

# "RESIDENCE BY THE GIRLS CREEK" DEFINITIVE SUBDIVISION PLAN

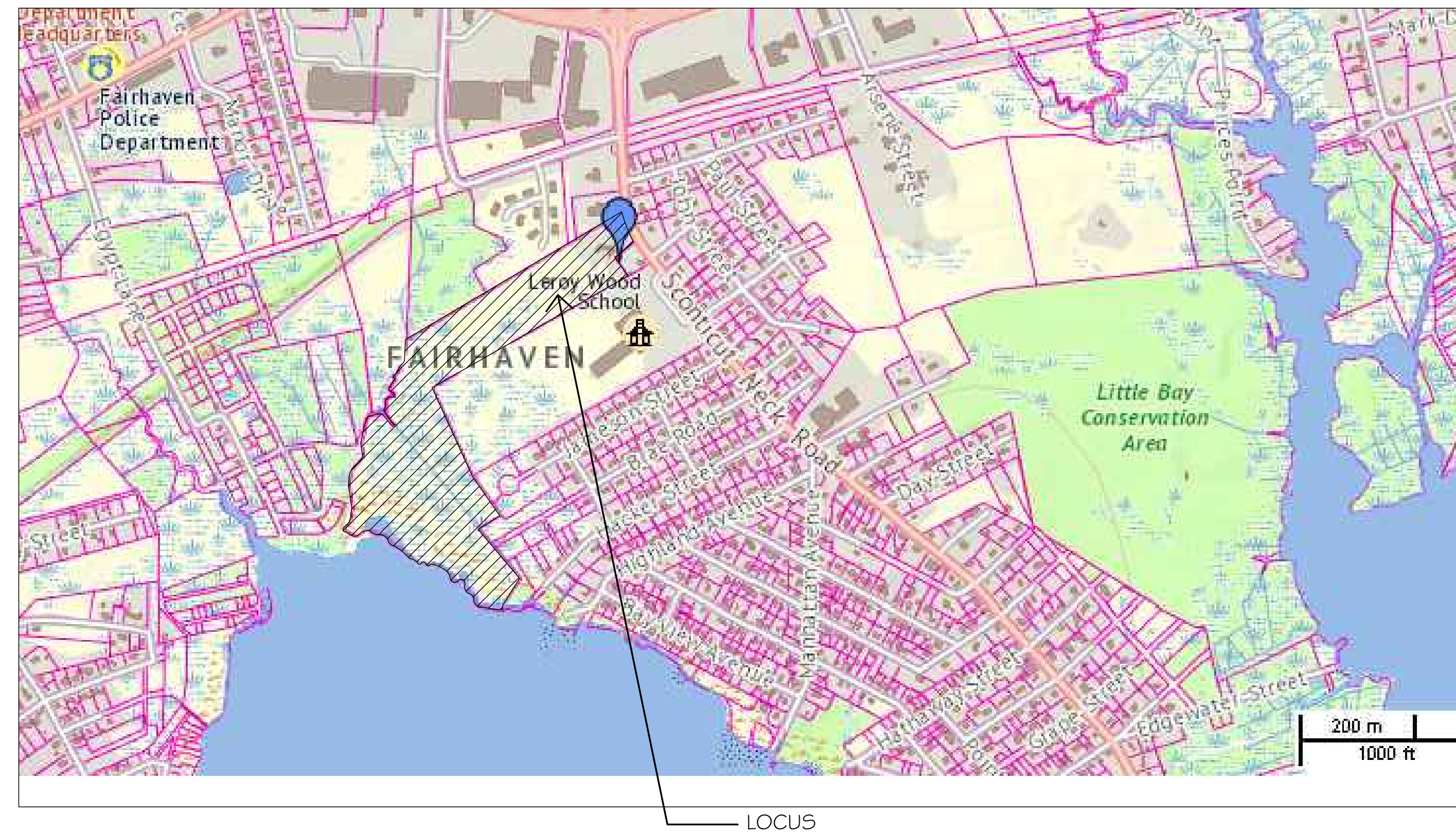
FOR REGISTRY OF DEEDS USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEED

PREPARER

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ASSESSORS' ID:  
MAP 28 LOT 24

OWNER OF RECORD:  
JEAN JASON  
33 BRIARWOOD DRIVE  
WAREHAM, MA 02571

ZONING REQUIREMENTS:  
MIN. LOT AREA (S.F.) 15,000  
MIN. FRONTAGE (FT.) 100.00  
CONTIGUOUS UPLAND 90% (13,500 S.F. MIN.)  
FRONT SETBACK (FT.) 20.00  
SIDE SETBACK (FT.) 10.00  
REAR SETBACK (FT.) 30.00

DEED INFORMATION:  
BOOK 11867 PAGE 309-311



REV. #	DESCRIPTION	DATE
6.	REVISIONS PER LATEST ROUND OF PEER REVIEW.	3/15/21
5.	MAKE REVISIONS PER PLANNING BOARD COMMENTS DURING PRELIMINARY SUBDIVISION SUBMISSION	12/6/20
4.	REDUCE THE WETLAND FILL AMOUNT TO 1,130 S.F. PER WATER QUALITY/DEP COMMENTS.	4/1/20
3.	REVISIONS PER SECOND ROUND OF PEER REVIEW COMMENTS.	9/18/19
2.	REVISIONS PER PEER REVIEW COMMENTS.	8/10/19
1.	REVISED LOT 6. ADD LOT 7 BEING DONATED TO THE TOWN OF FAIRHAVEN FILL 2,380 S.F. OF WETLAND (TO BE RESTORED ON SITE)	6/10/19

FAIRHAVEN PLANNING BOARD  
APPROVED UNDER SUBDIVISION CONTROL LAW

DATE OF APPROVAL \_\_\_\_\_

DATE OF SIGNING \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

"THE ABOVE ENDORSEMENT IS NOT A DETERMINATION AS TO CONFORMANCE WITH ZONING REGULATIONS OR A DETERMINATION THAT THE LOT IS BUILDABLE."

**"DEFINITIVE SUBDIVISION PLAN"**  
OF DEVELOPMENT TO BE KNOWN AS  
**RESIDENCE BY THE GIRLS CREEK**  
OFF SCOTICUT NECK ROAD  
IN FAIRHAVEN, MA

PREPARED FOR  
**ALEXANDER GRAY DEVELOPMENT, LLC**  
ACUSHNET, MA

SHEET 1 OF 15 - COVER SHEET

**NESRA ENGINEERING, LLC**

170 BUNGAY ROAD  
N. ATTLEBORO, MA 02760  
(617) 506-3772  
WWW.NESRAENG.COM

SCALE: AS NOTED DATE: 4/10/19 PREP. BY: AH REV. BY: JJP



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PREPARER \_\_\_\_\_

FOR REGISTRY OF DEEDS USE ONLY

**FAIRHAVEN PLANNING BOARD**  
APPROVED UNDER SUBDIVISION CONTROL LAW

DATE OF APPROVAL \_\_\_\_\_

DATE OF SIGNING \_\_\_\_\_


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MAP 28  
LOT 24 F  
DAVID DROWN BOULEVARD  
N/T TOWN OF FAIRHAVEN  
CONSERVATION  
COMMISSION

MAP 28  
LOT 24 E  
DAVID DROWN BOULEVARD  
N/T HARBOR MIST  
CONDOMINIUM TRUST

APARTMENT/MULTIFAMILY  
DISTRICT (RC)

BUSINESS DISTRICT (B)

BUSINESS DISTRICT (B)

MAP 28  
LOT 24 G  
40 SCOTICUT NECK ROAD  
N/T RYAN STUART J. JR.

MAP 28  
LOT 24 D  
28 SCOTICUT NECK ROAD  
N/T REICARDS FAIRHAVEN LLC

TIE IN TO EXISTING  
SEWER MANHOLE.  
DROP TO BE  
CORED, BOOTED  
AND STAINLESS  
STRAPPED IN  
PLACE. (-4' DROP)

WATER SHUT OFF AT  
EACH RESIDENCE

E/ONE SEWER  
PUMP AT EACH  
RESIDENCE

TAP AND SLEEVE TO EXISTING 10'  
MAIN. CONNECTIONS TO BE IN  
STRICT CONFORMANCE WITH  
LOCAL BPW REQUIREMENTS.

SINGLE RESIDENCE  
DISTRICT (RA)

N/T  
LOT 24 A  
54 SCOTICUT NECK ROAD  
N/T AVILA JULES M. JR. &  
LORETTA

DMH 3 (6-FT Ø)  
RIM = 34.86  
INV. IN = 27.70  
INV. OUT = 27.60

CB 3 (5' Ø WITH  
DOUBLE GRATES)  
RIM = 31.3  
INV. 28.43  
(12" RCP)

CB 1  
RIM = 37.8  
INV. 28.74  
(12" RCP)

CB 2  
RIM = 37.4  
INV. 28.78  
(12" RCP)

SEWER PUMP (TYP.)

HYDRANT PROVIDE 6"  
CLDI CONNECTION  
8" DUCTILE IRON  
WATER MAIN.

DMH 2 (6-FT Ø)  
RIM = 32.5  
INV. IN = 28.27  
INV. OUT = 28.17

STREET LIGHT  
TOWN OF FAIRHAVEN  
STANDARD

DMH 4  
RIM = 31.3  
INV. 28.43  
(12" HDPE)

2,140 S.F. OF WETLANDS TO BE FILLED FOR  
MAINTENANCE EASEMENT (INSTALL FILTER  
FABRIC AND 18" OF GRAVE BASE STONE)

6-FT Ø CATCH BASIN  
RIM = 35.10  
INV. IN = 26.75  
INV. OUT = 26.65

MAP 28  
LOT 24 B  
60 SCOTICUT NECK ROAD  
N/T  
TOWN OF FAIRHAVEN

SINGLE RESIDENCE  
DISTRICT (RA)

6-FT Ø CATCH BASIN  
RIM = 30.25  
INV. IN = 25.75  
INV. OUT = 25.65

FLARED END OUTLET WITH  
RIP RAP INV. = 20.00

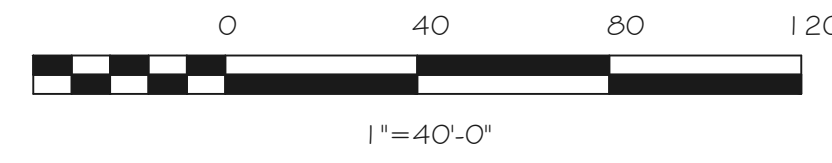
EMERGENCY SPILLWAY BROAD CRESTED WEIR  
AND GRASS CHANNEL. INV. = 25.50  
TOP OF POND = 26.5  
MAX. SLOPE OF GRASS SPILLWAY = 9.7%  
MAX VELOCITY PER HYDROCAD =

OUTLET CONTROL STRUCTURE WITH  
OVERFLOW. (SEE DETAILS SHEET)

NHESP BOUNDARY 300±  
SOUTH WEST OF THIS  
LOCATION.

WETLAND RESOURCE  
PROTECTION DISTRICT  
(WRP) 300± SOUT WEST  
OF THIS LOCATION

- NOTE:
1. CONTRACTOR TO PROVIDE CONTROL DENSITY FILL FOR WATER AND SEWER TIE-INS ON SCOTICUT NECK ROAD. LEAVE 1" BELOW THE BOTTOM OF THE EXISTING PAVEMENT. PLATE THE TRENCHES, PIN THE PLATES, AND INSTALL COLD PATCH RAMPS. ALLOW TO SET FOR 48 HOURS PRIOR TO PERMANENT PAVEMENT. PLACE PAVEMENT IN 2" MAXIMUM LIFTS AND SEAL JOINTS WITH STONE DUST AND EMULSION.
  2. CONTRACTOR SHALL MEET ALL BPW REQUIREMENTS FOR HIGHWAY, SEWER AND WATER.
  3. CONTRACTOR TO PROVIDE CLASS IV RCP PIPE WITHIN RIGHT OF WAY WHERE 4-FT OF COVER IS NOT ACHIEVED.
  4. PROVIDE CURB STOPS FOR EACH E-ONE UNIT.

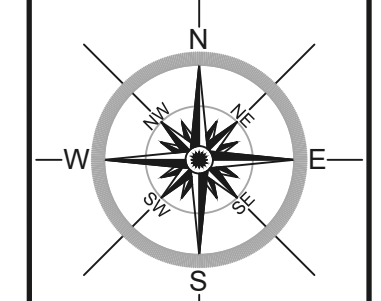


"DEFINITIVE SUBDIVISION PLAN"  
OF DEVELOPMENT TO BE KNOWN AS  
**RESIDENCE BY THE GIRLS CREEK**  
OFF SCOTICUT NECK ROAD  
IN FAIRHAVEN, MA

PREPARED FOR  
**ALEXANDER GRAY DEVELOPMENT, LLC**  
ACUSHNET, MA

SHEET 8 OF 15 - UTILITY PLAN

**NESRA ENGINEERING, LLC**



170 BUNGAY ROAD  
N. ATTLEBORO, MA 02760  
(617) 506-3772  
WWW.NESRAENG.COM

SCALE: 1"=40' DATE: 4/10/19 PREP. BY: AH REV. BY: JJP







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PREPARER \_\_\_\_\_

FOR REGISTRY OF DEEDS USE ONLY

FAIRHAVEN PLANNING BOARD  
APPROVED UNDER SUBDIVISION CONTROL LAW

DATE OF APPROVAL \_\_\_\_\_

DATE OF SIGNING \_\_\_\_\_

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\_\_\_\_\_

"THE ABOVE ENDORSEMENT IS NOT A DETERMINATION AS TO CONFORMANCE WITH ZONING REGULATIONS OR A DETERMINATION THAT THE LOT IS BUILDABLE."

MAP 28  
LOT 24 F  
DAVID DROWN BOULEVARD  
N/F TOWN OF FAIRHAVEN  
CONSERVATION  
COMMISSION

MAP 28  
LOT 24 E  
DAVID DROWN BOULEVARD  
N/F HARBOR MIST  
CONDOMINIUM TRUST

BUSINESS DISTRICT (B)

BUSINESS DISTRICT (B)

MAP 28  
LOT 24 G  
40 SCONTICUT NECK ROAD  
N/F RYAN STUART J. JR.

MAP 28  
LOT 24 D  
28 SCONTICUT NECK ROAD  
N/F RICCARDIS FAIRHAVEN LLC

APARTMENT/MULTIFAMILY  
DISTRICT (RC)

SINGLE RESIDENCE  
DISTRICT (RA)

N/F  
LOT 24 A  
54 SCONTICUT NECK ROAD  
N/F AVILA JULES M. JR &  
LORETTA

MAP 28  
LOT 24 B  
60 SCONTICUT NECK ROAD  
N/F  
TOWN OF FAIRHAVEN

NHESP BOUNDARY 300±  
SOUTH WEST OF THIS  
LOCATION.

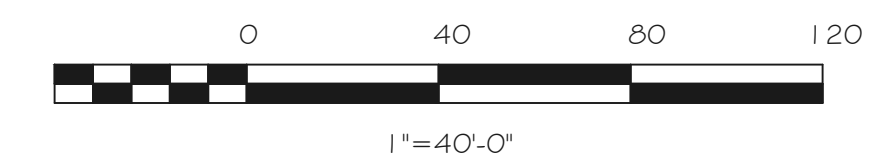
WETLAND RESOURCE  
PROTECTION DISTRICT  
(WRP) 300± SOUT WEST  
OF THIS LOCATION

WAIVER REQUEST:

1. ELIMINATE SIDEWALK ON ONE SIDE OF THE ROAD.

NOTES:

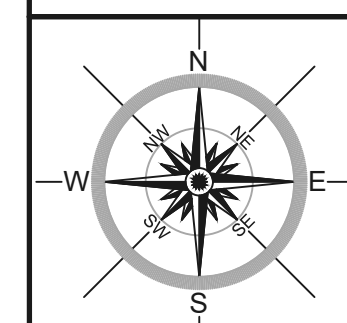
1. WETLAND DELINEATION WAS COMPLETED BY KENNETH THOMSON, A BOTANIST AND WETLAND SCIENTIST.
2. PROPERTY LINE INFORMATION IS COMPILED FROM RECORD INFORMATION AND ON THE GROUND SURVEY CONDUCTED BY NESRA ENGINEERING LLC.
3. SURVEY COORDINATES ARE BASED ON MASSACHUSETTS MAINLAND STATE PLANE COORDINATE SYSTEM (NAD83)
4. SURVEY ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)



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PREPARED FOR  
**ALEXANDER GRAY DEVELOPMENT, LLC**  
ACUSHNET, MA

SHEET 6 OF 15 - LAYOUT AND MATERIALS PLAN

**NESRA ENGINEERING, LLC**



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N. ATTLEBORO, MA 02760  
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SCALE: 1"=40' DATE: 4/10/19 PREP. BY: AH REV. BY: JJP





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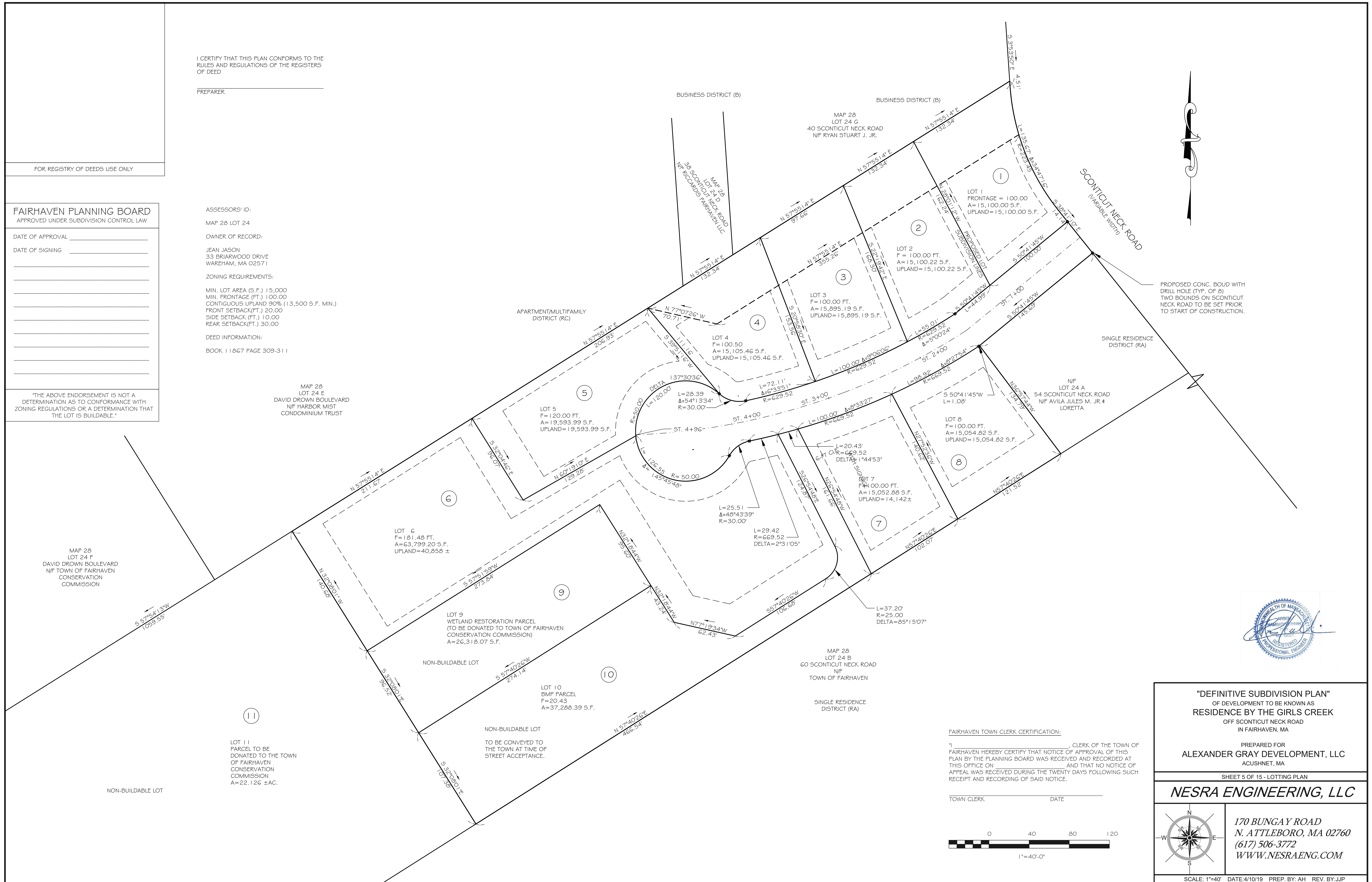
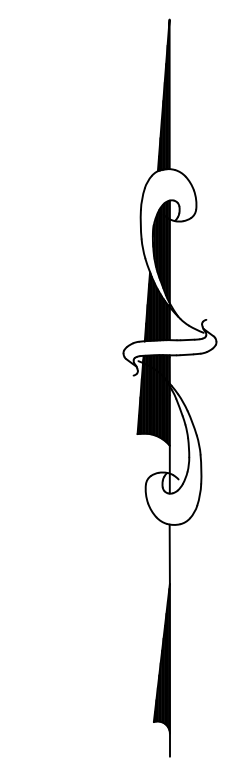
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**FAIRHAVEN PLANNING BOARD**  
APPROVED UNDER SUBDIVISION CONTROL LAW

DATE OF APPROVAL \_\_\_\_\_  
DATE OF SIGNING \_\_\_\_\_  
\_\_\_\_\_  
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ASSESSORS' ID:  
MAP 28 LOT 24  
OWNER OF RECORD:  
JEAN JASON  
33 BRIARWOOD DRIVE  
WAREHAM, MA 02571  
ZONING REQUIREMENTS:  
MIN. LOT AREA (S.F.) 15,000  
MIN. FRONTAGE (FT.) 100.00  
CONTIGUOUS UPLAND 90% (13,500 S.F. MIN.)  
FRONT SETBACK (FT.) 20.00  
SIDE SETBACK (FT.) 10.00  
REAR SETBACK (FT.) 30.00  
DEED INFORMATION:  
BOOK 11867 PAGE 309-311



PROPOSED CONC. BOUND WITH DRILL HOLE (TYP. OF B) TWO BOUNDS ON SCONTICUT NECK ROAD TO BE SET PRIOR TO START OF CONSTRUCTION.



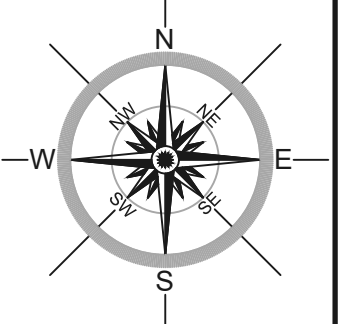
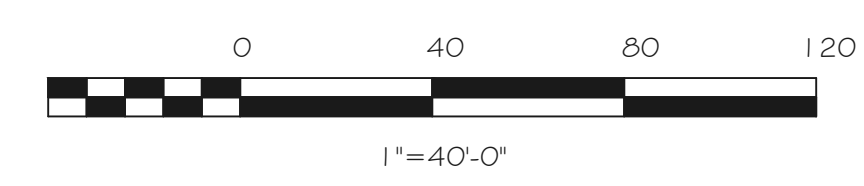
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IN FAIRHAVEN, MA  
PREPARED FOR  
**ALEXANDER GRAY DEVELOPMENT, LLC**  
ACUSHNET, MA

SHEET 5 OF 15 - LOTTING PLAN  
**NESRA ENGINEERING, LLC**

170 BUNGAY ROAD  
N. ATTLEBORO, MA 02760  
(617) 506-3772  
WWW.NESRAENG.COM

FAIRHAVEN TOWN CLERK CERTIFICATION:  
"I, \_\_\_\_\_, CLERK OF THE TOWN OF FAIRHAVEN HEREBY CERTIFY THAT NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD WAS RECEIVED AND RECORDED AT THIS OFFICE ON \_\_\_\_\_ AND THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

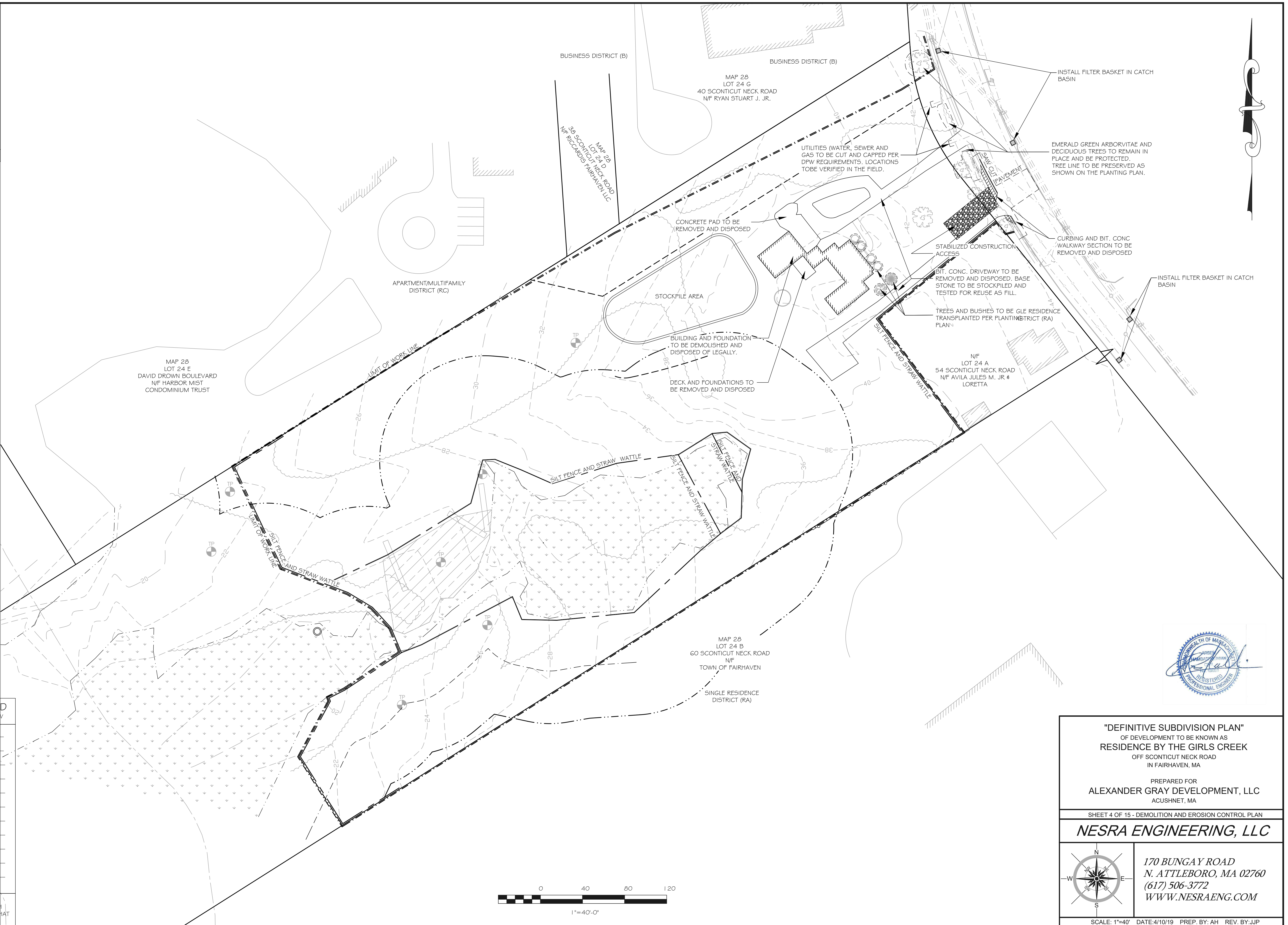




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PREPARER



FAIRHAVEN PLANNING BOARD  
APPROVED UNDER SUBDIVISION CONTROL LAW

DATE OF APPROVAL \_\_\_\_\_

DATE OF SIGNING \_\_\_\_\_

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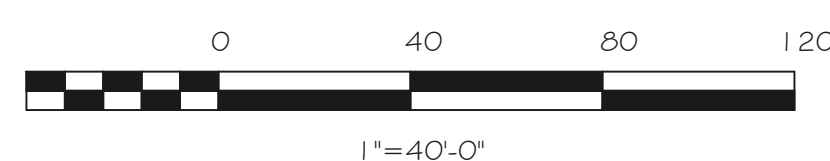
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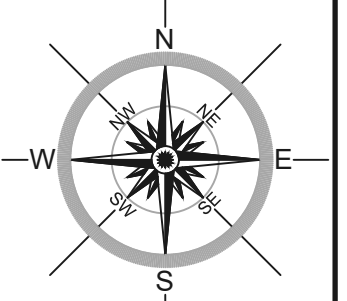


"DEFINITIVE SUBDIVISION PLAN"  
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IN FAIRHAVEN, MA

PREPARED FOR  
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ACUSHNET, MA

SHEET 4 OF 15 - DEMOLITION AND EROSION CONTROL PLAN

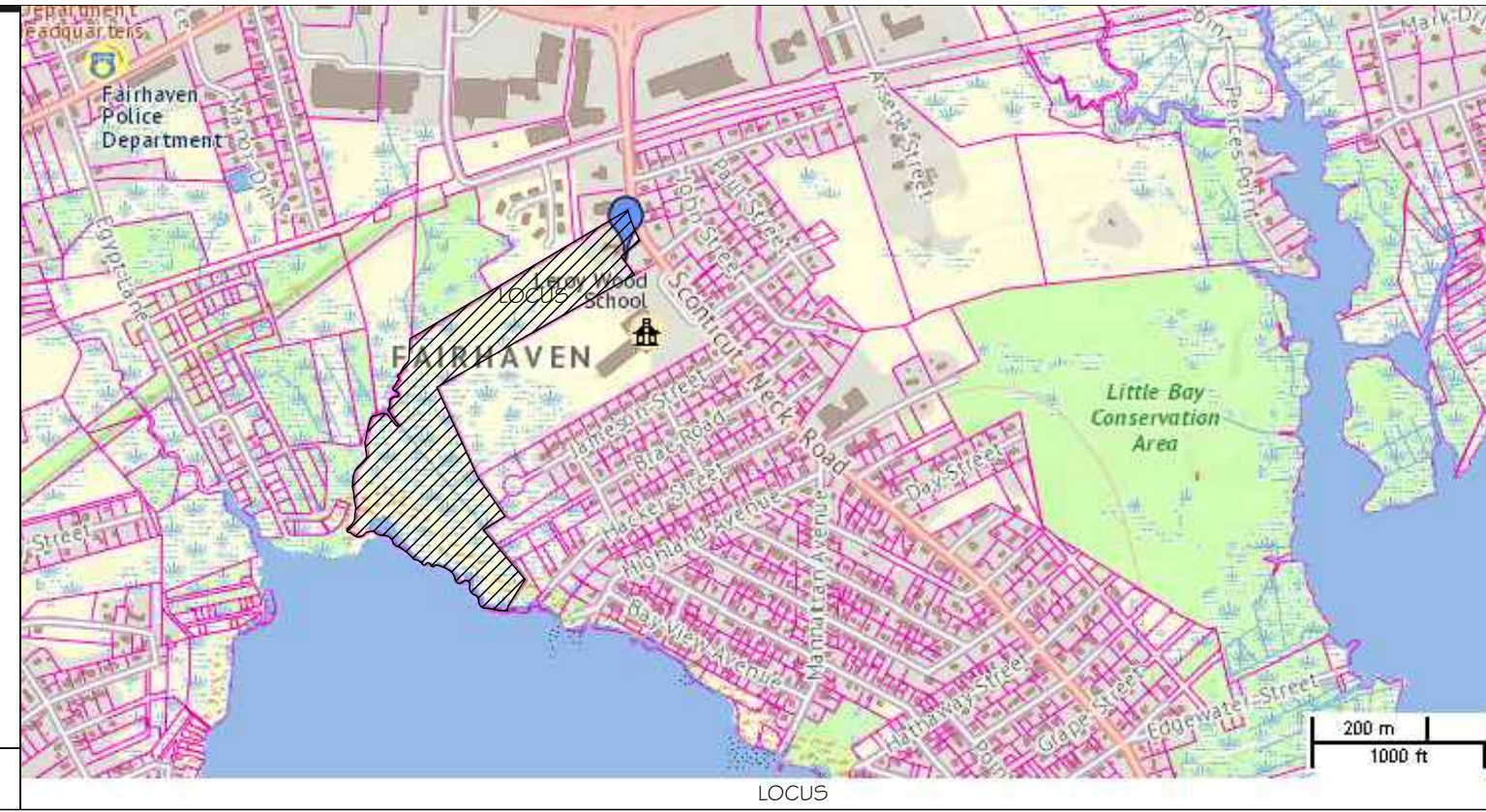
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SCALE: 1"=40' DATE: 4/10/19 PREP. BY: AH REV. BY: JJP





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LOCUS

**REFERENCES**

DEED:  
 BOOK 11867 PAGE 309 - PROPERTY DEED  
 BOOK 1404 PAGE 81 - TAKING FOR TOWN OF FAIRHAVEN ELEMENTARY SCHOOL  
 BOOK 1640 PAGE 537 - TAKING BY COMMONWEALTH OF MASSACHUSETTS

ASSESSORS REFERENCE: MAP 28

PLAN REFERENCE:

BOOK 6 PAGE 353 - TAKING BY TOWN OF FAIRHAVEN FOR THE WIDENING OF SCONTICUT NECK ROAD.

BOOK 40 PAGE 48 - SCONTICUT NECK ROAD LAYOUT PLAN.

PLAN BOOK

NOTES:  
 THE PURPOSE OF THIS PLAN IS TO ESTABLISH THE ACCURATE PERIMETER PROPERTY LINES.

THE OWNERS OF THE PROPERTIES SHOWN ARE ACCORDING TO THE CURRENT TOWN OF FAIRHAVEN ASSESSOR'S RECORDS.

MAP 28  
 LOT 24 E  
 DAVID DROWN BOULEVARD  
 N/F HARBOR MIST  
 CONDOMINIUM TRUST

MAP 28  
 LOT 24 F  
 DAVID DROWN BOULEVARD  
 N/F TOWN OF FAIRHAVEN  
 CONSERVATION  
 COMMISSION

MAP 28  
 LOT 24  
 46 SCONTICUT NECK ROAD  
 N/F JEANNINE M. JASON  
 AREA = 28.144 AC ±

MAP 28  
 LOT 24 B  
 60 SCONTICUT NECK ROAD  
 N/F  
 TOWN OF FAIRHAVEN

SINGLE RESIDENCE  
 DISTRICT (RA)

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEED

PREPARER

FAIRHAVEN PLANNING BOARD  
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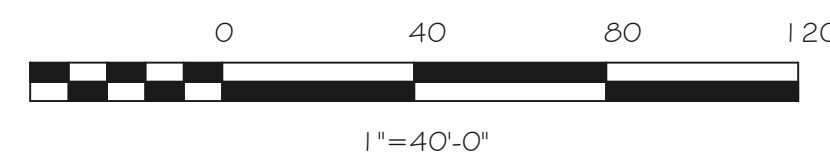
DATE OF SIGNING \_\_\_\_\_

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NHESP BOUNDARY 300± SOUTH WEST OF THIS LOCATION.

WETLAND RESOURCE PROTECTION DISTRICT (WRP) 300± SOUTH WEST OF THIS LOCATION

"THE ABOVE ENDORSEMENT IS NOT A DETERMINATION AS TO CONFORMANCE WITH ZONING REGULATIONS OR A DETERMINATION THAT THE LOT IS BUILDABLE."



I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION THAT THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN, OWNERS OF THE PROPERTIES SHOWN ARE ACCORDING TO THE CURRENT TOWN ASSESSOR'S RECORDS.

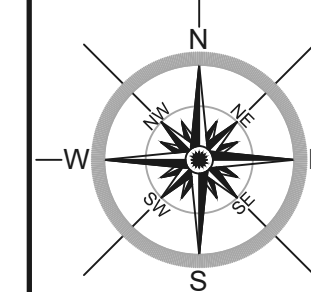
I FURTHER CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

REGISTERED PROFESSIONAL LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

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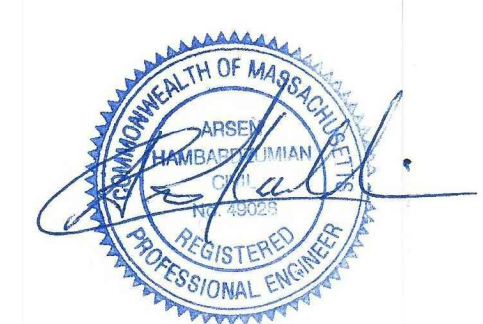
SHEET 3 OF 14 - EXISTING BOUNDARY PLAN

**NESRA ENGINEERING, LLC**



170 BUNGAY ROAD  
 N. ATTLEBORO, MA 02760  
 (617) 506-3772  
 WWW.NESRAENG.COM

SCALE: 1"=40' DATE: 4/10/19 PREP. BY: AH REV. BY: JJP



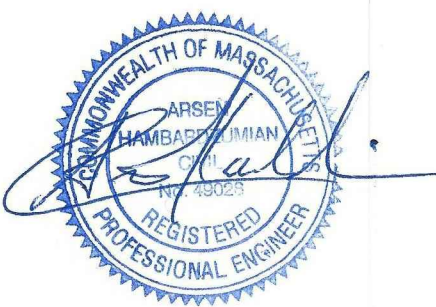




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PREPARER \_\_\_\_\_



FAIRHAVEN PLANNING BOARD  
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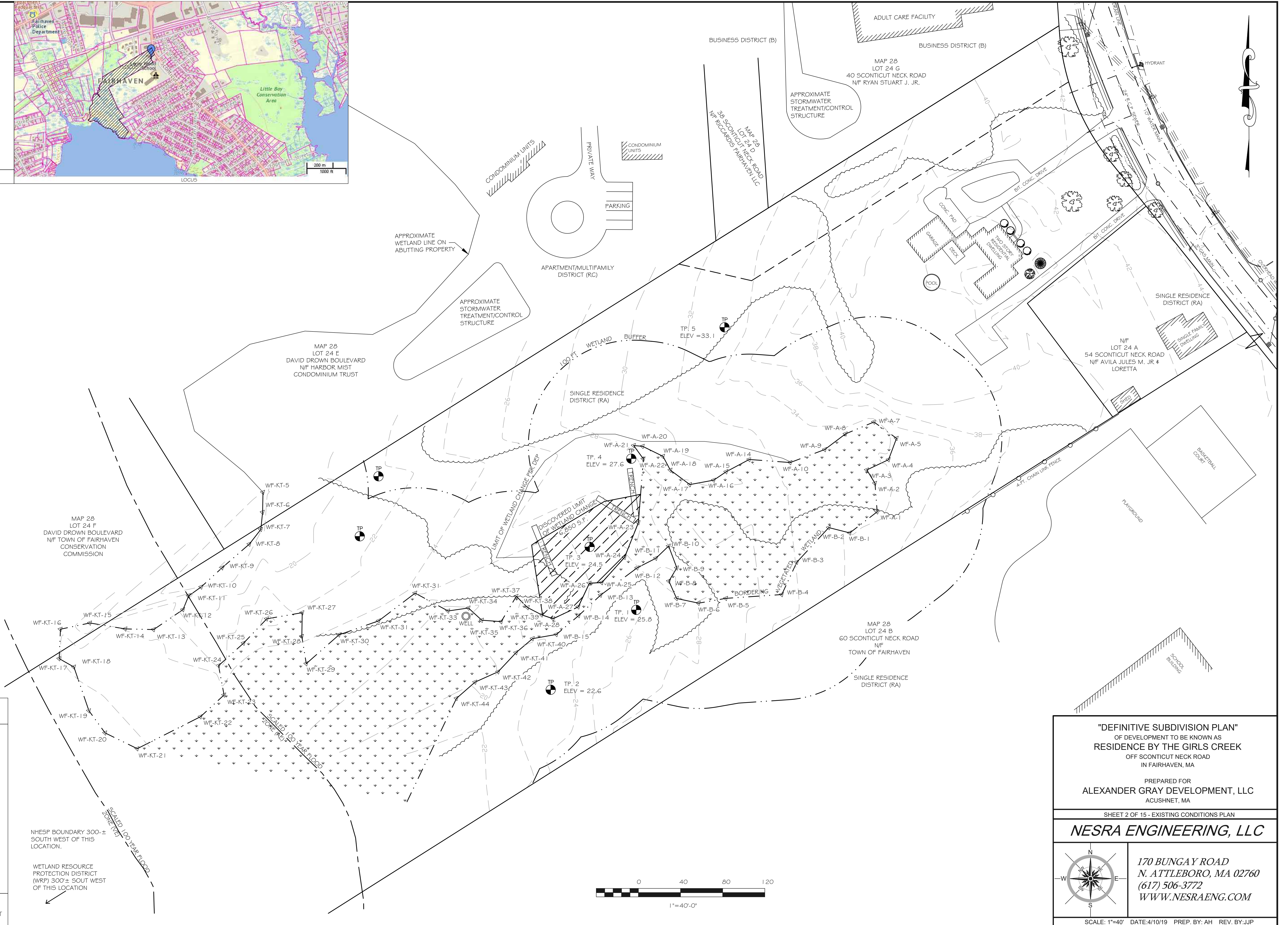
DATE OF SIGNING \_\_\_\_\_

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NHESP BOUNDARY 300± SOUTH WEST OF THIS LOCATION.

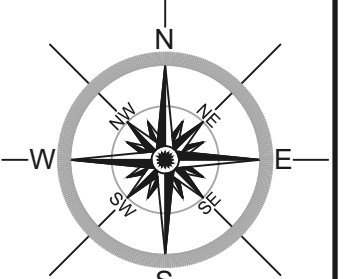
WETLAND RESOURCE PROTECTION DISTRICT (WRP) 300± SOUTH WEST OF THIS LOCATION

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ACUSHNET, MA  
SHEET 2 OF 15 - EXISTING CONDITIONS PLAN

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