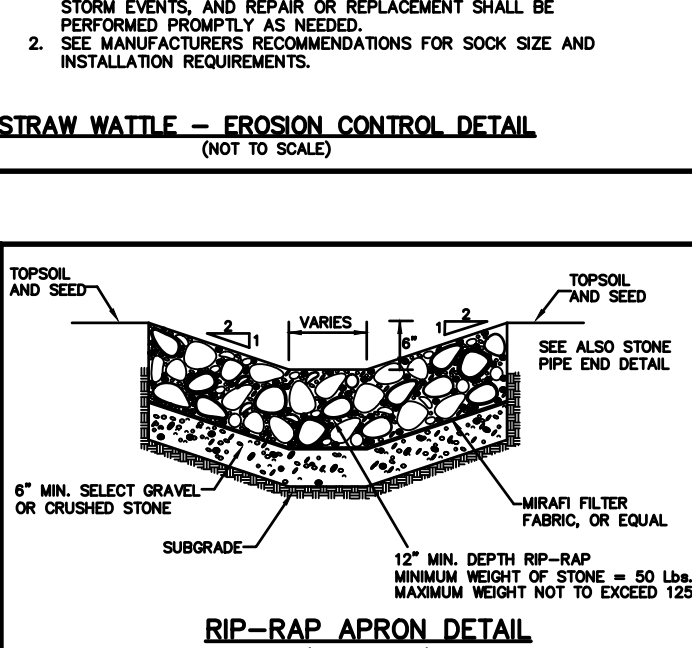
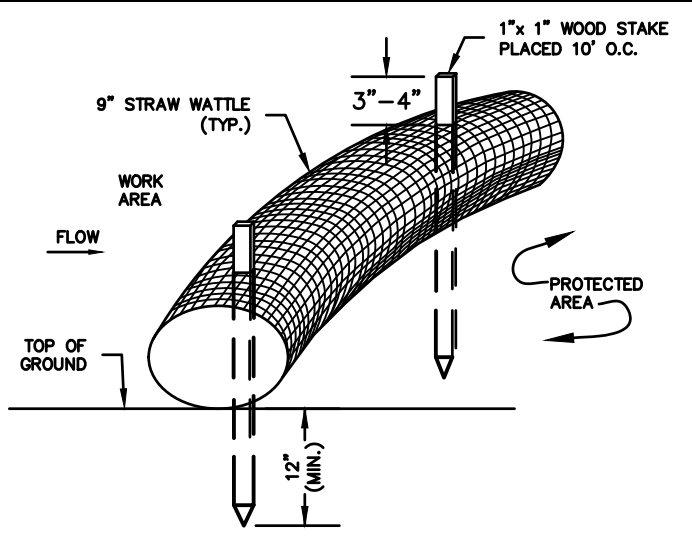
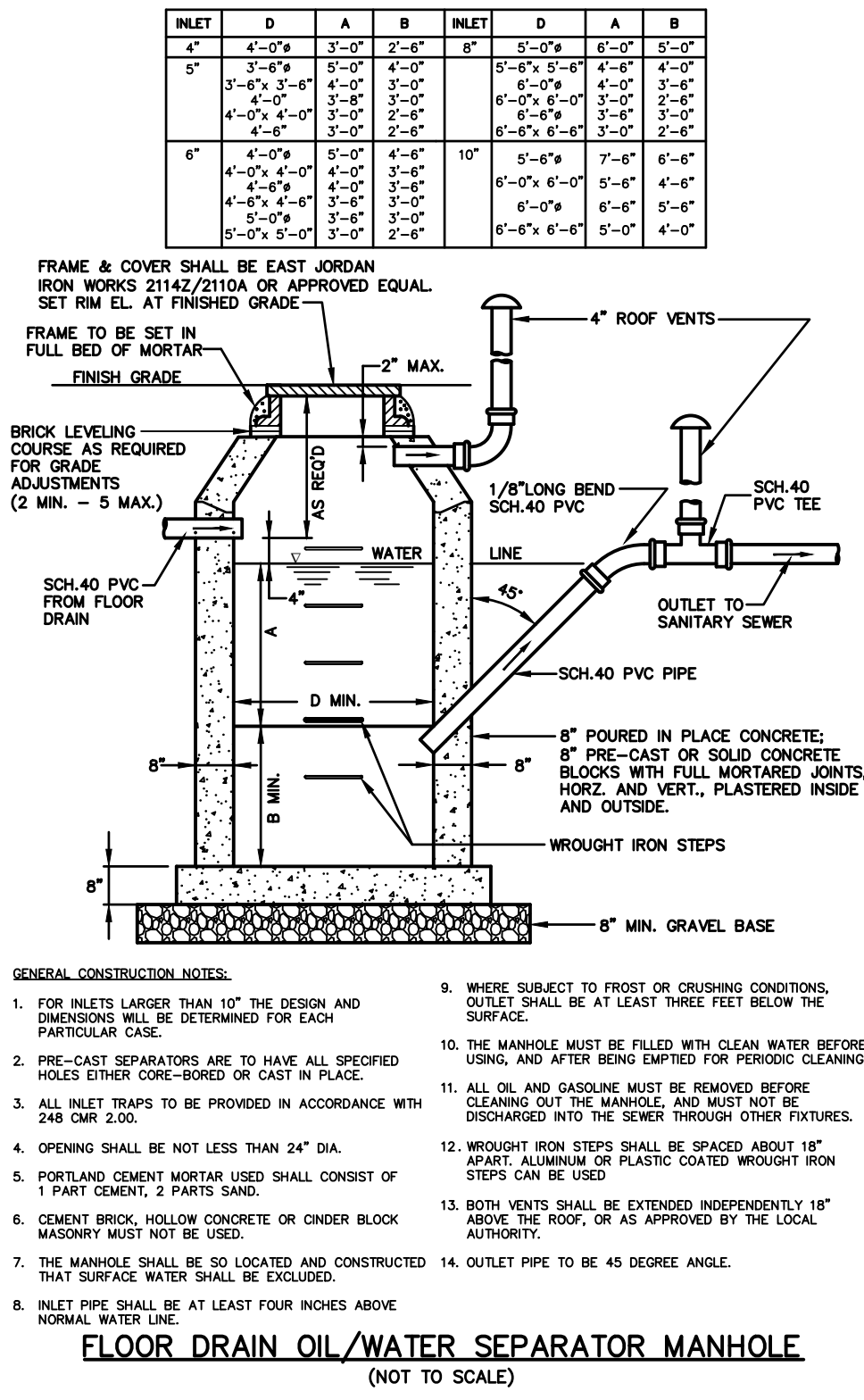
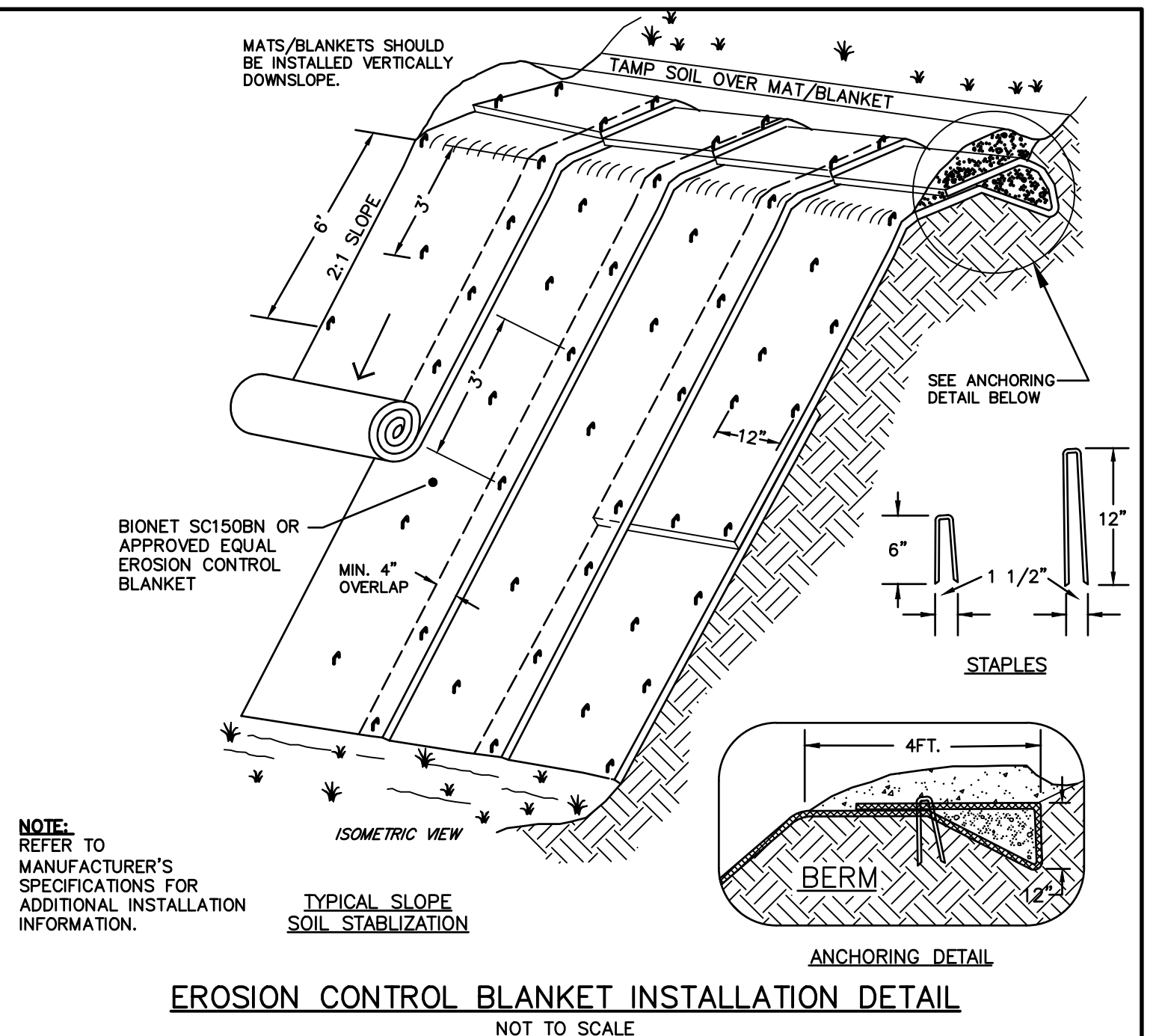
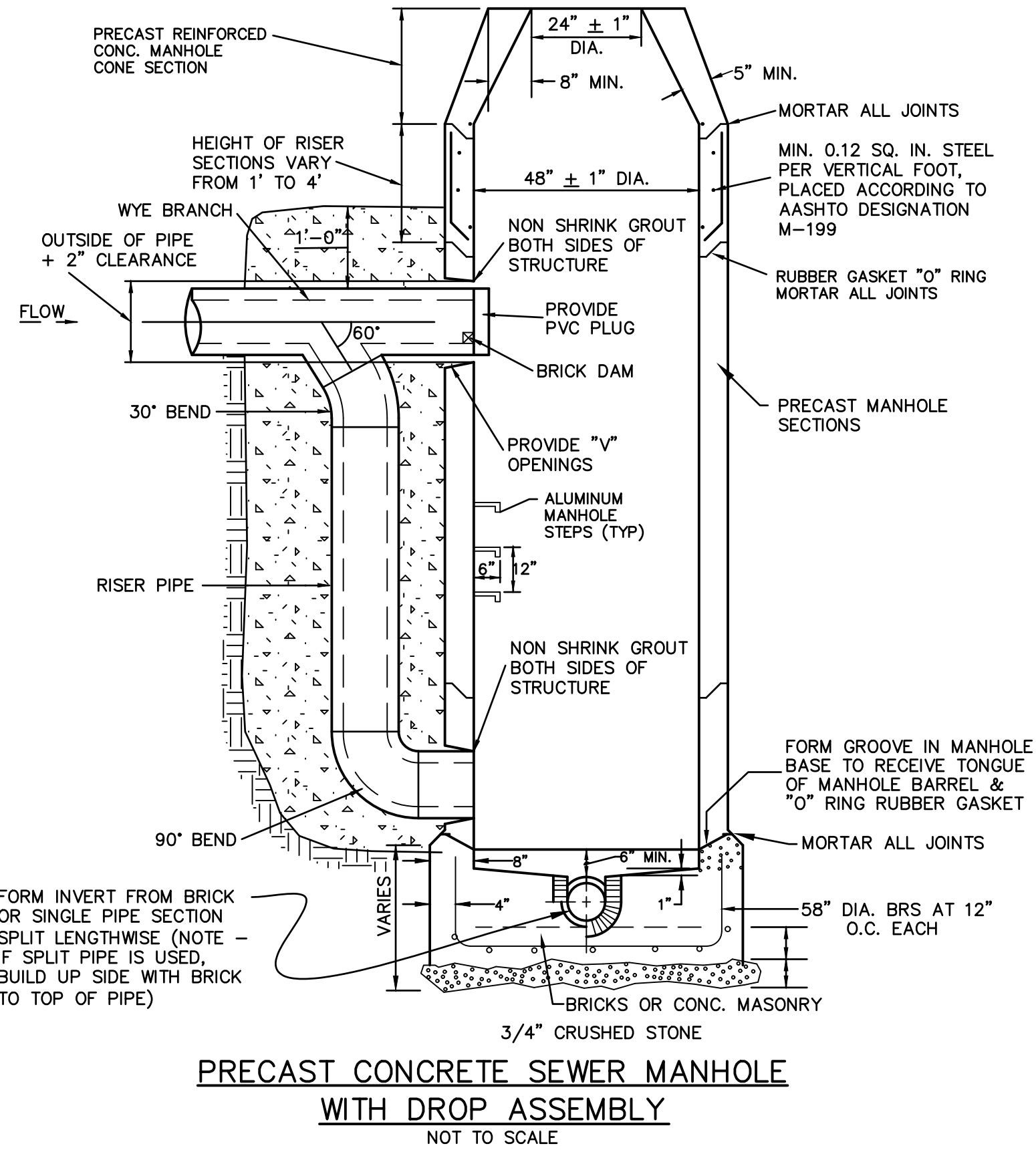
LANDSCAPING PLAN
 FOR
WASH ASHORE CAR WASH
 FAIRHAVEN, MASSACHUSETTS 02719
 JANUARY 21, 2022

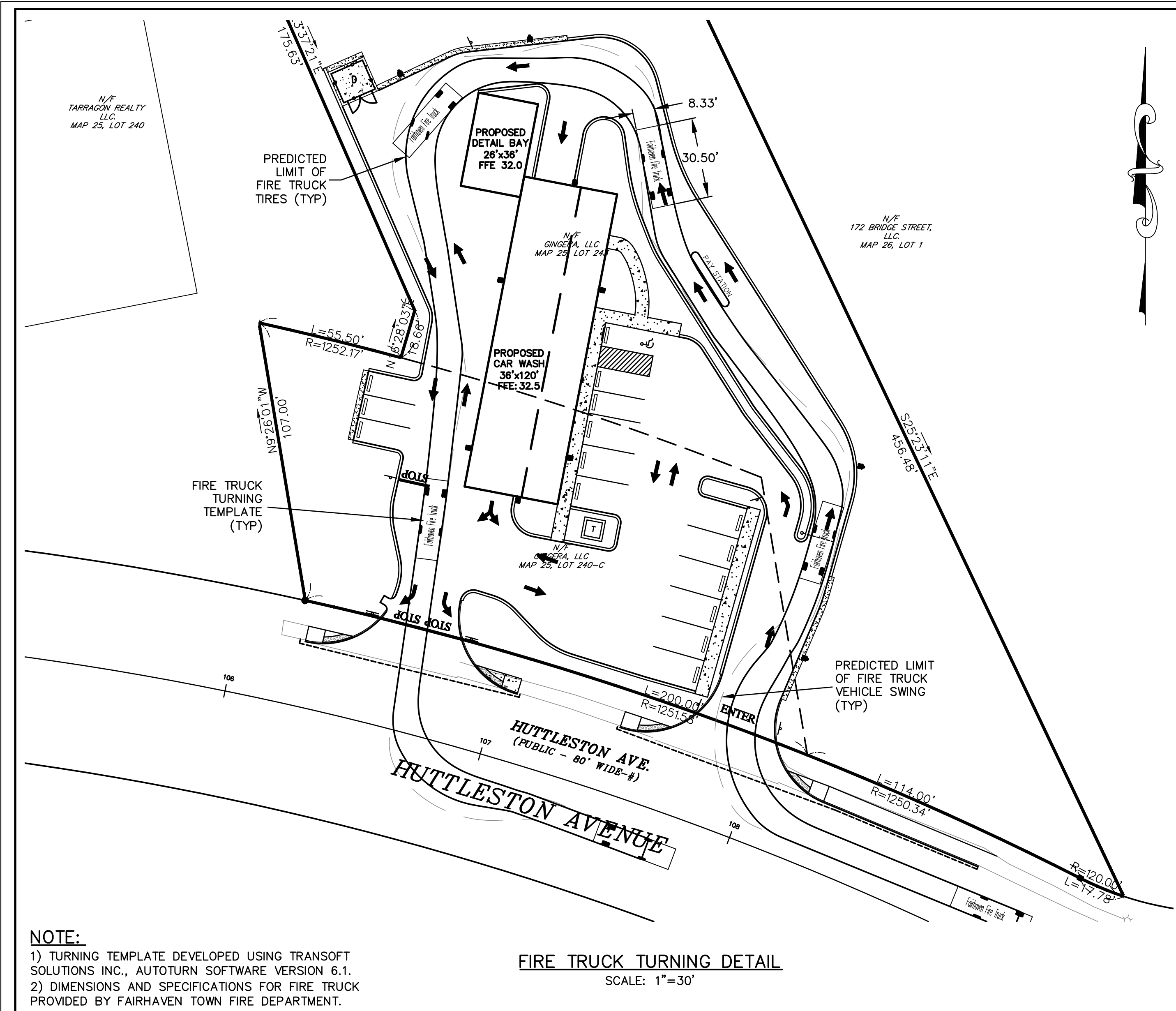
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NOTES

1. WALLS AND CONES SHALL BE MANUFACTURED IN ACCORDANCE WITH A.S.T.M. STANDARD SPECIFICATIONS FOR REINFORCED CONCRETE MANHOLE RISERS & TOPS DESIGNATION C478
2. THE ENTIRE OUTER SURFACE MUST HAVE TWO COATS OF BITUMINOUS WATERPROOFING MATERIAL COATING SUCH AS TREMCO 121 FOUNDATION COATING OR APPROVED EQUAL





NOTE:
1) TURNING TEMPLATE DEVELOPED USING TRANSOFT SOLUTIONS INC., AUTOTURN SOFTWARE VERSION 6.1.
2) DIMENSIONS AND SPECIFICATIONS FOR FIRE TRUCK PROVIDED BY FAIRHAVEN TOWN FIRE DEPARTMENT.

