

SITE PLAN

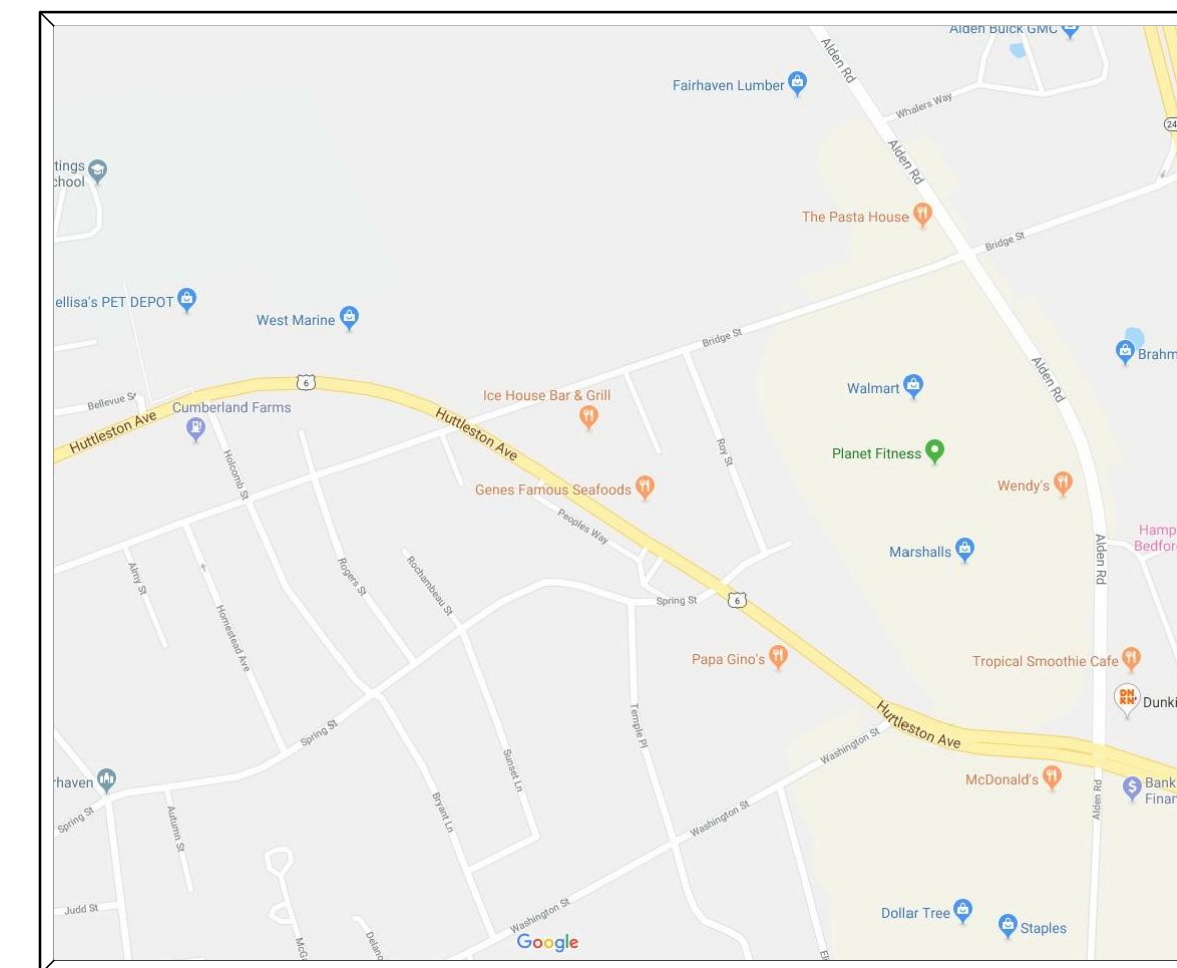
FOR:

FORMER BENNY'S RENOVATIONS

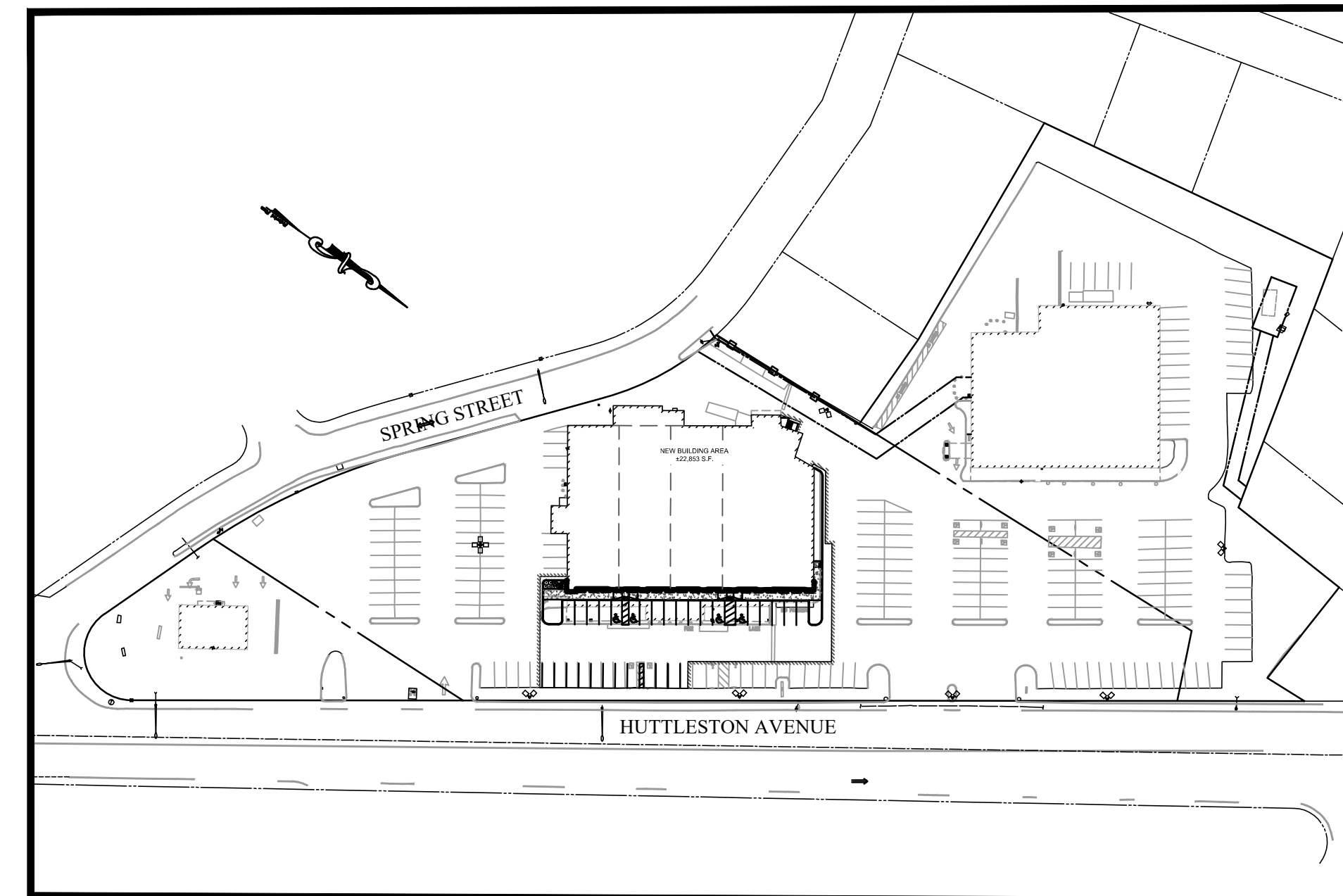
(ASSESSORS MAP 26, LOTS 60, 60A & 60B)

SITUATED AT:

151 HUTTLESTON AVENUE & 9 CROSS STREET
 FAIRHAVEN, MASSACHUSETTS 02739



LOCUS MAP
 NOT TO SCALE

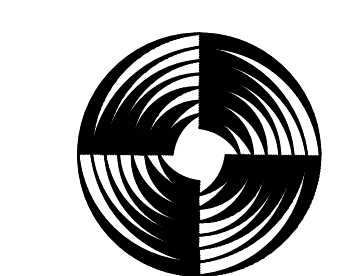
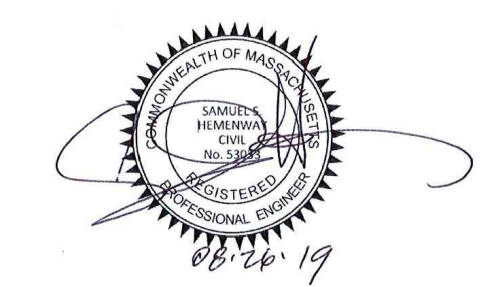


SITE CONTEXT PLAN
 SCALE 1" = 100'

SHEET INDEX	LAST REVISED
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REFERENCE PLAN: ALTA/ NSPS LAND TITLE SURVEY	

PREPARED FOR:
CARPIONATO GROUP, LLC.
 1414 ATWOOD AVENUE
 JOHNSTON, RI 02919

JUNE 03, 2019
 (REVISED: AUGUST 16, 2019)



PREPARED BY:
GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
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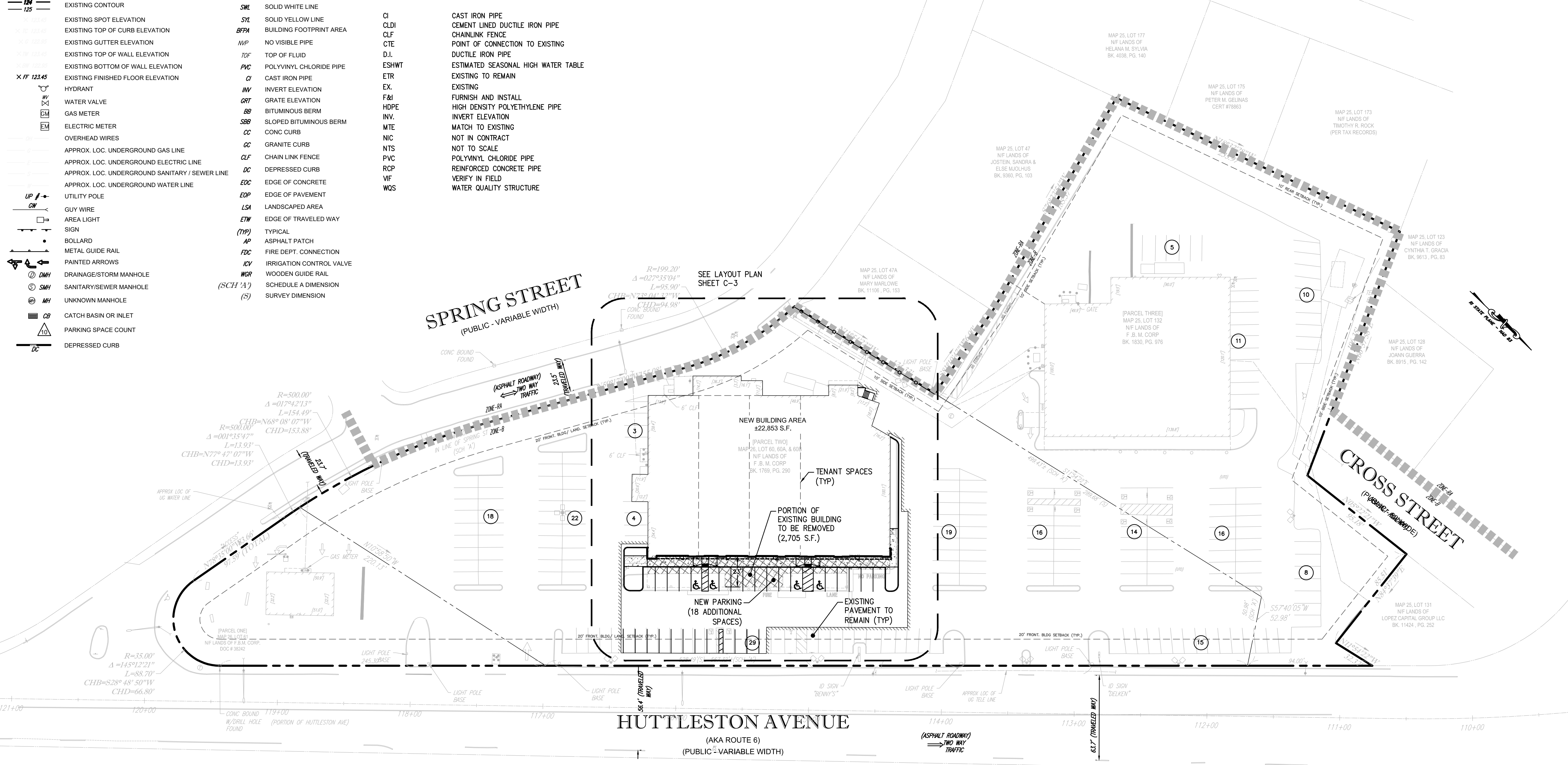
ISSUED FOR PERMIT ONLY

LEGEND

Table with 2 columns: Symbol and Description. Includes symbols for existing contours, spot elevations, curbs, pipes, valves, manholes, and utility poles.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes abbreviations for pipe types (CI, CLDI, CLF), materials (HDPE, PVC), and structures (WQS).



REFERENCE NOTES:

1. THE EXISTING CONDITIONS INDICATED HERE ON OR BASED ON PLAN TITLE "ALTA/NSPS TITLE SURVEY, CARPIONATO GROUP, LLC, 151 HUTTLESTON AVENUE & 9 CROSS STREET LOT 132, MAP 26 & LOTS 60, 60A, 60B, & 61, MAP 26, TOWN OF FAIRHAVEN, BRISTOL COUNTY COMMONWEALTH OF MASSACHUSETTS", PREPARED BY CONTROL POINT ASSOCIATES, INC., FILE NO.03-170358, DATED 3-15-18.

GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY; THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.

- 2. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
- 3. UPON AWARD OF CONTRACT, THE CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATES WITH THE WORK INDICATED ON THE PLANS.
- 4. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS, AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL REGULATIONS.
- 5. SITEWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS HAVE BEEN SECURED. REQUIRED PERMITS/APPROVALS FOR THE PROJECT INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: DEMOLITION PERMITS, SITE PLAN APPROVAL BY THE LOCAL CITY/TOWN, APPROVAL BY THE TOWN UTILITY AGENCIES, AND MASSDOT APPROVAL.
- 6. THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE COMMONWEALTH OF MASSACHUSETTS TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.

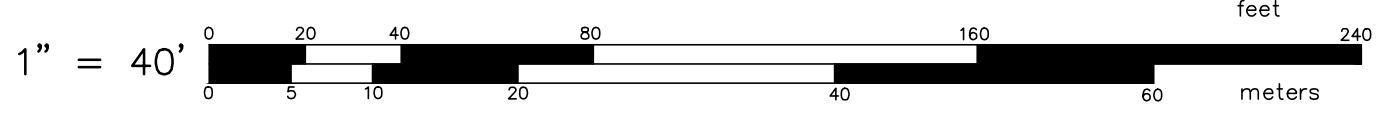
- 7. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
- 8. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS MUST CONFORM TO THE LOCAL CITY/TOWN CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
- 9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 10. THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- 11. ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
- 12. AT ALL TIMES THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
- 13. NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.

DEVELOPMENT SUMMARY

Table with 4 columns: Description, By Law, Existing, Proposed. Rows include Land Use, Min. Land Area, Min. Front Yard Building Setback, Min. Side Yard Building Setback, Min. Rear Yard Building Setback, Max. Bldg Height, Max. Lot (Structure) Coverage, and Max. Lot (Impervious) Coverage.

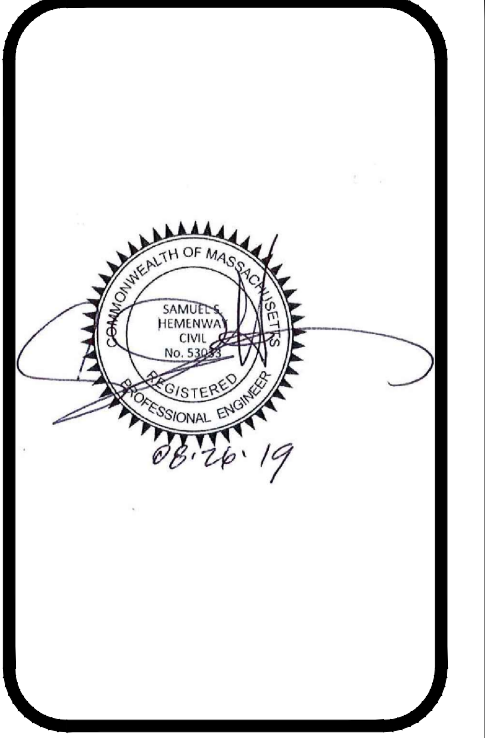
Table with 4 columns: Description, Required, Provided. Rows include Retail and Commercial (1 Space per 250 SF) for Existing and Proposed conditions.

* FRONT YARD REQUIREMENTS ESTABLISHED BY TOWN MEETING VOTES RECORDED ON PLATS ON FILE IN TOWN CLERK'S OFFICE. MINIMUM OF 20 FEET REQUIRED IF NONE SPECIFIED. ** WHEN ABUTTING A RESIDENCE DISTRICT, 10 FEET. NONE REQUIRED ELSEWHERE, PROVIDED THAT ACCESS TO REAR OF STRUCTURE AND SPACE FOR ANY REQUIRED OFF-STREET LOADING OR PARKING CAN BE GAINED BY OTHER MEANS. ***ACCESSIBLE PARKING: REQUIRED: 7 SPACES; PROVIDED: 12 SPACES



GENERAL NOTES, LEGEND & OVERALL PLAN FOR FORMER BENNY'S RENOVATIONS (MAP 26; LOTS 60, 60A & 60B) SITUATED AT 151 HUTTLESTON AVE & 9 CROSS ST FAIRHAVEN, MASSACHUSETTS PREPARED FOR CARPIONATO GROUP, LLC

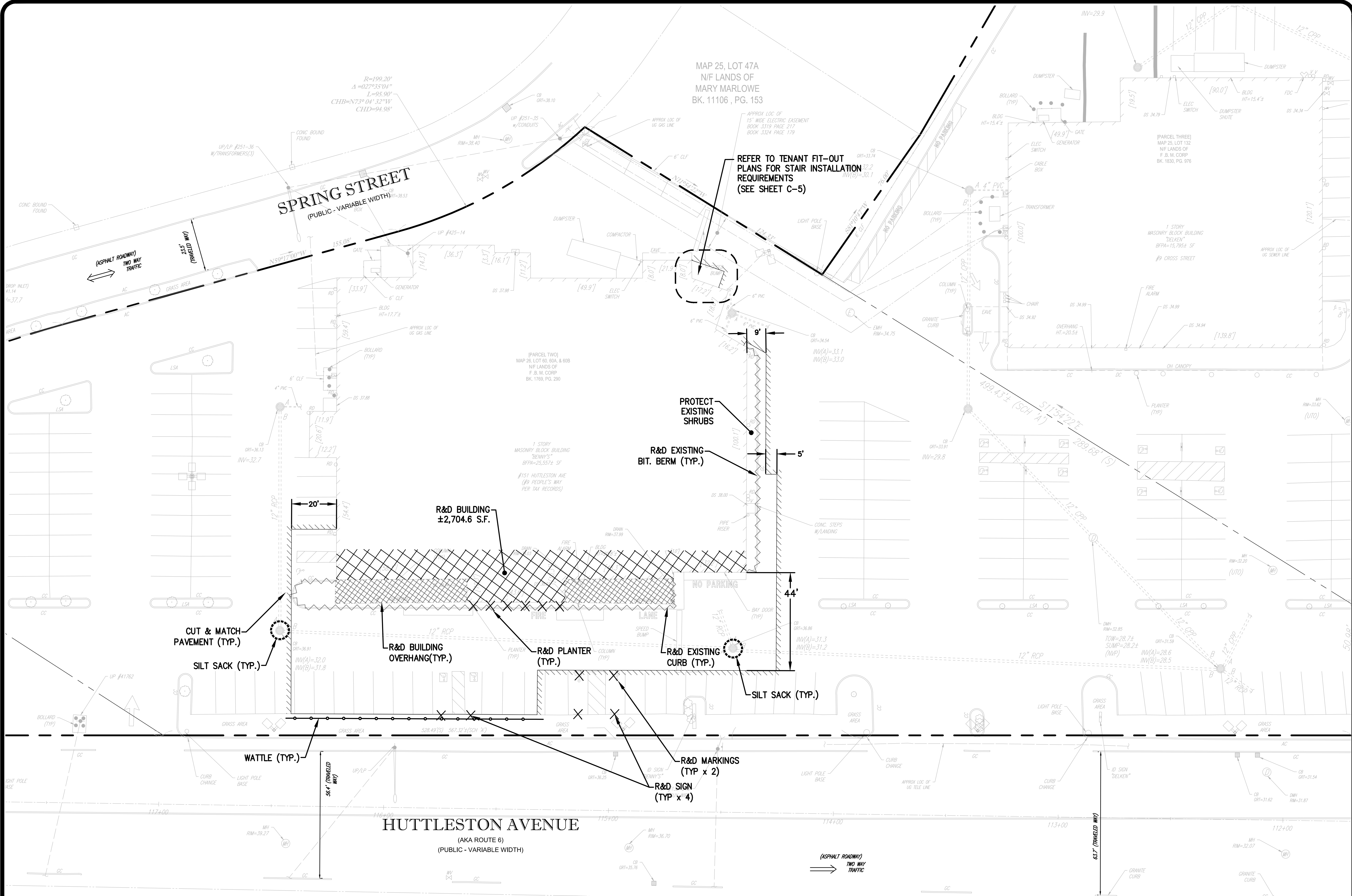
Table with 4 columns: NO., REVISION, BY, DATE. A grid for tracking changes to the plan.



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JOB NO. 7202-00 DWG. NO. 7202-00-BASE.DWG SCALE: AS SHOWN SHEET C-1

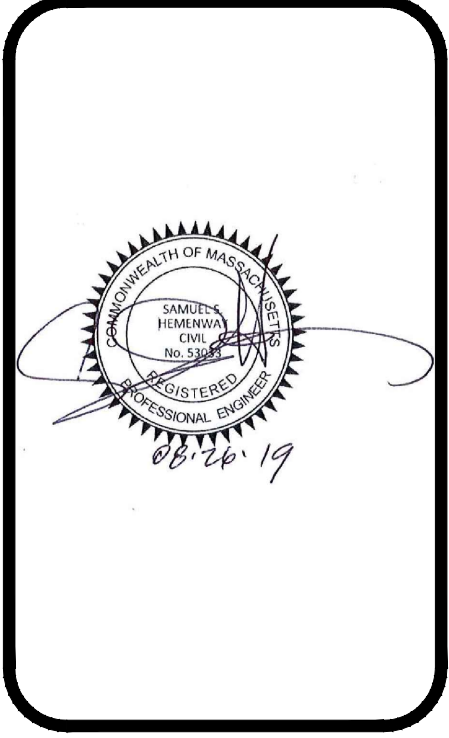
DRAWN BY K.Y.Y. CHECK BY S.S.H. APPROVED S.B.G. DATE: MARCH, 2019 SHEET C-1 1 OF 5 SHEETS



MAP 25, LOT 47A
N/F LANDS OF
MARY MARLOWE
BK. 11106, PG. 153

DEMOLITION PLAN
FOR
FORMER BENNY'S RENOVATIONS
(MAP 26; LOTS 60, 60A & 60B)
SITUATED AT
151 HUTTLESTON AVE & 9 CROSS ST
FAIRHAVEN, MASSACHUSETTS
PREPARED FOR
CARPIONATO GROUP, LLC

NO.	REVISION	BY	DATE



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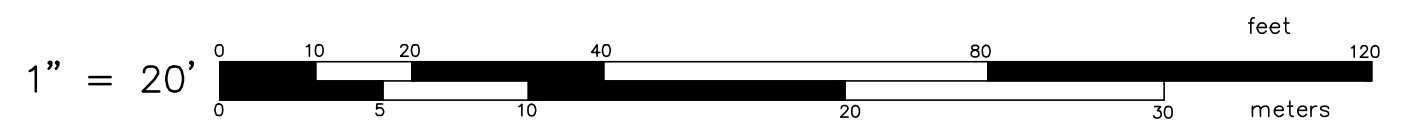
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DEMOLITION LEGEND

- R&D REMOVE & DISPOSE
- REMOVE & DISPOSE UTILITIES/CURB
- X REMOVE & DISPOSE EXISTING FEATURE
- ▨ BUILDING DEMOLITION

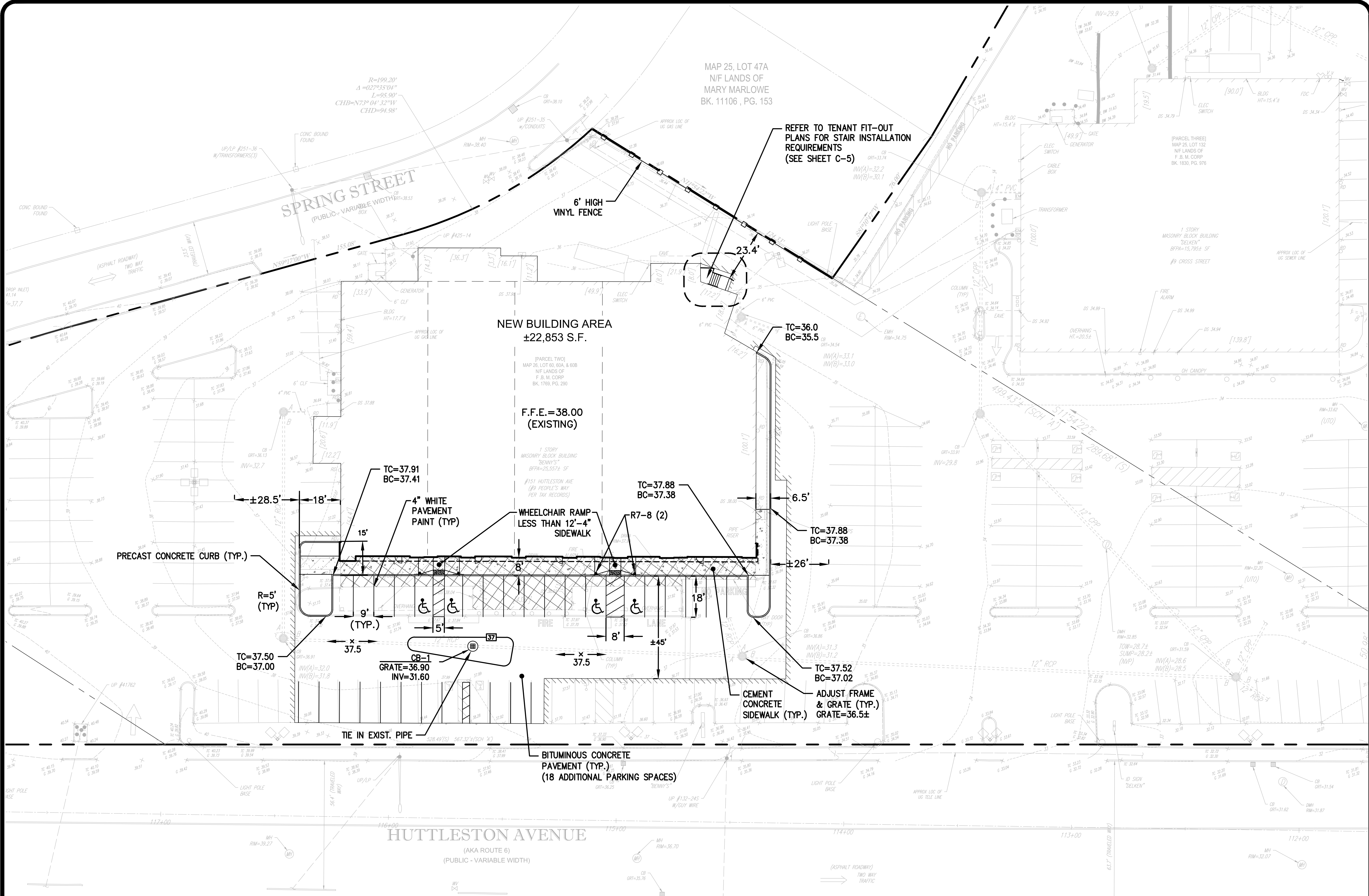
NOTES THIS SHEET

1. ALL EXISTING PAVEMENT WITHIN LIMITS OF DISTURBANCE INDICATED SHALL BE REMOVED AND DISPOSED OFF OF SITE.
2. PRIOR TO THE REMOVAL OF ANY ON-SITE SOIL AND PAVEMENTS, THE CONTRACTOR SHALL INSTALL AND MAINTAIN PROPER EROSION CONTROLS ALONG LIMITS OF DISTURBANCE AND AROUND EXISTING DRAINS TO BE PROTECTED, ETC.



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SCALE: AS SHOWN	APPROVED S.B.G
	DATE: MARCH, 2019

SHEET
C-2
2 OF 5 SHEETS



MAP 25, LOT 47A
N/F LANDS OF
MARY MARLOWE
BK. 11106, PG. 153

REFER TO TENANT FIT-OUT
PLANS FOR STAIR INSTALLATION
REQUIREMENTS
(SEE SHEET C-5)

NEW BUILDING AREA
±22,853 S.F.

F.F.E. = 38.00
(EXISTING)

PRECAST CONCRETE CURB (TYP.)

R=5'
(TYP.)

TC=37.91
BC=37.41

4" WHITE
PAVEMENT
PAINT (TYP.)

WHEELCHAIR RAMP
LESS THAN 12'-4"
SIDEWALK

TC=37.88
BC=37.38

R7-8 (2)

TC=37.88
BC=37.38

TC=37.50
BC=37.00

CB-1
GRATE=36.90
INV=31.60

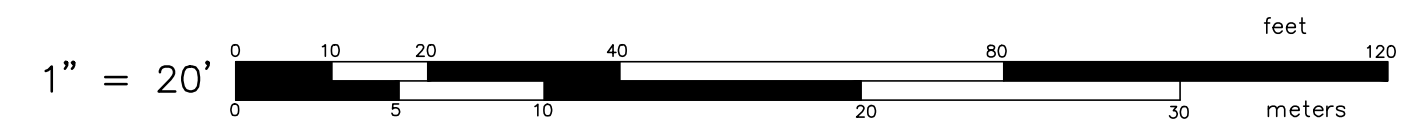
BITUMINOUS CONCRETE
PAVEMENT (TYP.)
(18 ADDITIONAL PARKING SPACES)

CEMENT
CONCRETE
SIDEWALK (TYP.)

ADJUST FRAME
& GRATE (TYP.)
GRATE=36.5±

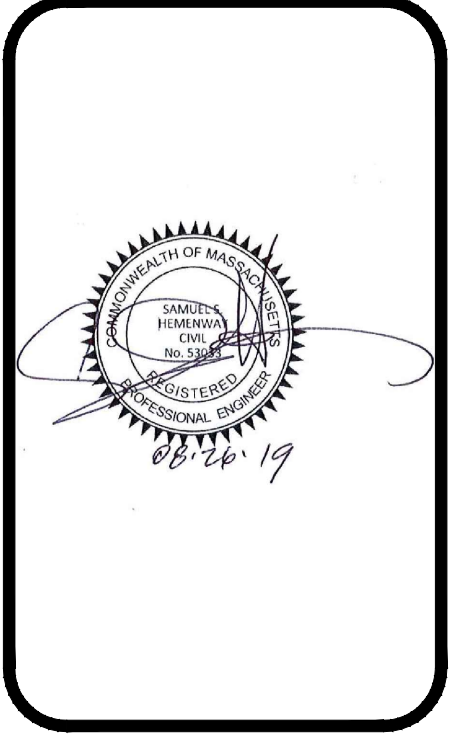
NOTES THIS SHEET

- SEE SHEET C-1 FOR LEGEND AND NOTES.



CONSTRUCTION LAYOUT PLAN
FOR
FORMER BENNY'S RENOVATIONS
(MAP 26; LOTS 60, 60A & 60B)
SITUATED AT
151 HUTTLESTON AVE & 9 CROSS ST
FAIRHAVEN, MASSACHUSETTS
PREPARED FOR
CARPIONATO GROUP, LLC

NO.	REVISION	BY	DATE
1	ADDED FENCING AT ABUTTER	SSH	08/16/19



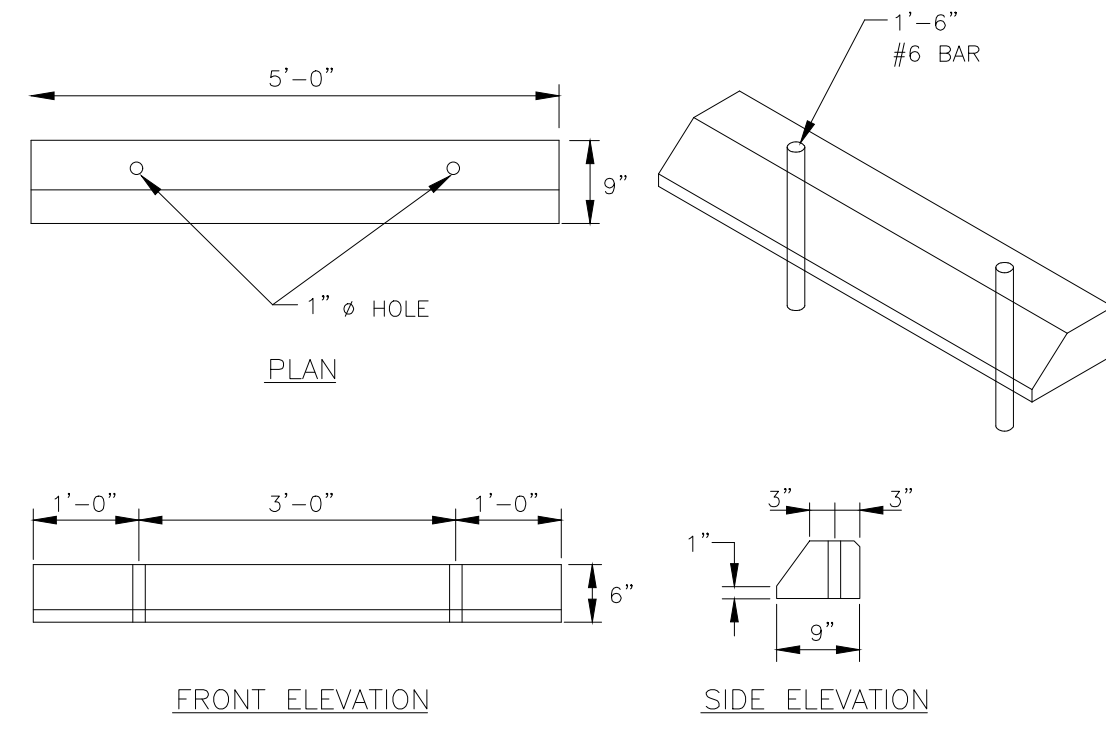
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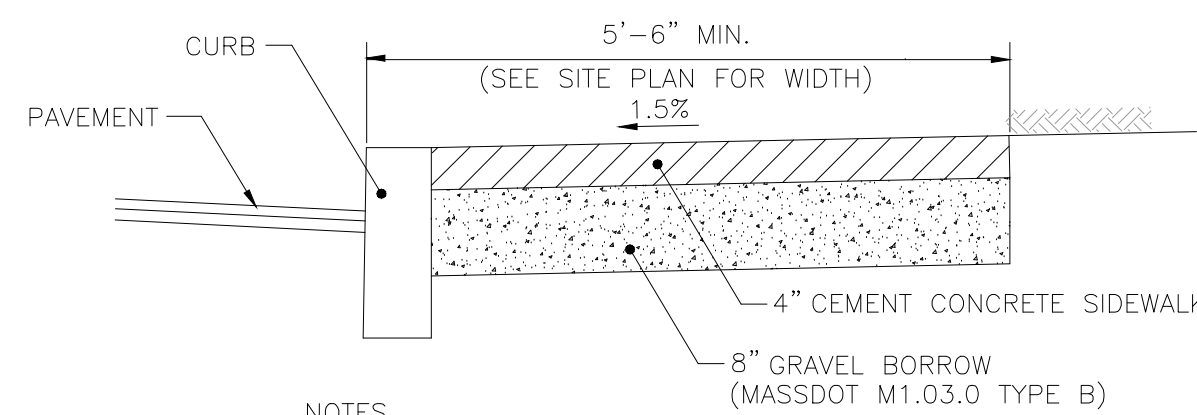
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	DATE: MARCH, 2019

SHEET
C-3
3 OF 5 SHEETS



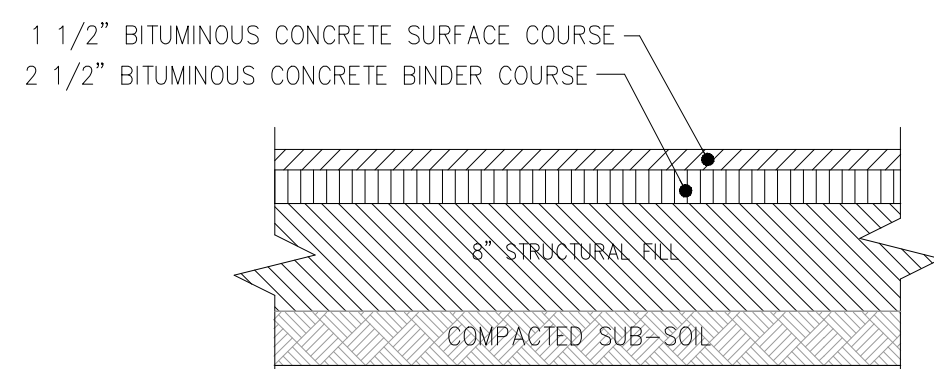
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
 3. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.

PRECAST CONCRETE CAR STOP
N.T.S.



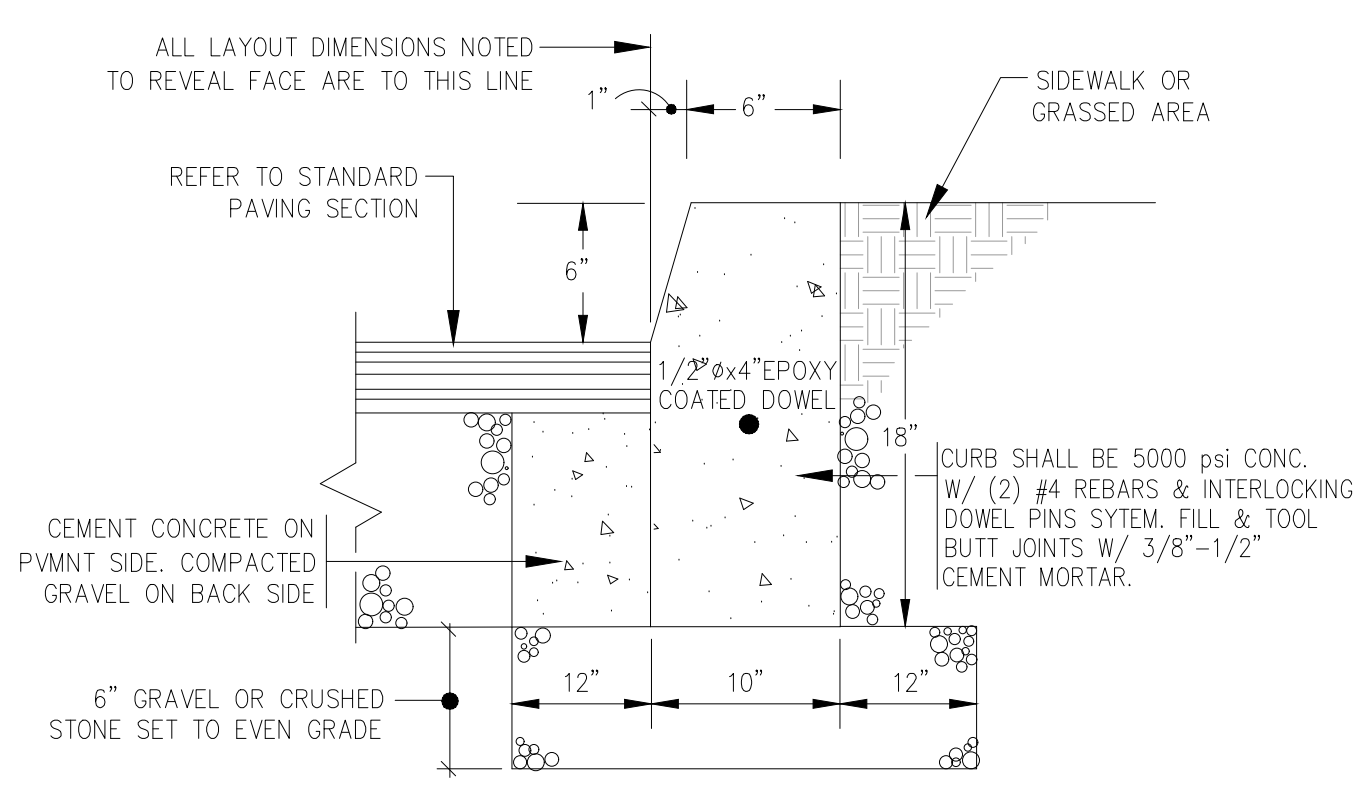
- NOTES**
1. SHALL BE IN ACCORDANCE WITH MASSDOT SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE MASSDOT E.106.3.0

CEMENT CONCRETE SIDEWALK
N.T.S.



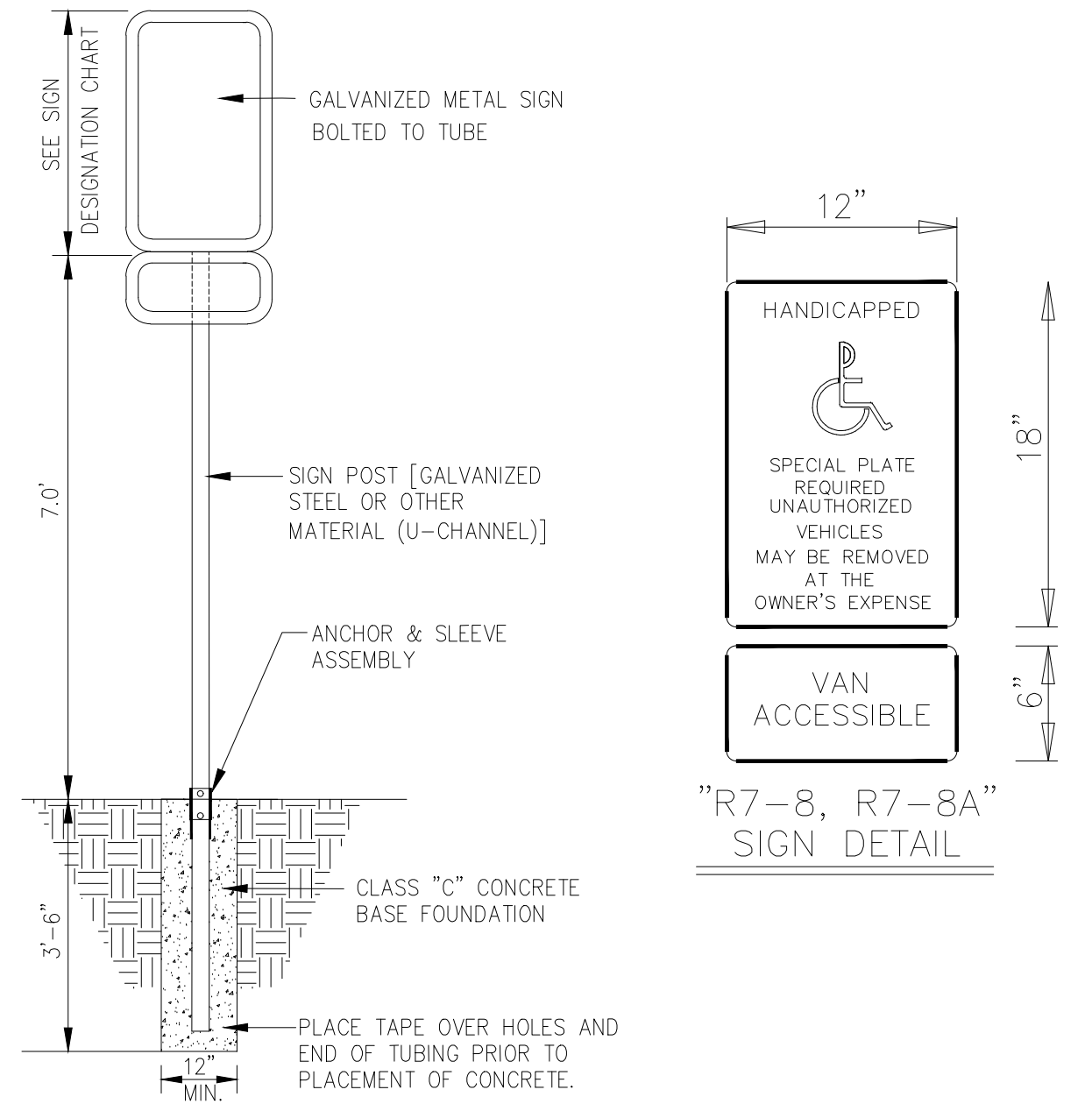
1. THE SOIL MUST HAVE A MOISTURE CONTENT DRY OF OPTIMUM AS DETERMINED MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D1557.
2. THE SOIL CAN BE COMPACTED TO 98% OF THE MAXIMUM STANDARD PROCTOR DENSITY AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D698
3. THE SOIL SHALL NOT BE USED IF THE MATERIAL CONTAINS ORGANIC MATTER, RUBBLE, DEBRIS OR ANY OTHER DELETERIOUS MATERIAL
4. SUBMIT MIX DESIGN TO THE CIVIL ENGINEER OF RECORD AT LEAST 30 DAYS PRIOR TO BEGINNING ASPHALT PAVING OPERATIONS. MIX DESIGNS OVER ONE YEAR OLD WILL NOT BE ACCEPTED. MIX DESIGNS SUBMITTAL SHALL FOLLOW THE LATEST EDITION OF THE MASSDOT STANDARD SPECIFICATIONS.

BITUMINOUS CONCRETE PAVEMENT SECTION

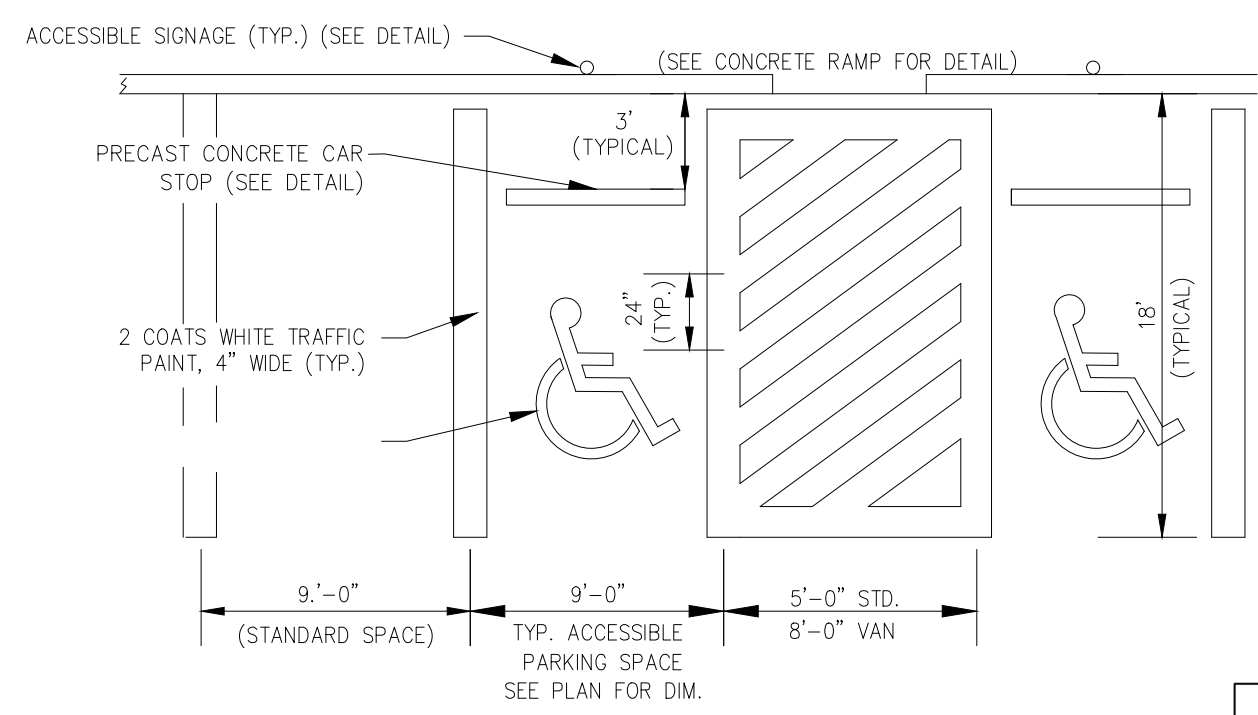


- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 500 OF THE M.A. STANDARD SPECIFICATIONS FOR HIGHWAYS & BRIDGES.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADI OF 160' OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160' RADIUS.
 5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
 6. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURBING IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE. OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF BASE COURSE.

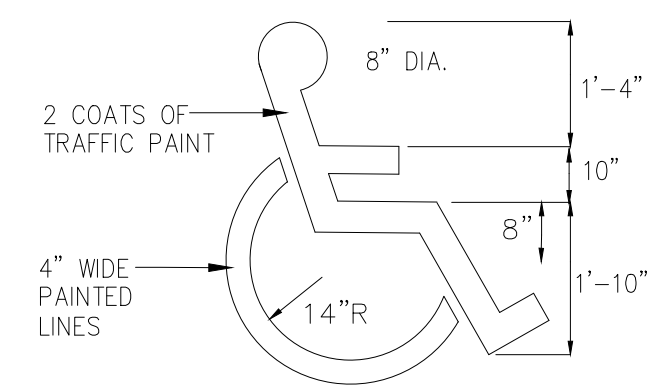
PRECAST CONCRETE CURB
N.T.S.



ACCESSIBLE SIGNAGE DETAIL
N.T.S.

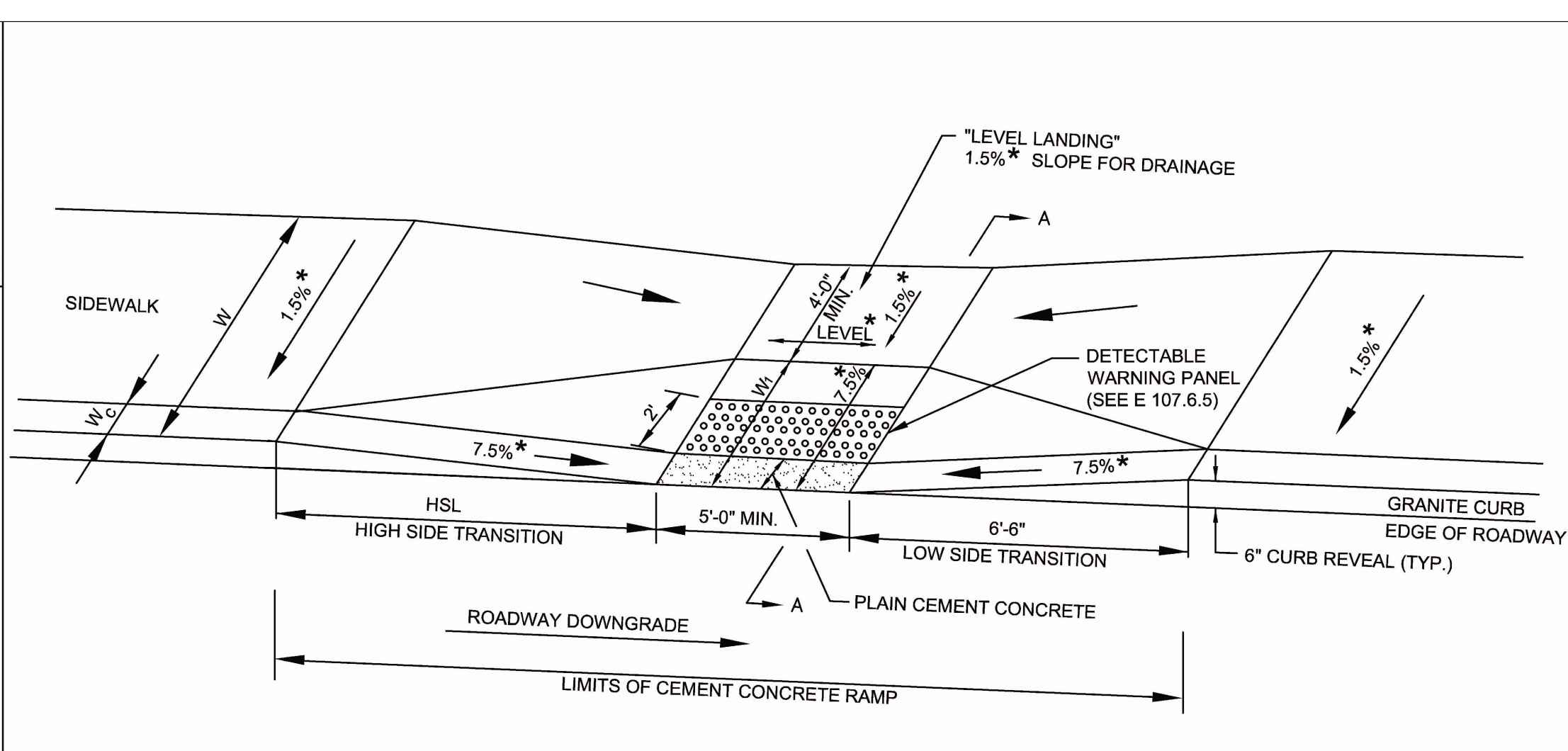


PAVEMENT STRIPING
N.T.S.

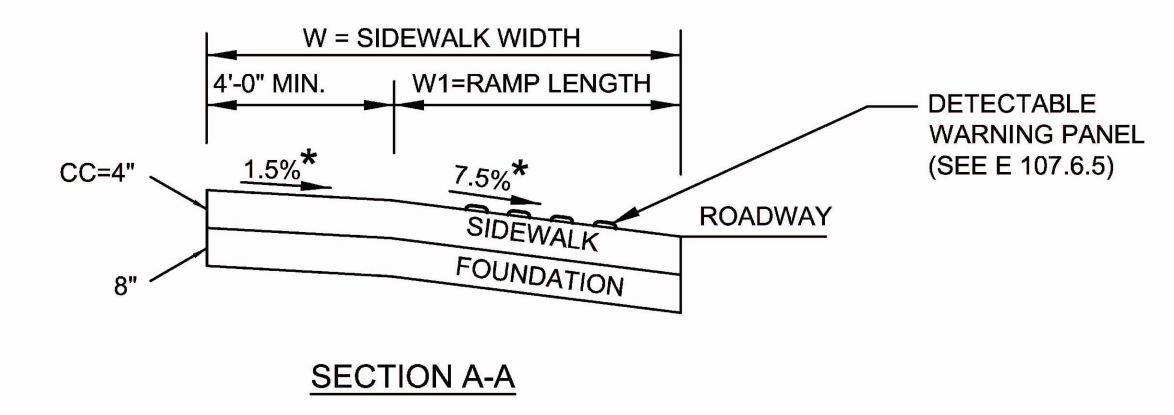


ACCESSIBLE SYMBOL
N.T.S.

MASSDOT CONSTRUCTION STANDARDS
WHEELCHAIR RAMPS LESS THAN 12'-4" SIDEWALK
DATE OF ISSUE: OCTOBER 2017
DRAWING NUMBER: E 107.2.0



- LEGEND**
- HSL = HIGH SIDE TRANSITION LENGTH (SEE E 107.9.0)
 - W = SIDEWALK WIDTH
 - W_C = CURB WIDTH
 - W₁ = PERPENDICULAR RAMP LENGTH
 - CC = CEMENT CONCRETE
 - * = TOLERANCE FOR CONSTRUCTION ±0.5%
- USABLE SIDEWALK WIDTH PER AAB = W-W_C
RAMP LENGTH, W₁ = W-4'-0" Min



MASSDOT CONSTRUCTION STANDARDS
PRECAST CONCRETE CATCH BASIN
DATE OF ISSUE: OCTOBER 2017
DRAWING NUMBER: E 201.4.0

FOR GRATE SEE DRAWING E 2017.0 - E 201.11.0
FOR FRAME SEE DRAWING E 201.6.0
24" MIN. SQUARE OPENING**
8" MIN.
BRICKS MAY BE USED FOR GRADE ADJUSTMENTS. FRAME TO BE SET IN FULL BED OF MORTAR.
5" MIN.
MORTAR ALL JOINTS
PROVIDE "V" OPENINGS
OUTSIDE OF PIPE +2" CLEARANCE
MIN. 0.12 SQ. IN STEEL PER VERTICAL FOOT. PLACED ACCORDING TO AASHTO DESIGNATION M199
1" CLEAR
SEE NOTE #2
SEE DRAWING E 202.4.0 FOR JOINT DETAILS
4" ± 1" DIAMETER
WEEPIHOLE (OPENING TO BE PRECAST IN RISER SECTION)
SEE NOTE #2
5 IN MIN.
6"± (STANDARD DEPTH) W/ 6"± (DEEP SUMP)
HEIGHT OF RISER SECTIONS VARY FROM 1' TO 4'
TAPERED SECTION
18"± 24"±

NOTES:

1. DETAILS NOT INDICATED ABOVE ARE TO BE SIMILAR TO THOSE SHOWN ON E 201.3.0
2. FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE.
3. FOR DESCRIPTION, MATERIALS AND CONSTRUCTION METHOD, SEE STANDARD SPECIFICATIONS.
4. ALL CONCRETE TO BE AIR ENTRAINED

MASSDOT CONSTRUCTION STANDARDS
DETECTABLE WARNING PANEL FOR WHEELCHAIR RAMPS AND STANDARD RAMP TERMINOLOGY
DATE OF ISSUE: JUNE 2014
DRAWING NUMBER: E 107.6.5

TYPICAL INSTALLATION
STANDARD SIDEWALK
TRANSITION RAMP
LEVEL LANDING TURNING AREA
TRANSITION RAMP
STANDARD SIDEWALK
24" DEPTH OF DETECTABLE WARNING PANEL
FLARE
FLARE
6" DEPTH OF PLAIN CEMENT CONCRETE
RAMP TO STREET
TURNING AREA IN STREET FOR APEX RAMPS AND RAMPS NOT ALIGNED WITH CROSSWALK
GUTTER LINE
TRANSITION CURB
NORMAL CURB REVEAL
TRANSITION CURB
NORMAL CURB REVEAL

DETAIL OF DETECTABLE WARNING PANEL

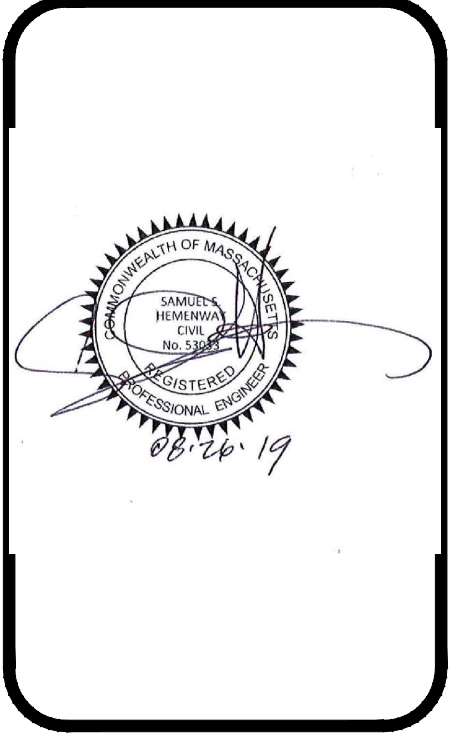
65" MIN. 1.6'-2.4" 1.6'-2.4" 65" MIN. 0.9'-1.4" 0.2"

SECTION A-A

NOTE:
PANELS MAY BE CONCRETE PRECAST OR CAST IN PLACE OR OTHER SUITABLE MATERIAL PERMANENTLY APPLIED TO THE RAMP. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

CONSTRUCTION DETAILS I
FOR
FORMER BENNY'S RENOVATIONS
(MAP 26; LOTS 60, 60A & 60B)
SITUATED AT
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PREPARED FOR
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NO.	REVISION	BY	DATE



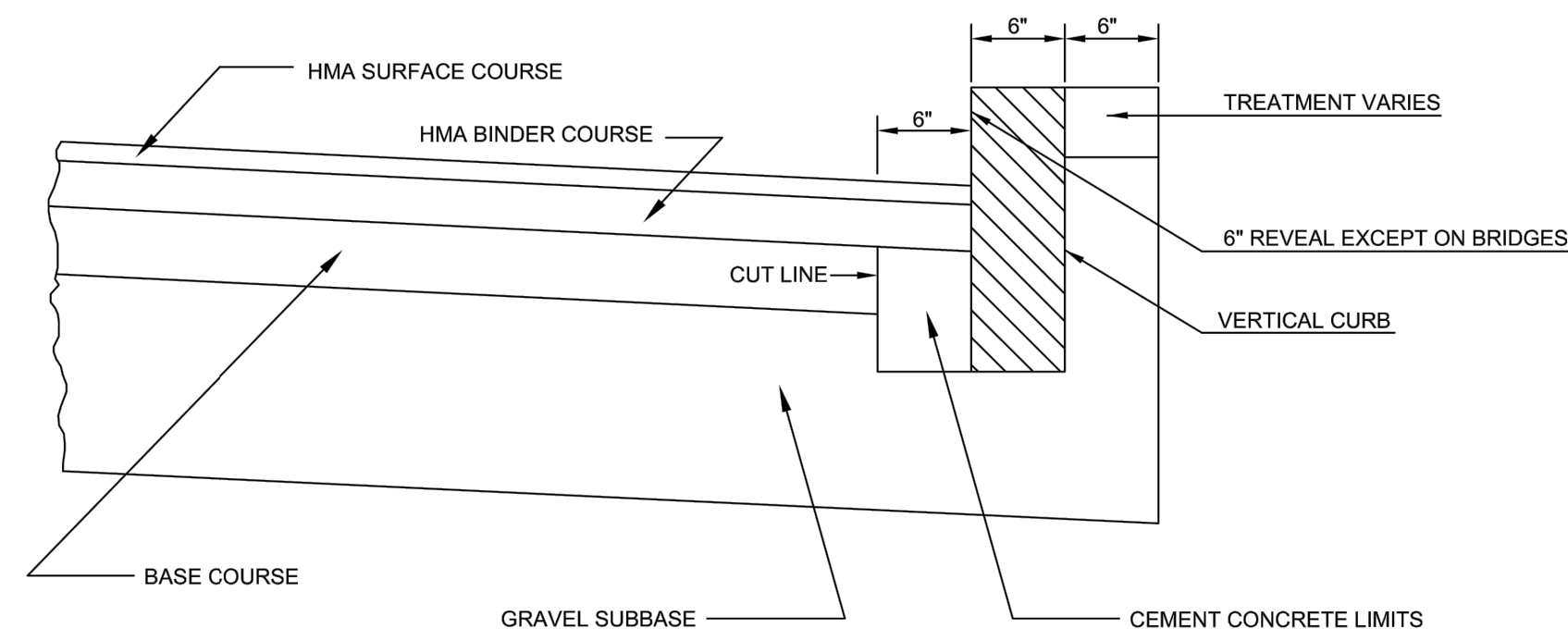
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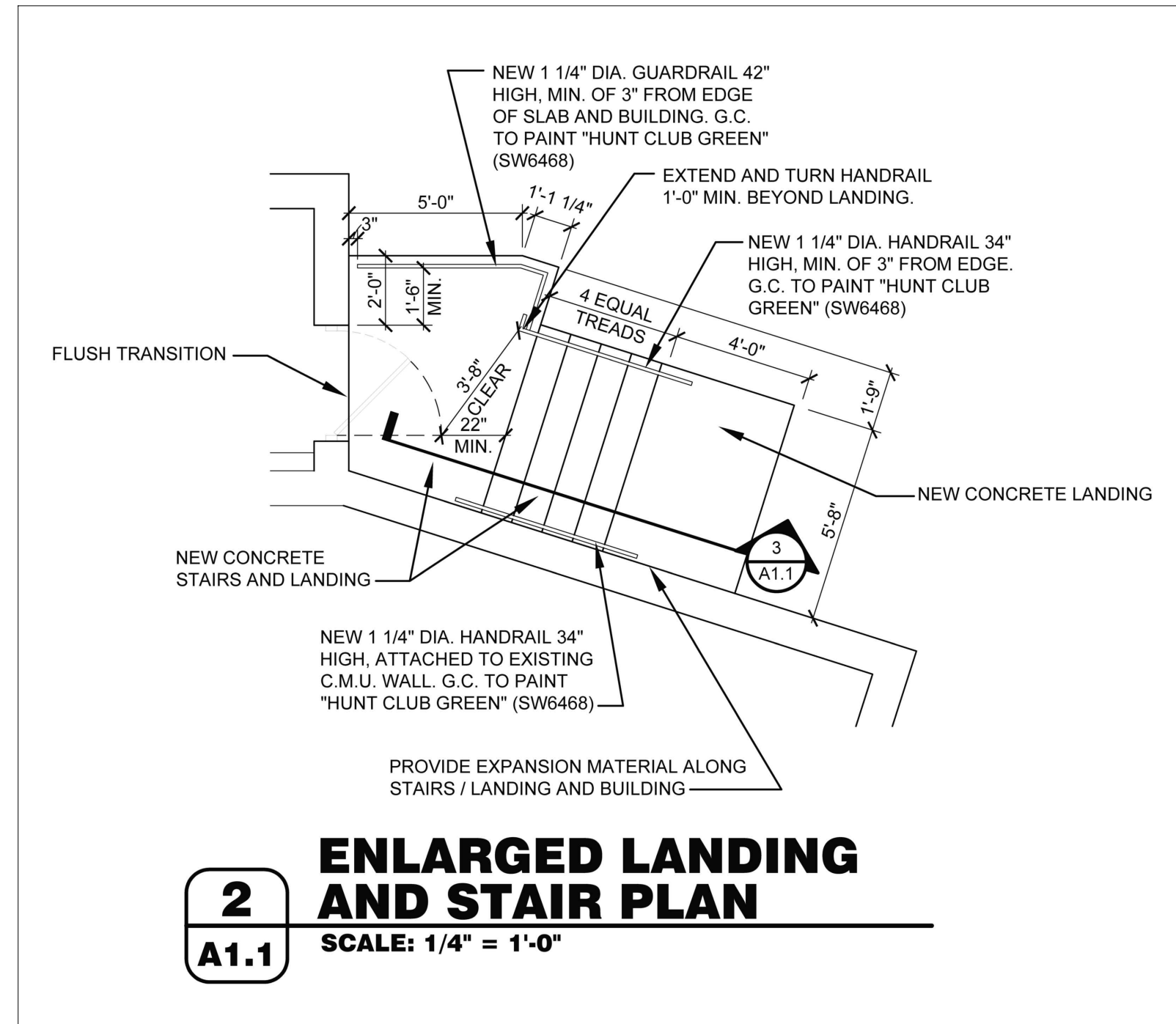
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SCALE: AS SHOWN	APPROVED S.B.G
	DATE: MARCH, 2019

SHEET
C-4
4 OF 5 SHEETS



NOTES:

1. THIS PROCEDURE IS APPLICABLE ONLY IF CURB IS TO BE SET AFTER BASE COURSE IS IN PLACE PRIOR TO BINDER AND TOP PLACEMENT.
2. CUT NEAT LINE 6" FROM CURB LINE AND REMOVE BASE AND GRAVEL. REPLACE WITH CEMENT CONCRETE.
3. ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPTABLE UNDER SECTION M4 OF THE STANDARD SPECIFICATIONS MAY BE USED. ALL TEST REQUIREMENTS ARE WAIVED. HOT MIX ASPHALT SHALL NOT BE USED AS A SUBSTITUTE.
4. PAYMENT PER FOOT OF CURB IS INCLUSIVE OF ALL ITEMS OF WORK REQUIRED TO COMPLETE PROPER INSTALLATION OF THE CURB.



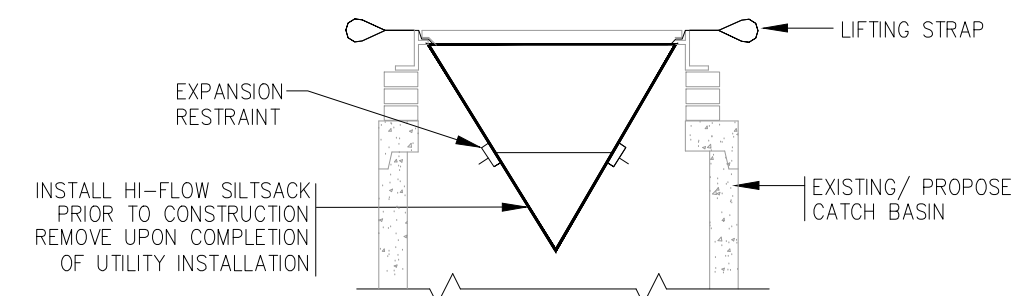
2 ENLARGED LANDING AND STAIR PLAN
SCALE: 1/4" = 1'-0"

FOR INFORMATION ONLY

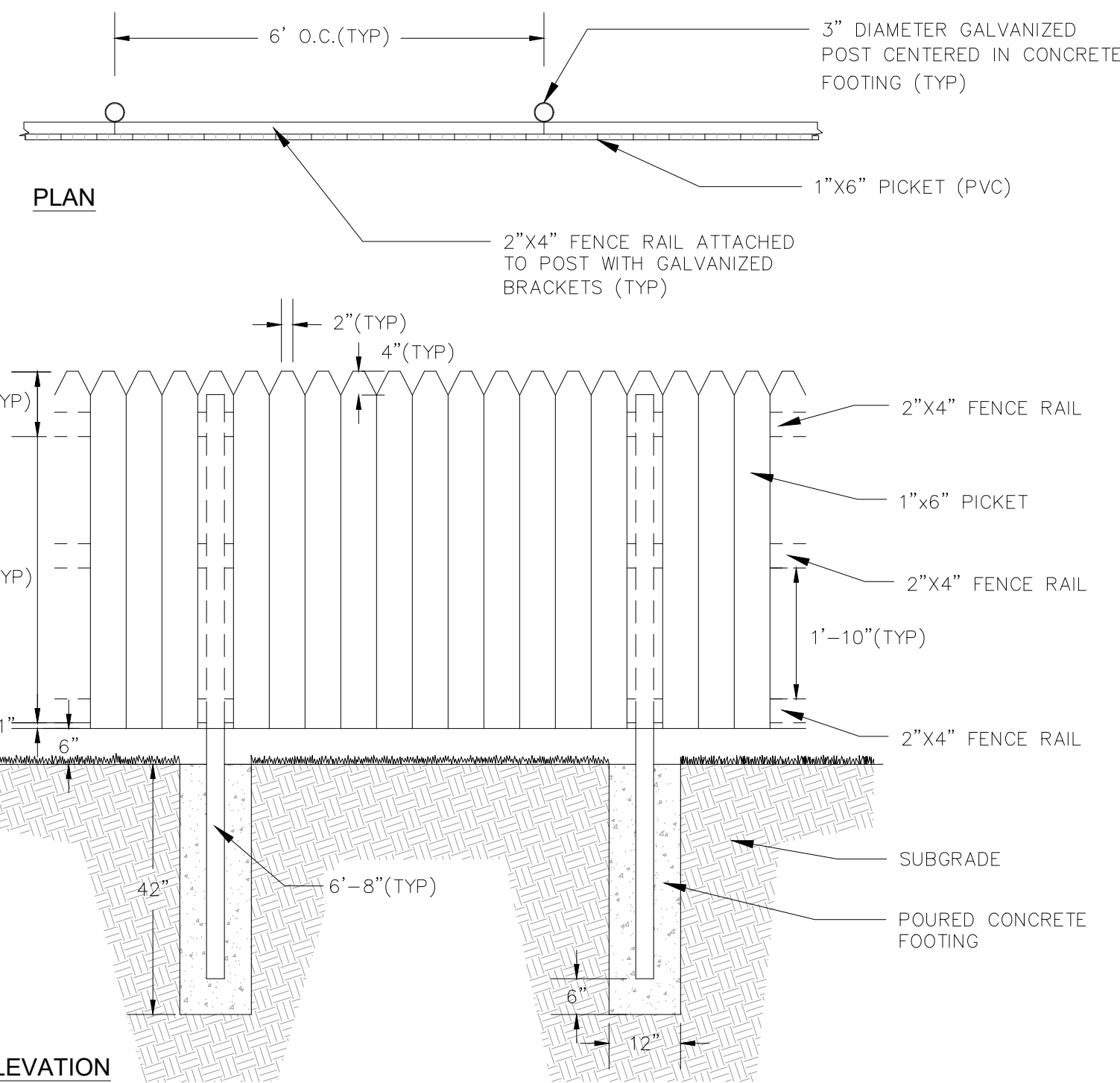
REF: 'RE-MODEL O'REILLY AUTO PARTS STORE'
SHEET A1.1 - FLOOR PLAN (04-30-2019)
BY: CASCO + RJ5 ARCHITECTURE, ENGINEERING & DESIGN
ENGINEERING & DESIGN

INLET PROTECTION / SILTSACK AT CATCH BASIN

N.T.S.



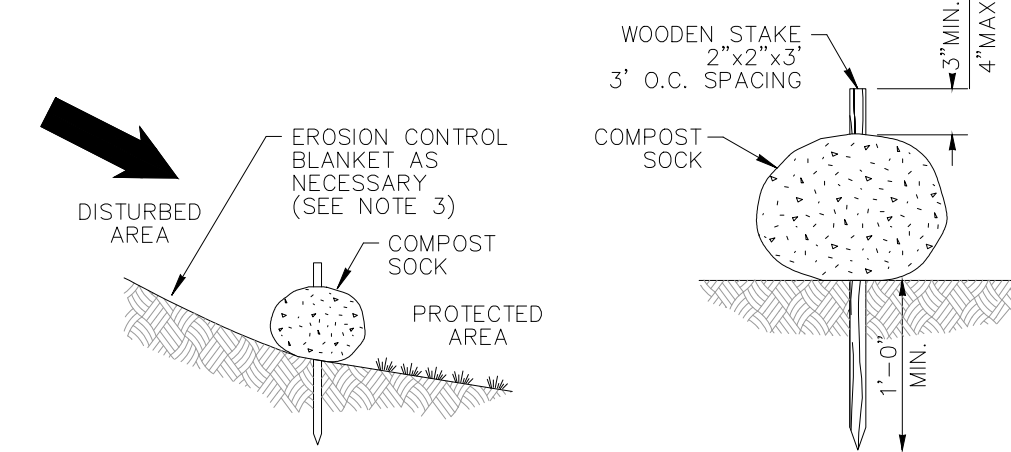
INSTALL HI-FLOW SILTSACKS PRIOR TO CONSTRUCTION REMOVE UPON COMPLETION OF UTILITY INSTALLATION



NOTES:
1. DETAIL PROVIDED FOR BASIS OF DESIGN PURPOSES. FINAL DIMENSIONAL REQUIREMENTS AND/OR FENCE MODEL SELECTION MAY VARY WITH OWNER APPROVAL.

FENCE DETAIL:

N.T.S.



COMPOST SILT SOCK DETAIL

N.T.S.

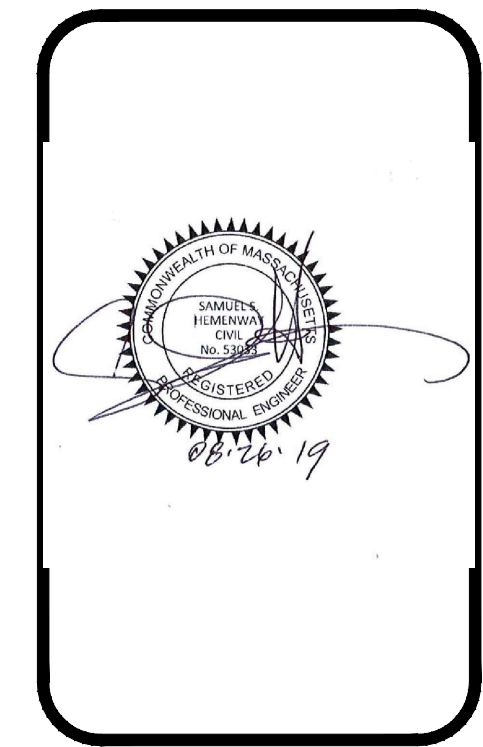
NOTES:

1. COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
3. WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
4. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
5. ALWAYS INSTALL COMPOST SOCK ALONG SLOPE PERPENDICULAR TO FLOW AROUND SEDIMENT STORAGE AND TRUCK WASH-OUT AREAS.
6. REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.
7. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.

CONSTRUCTION DETAILS 2

FOR
FORMER BENNY'S RENOVATIONS
(MAP 26; LOTS 60, 60A & 60B)
SITUATED AT
151 HUTTLESTON AVE & 9 CROSS ST
FAIRHAVEN, MASSACHUSETTS
PREPARED FOR
CARPIONATO GROUP, LLC

NO.	REVISION	BY	DATE
1	ADDED FENCE DETAIL	SSH	08/16/19



GAROFALO

GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

Garofalo & Associates, Inc.
These drawings are the property of the engineer/surveyor and have been prepared for the specific project and site shown. They are not to be used for any other purpose, location or owner without written consent of the engineer or one of its directors.

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

JOB NO. 7202-00	DRAWN BY K.Y.Y.
DWG. NO. 7202-00-DETAILS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: MARCH, 2019

SHEET

C-5

5 OF 5 SHEETS

PLANT LIST:

CANOPY TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
AR	ACER RUBRUM 'BOWHALL' BOWHALL SWAMP MAPLE COLUMNAR	5	2"-2.5" CAL	
GT	GLEDITSIA TRIACANTHOS 'SKYCOLE' THORNLESS HONEY LOCUST SKYLINE	4	2"-2.5" CAL	

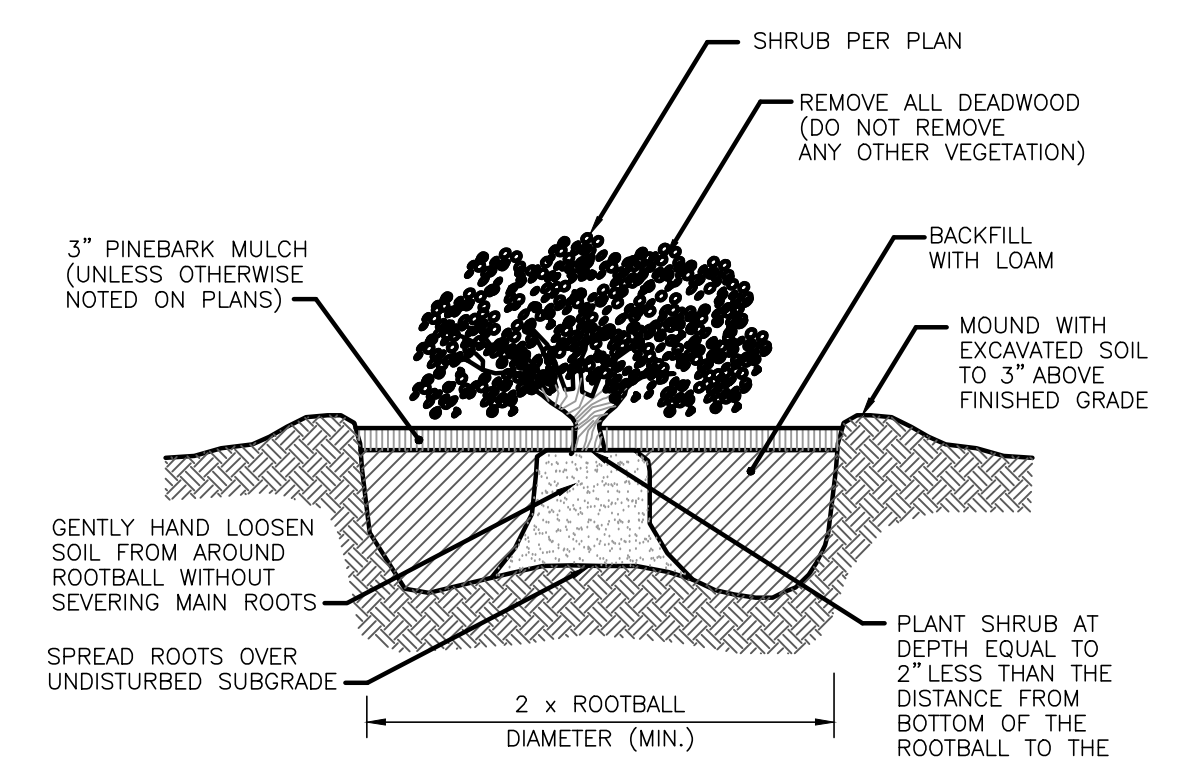
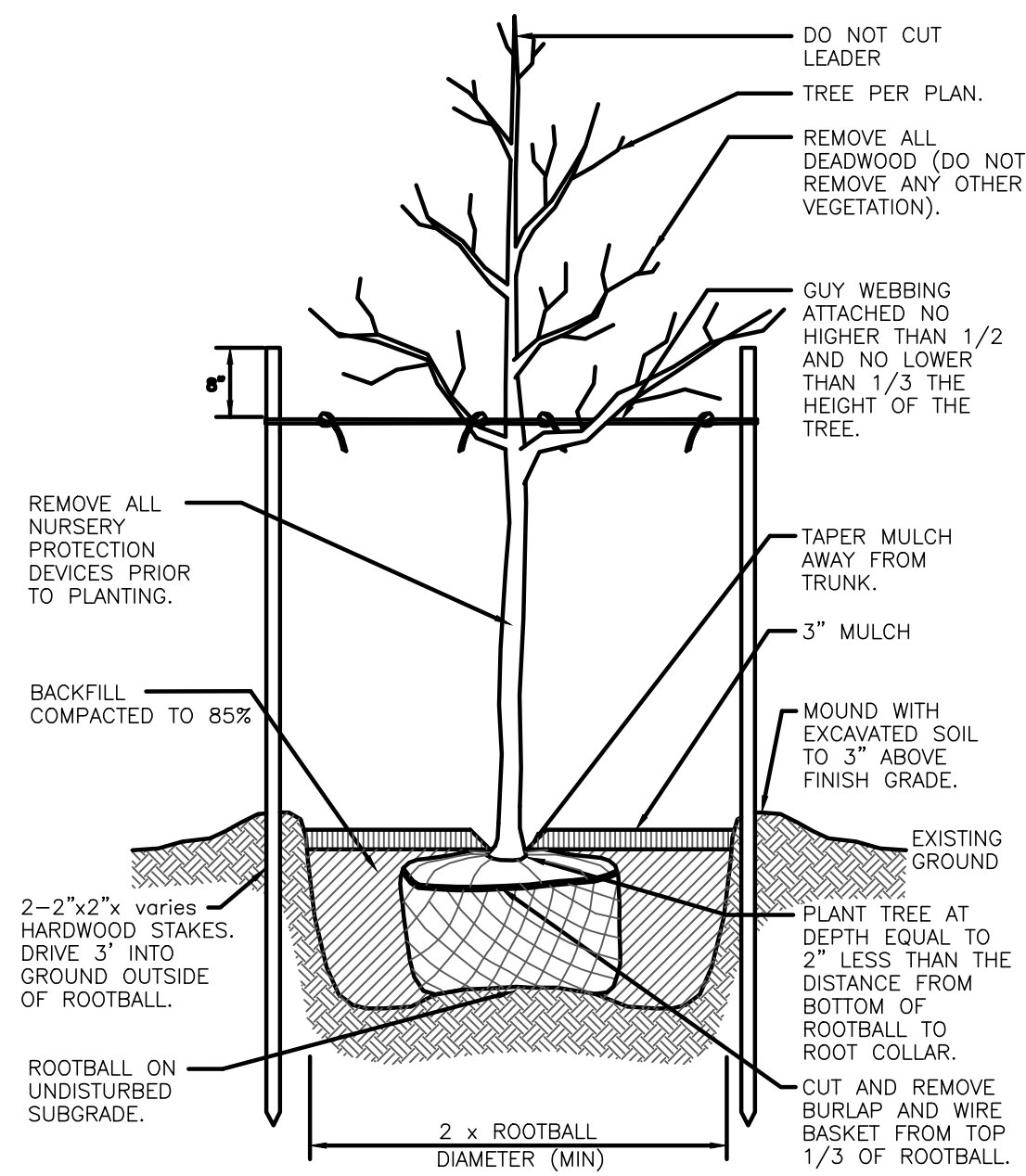
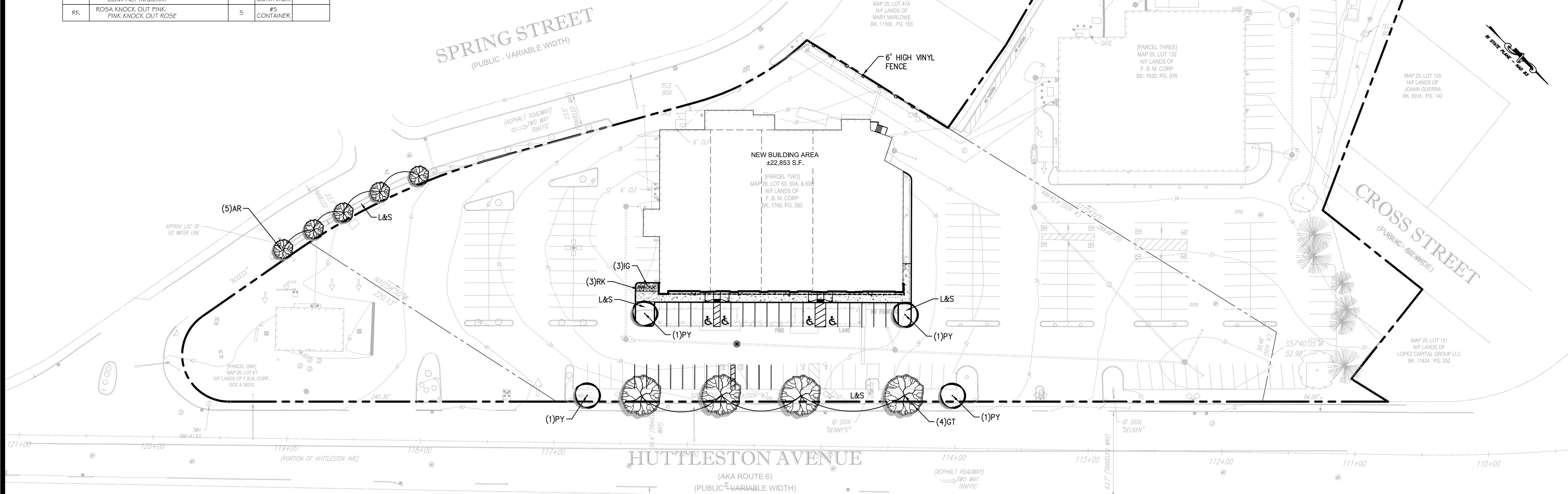
FLOWERING TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
PY	PRUNUS X YEDOENSIS YOSHINO CHERRY SINGLE WHITE FLOWER	4	7"-8" CLUMP	

EVERGREEN/DECIDUOUS SHRUBS				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
IG	ILEX GLABRA 'COMPACTA' COMPACT INKBERRY	3	# 3 CONTAINER	
RK	ROSA KNOCK OUT PINK PINK KNOCK OUT ROSE	5	#5 CONTAINER	

GENERAL SEEDING MIX (L&S)

	PERCENT BY WEIGHT	PERCENT BY VOLUME
CHEWINGS FESCUE IMPROVED VARIETIES	30	85
KENTUCKY BLUEGRASS IMPROVED VARIETIES	30	90
PERENNIAL RYEGRASS IMPROVED VARIETIES	40	90

APPLICATION RATE: 200 LBS / ACRE



GENERAL LANDSCAPE NOTES:

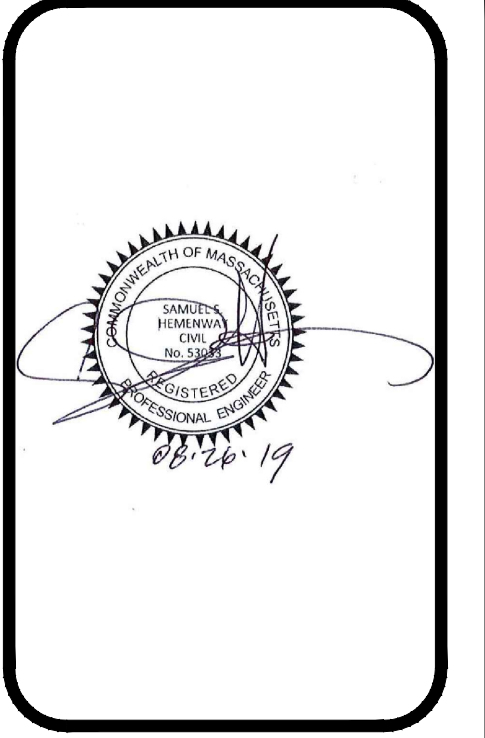
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL PLANT MATERIAL SHALL MEET THE AMERICAN OF NURSERYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY. NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. IF THE FIRST YEAR ENDS DURING THE DORMANT PERIOD, THE GUARANTEE SHALL EXTEND TO THE START OF THE NEXT LEAFING. DURING THE ONE-YEAR GUARANTEE PERIOD THE CONTRACTOR SHALL EMPLOY ACCEPTED HORTICULTURAL PRACTICES TO KEEP THE PLANTS INSTALLED IN LIVING, HEALTHY CONDITION. FOLLOWING THE ONE-YEAR GUARANTEE PERIOD THE OWNER/OWNERS SHALL INSPECT ALL PLANT MATERIAL FOR HEALTHY ORNAMENTAL QUALITY. AT THAT TIME SHOULD ANY PLANT MATERIAL BE FOUND IN INADEQUATE HEALTH THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE THE PLANT IN KIND AND PROVIDE A ONE-YEAR GUARANTEE FOR THE REPLACEMENT PLANT.
- INSTALL ALL PLANT MATERIAL AS SHOWN IN DETAILS.
- PROTECTION OF EXISTING PLANTINGS: MAXIMUM EFFORT SHOULD BE MADE TO SAVE TREES OF OTHER PLANT SPECIMENS WHICH ARE LARGE FOR THEIR SPECIES, RARE TO THE AREA, OR OF SPECIAL HORTICULTURAL OR LANDSCAPE VALUE. CONTACT OWNER/LANDSCAPE ARCHITECT BEFORE REMOVING ANY SPECIMEN OF THIS TYPE UNLESS OTHERWISE NOTED ON THE PLANS. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF SHRUBS OR TREES DESIGNATED ON THE LANDSCAPE PLAN TO BE RETAINED. PROTECTIVE BARRIERS ARE TO BE INSTALLED AROUND EACH PLANT AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF SUPPORTING. THEY SHALL BE OF MINIMUM OF FOUR FEET (4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED.
- DISTURBED AREAS: ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT, AND ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE RAKED TO REMOVE STONES AND LOAMED AND SEEDED AS PER SPECIFICATIONS.

LOAM AND SEEDING:

- APPLICATION OF LOAM AND SEED SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- LOAM MATERIAL TO BE FURNISHED SHALL CONSIST OF SCREENED LOOSE, FRIABLE, FINE SANDY LOAM OR SANDY LOAM, AS DEFINED BY THE USDA'S SOIL CONSERVATION SERVICE IN THE SOIL SURVEY MANUAL ISSUED IN 1993. FREE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, COBBLES, STONES, BRUSH, NOXIOUS WEEDS, LITTER AND OTHER MATERIALS WHICH ARE LARGER THAN 1/2-INCH IN ANY DIMENSION AND WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED. ORGANIC MATTER SHALL CONSTITUTE NOT LESS THAN 5 PERCENT NOR MORE THAN 20 PERCENT OF THE LOAM AS DETERMINED BY LOSS-ON-IGNITION OF OVEN DRIED SAMPLES THAT HAVE BEEN DRAWN BY THE ENGINEER, UNLESS OTHERWISE SPECIFIED OR DIRECTED. THE LOAM SHALL HAVE AN ACIDITY RANGE OF 5.5 PH TO 7.6 PH.
- LOAM SHALL BE SPREAD TO A DEPTH OF 4" IN SEEDING AREAS AND PLACED TRUE TO LINES AND GRADES SHOWN ON THE PLANS.
- THE LOAMED SURFACE SHALL BE GRADED, AND ALL ROOTS, SODS, WEEDS, COBBLES OR STONES WITH ANY DIMENSION GREATER THAN 1 INCH SHALL BE REMOVED AND LEGALLY DISPOSED OF. AFTER SHAPING AND GRADING, ALL TRUCKS AND OTHER EQUIPMENT NOT REQUIRED TO PERFORM SEEDING, MULCHING OR MOWING OPERATIONS SHALL BE EXCLUDED FROM THE LOAMED AREAS.
- LIME (GROUND OR PELLETIZED) SHALL BE APPLIED DRY AND SPREAD EVENLY OVER THE ENTIRE SURFACE TO BE SEEDED. UNLESS OTHERWISE SPECIFIED, THE APPLICATION RATE SHALL BE 1 TON PER ACRE. RAKING SHALL BE COMPLETED AFTER THE FERTILIZER HAS BEEN APPLIED.
- SEED SHALL BE APPLIED ONLY DURING THE FOLLOWING DATES:
SPRING SEEDING: MARCH 15 TO MAY 31.
FALL SEEDING: AUGUST 15 TO OCTOBER 15.
- THE CONTRACTOR SHALL WATER ALL SEEDED AREAS AND RESEED AS NECESSARY FOR A PERIOD OF 2-MONTHS OR UNTIL A HEALTH STAND OF GRASS IS ESTABLISHED AND APPROVAL HAS BEEN MADE BY THE OWNER/LANDSCAPE ARCHITECT.

LANDSCAPE PLAN
FOR
FORMER BENNY'S RENOVATIONS
(MAP 26; LOTS 60, 60A & 60B)
SITUATED AT
151 HUTTLESTON AVE & 9 CROSS ST
FAIRHAVEN, MASSACHUSETTS
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NO.	REVISION	BY	DATE
1	NEW SHEET - ADDED STREET TREES	SSH	08/16/19



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JOB NO. 7202-00	DRAWN BY K.Y.Y.
DWG. NO. 7202-00-BASE.DWG	CHECK BY S.S.H
SCALE: AS SHOWN	APPROVED S.B.G
	DATE: AUGUST 08, 2019

SHEET
L-1
1 OF 1 SHEET