

SITE PLAN

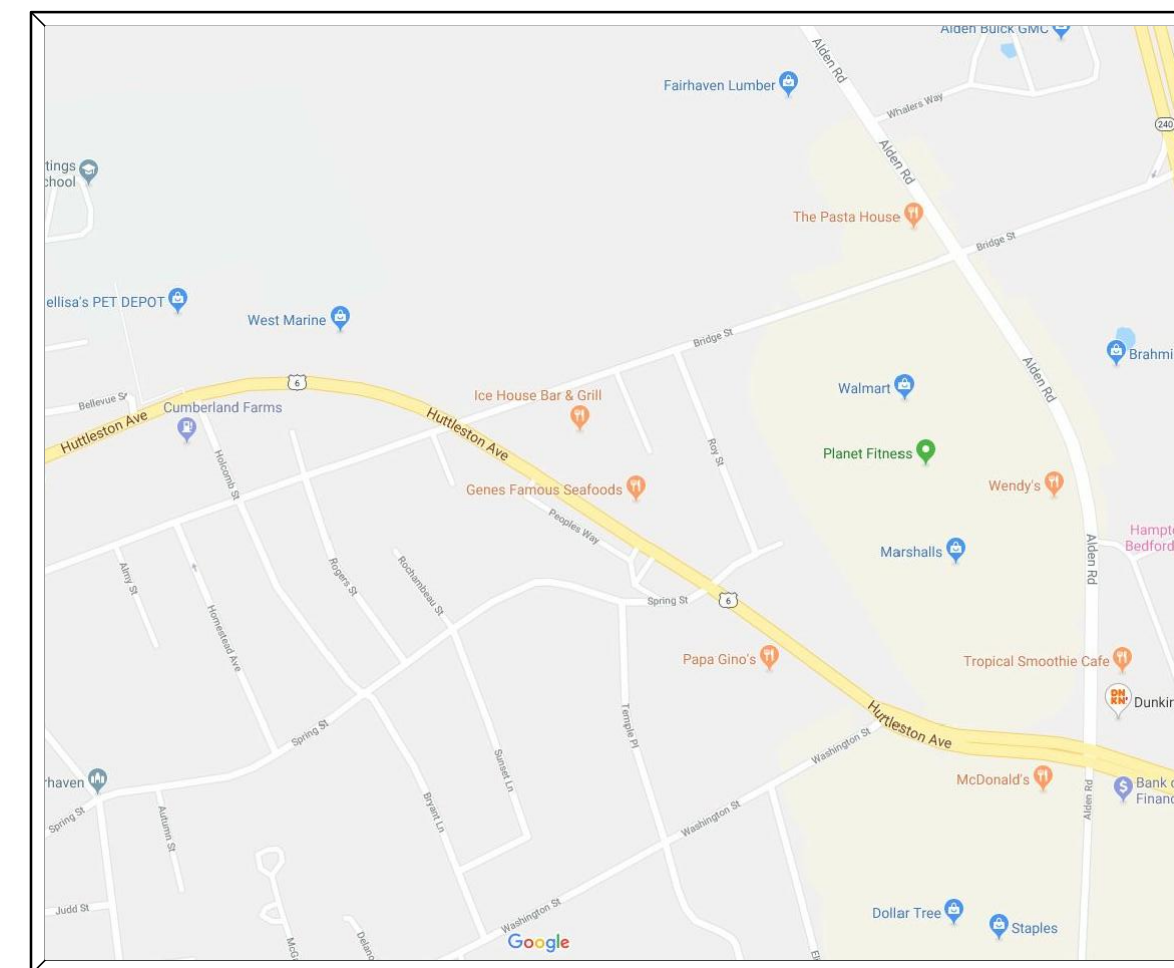
FOR:

FORMER BENNY'S RENOVATIONS

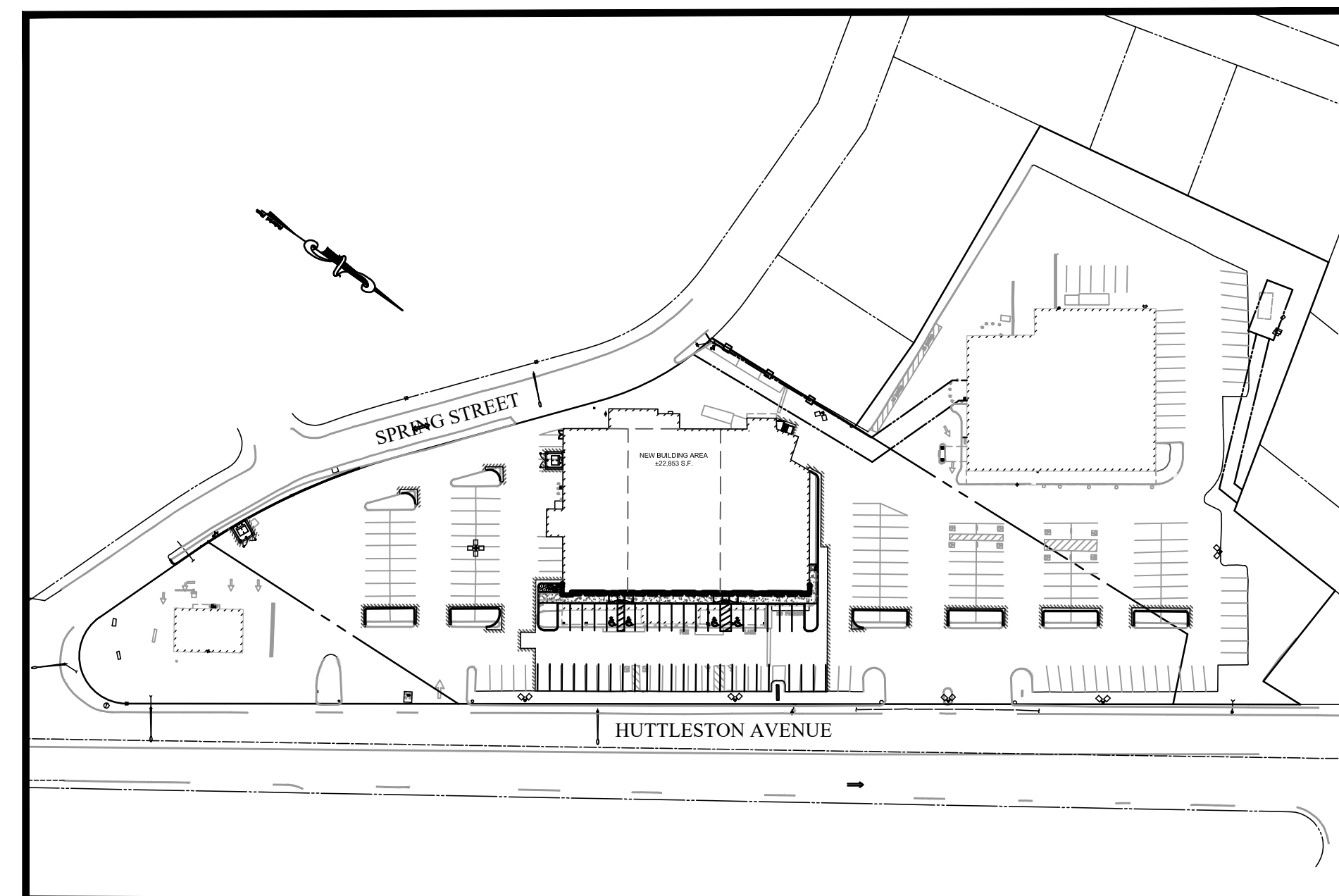
(ASSESSORS MAP 26, LOTS 60, 60A & 60B)

SITUATED AT:

151 HUTTLESTON AVENUE & 9 CROSS STREET
FAIRHAVEN, MASSACHUSETTS 02739



LOCUS MAP
NOT TO SCALE



SITE CONTEXT PLAN
SCALE 1" = 100'

SHEET INDEX

LAST REVISED

-	COVER SHEET	10/02/2019
C-1	GENERAL NOTES, LEGEND & OVERALL PLAN	10/02/2019
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L-1	LANDSCAPE PLAN	10/02/2019

REFERENCE PLAN:
ALTA/ NSPS LAND TITLE SURVEY

PREPARED FOR:

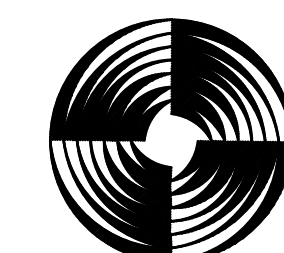
CARPIONATO GROUP, LLC.
1414 ATWOOD AVENUE
JOHNSTON, RI 02919

JUNE 03, 2019

(REVISED: OCTOBER 02, 2019)



PREPARED BY:



GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
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85 CORLISS STREET - P.O. BOX 6145
PROVIDENCE, RHODE ISLAND 02904
(401) 273-6000

ISSUED FOR PERMIT ONLY

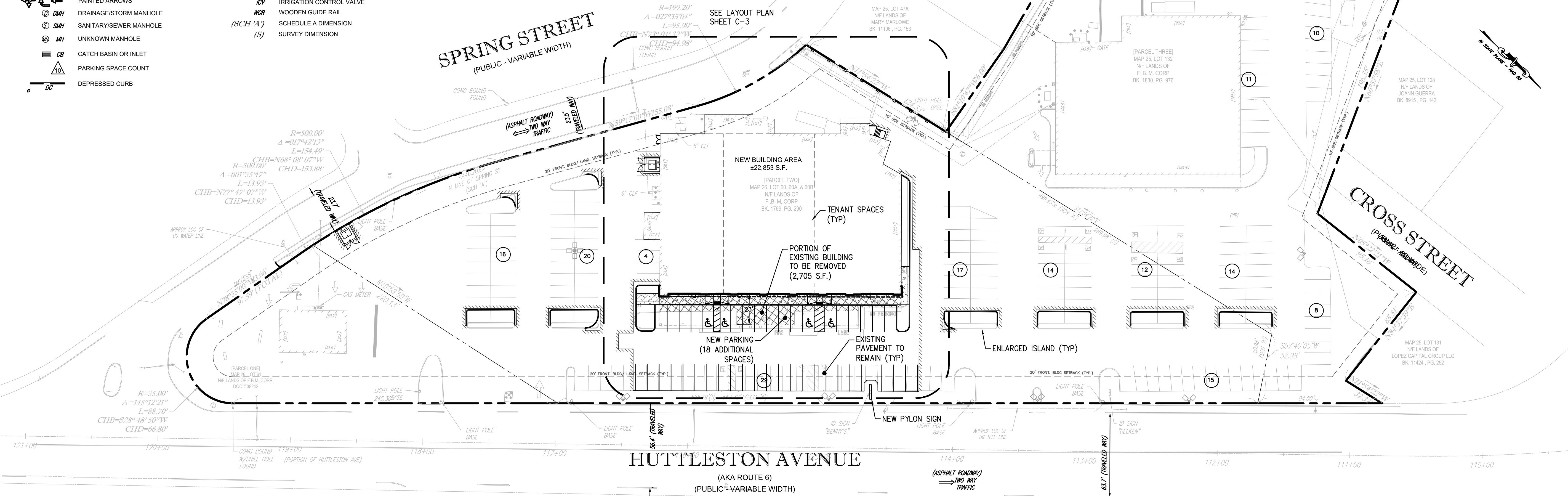
JOB NO. 7202-00

LEGEND

	EXISTING CONTOUR		SWL	SOLID WHITE LINE
	EXISTING SPOT ELEVATION		SYL	SOLID YELLOW LINE
	EXISTING TOP OF CURB ELEVATION		DFPA	BUILDING FOOTPRINT AREA
	EXISTING GUTTER ELEVATION		MVP	NO VISIBLE PIPE
	EXISTING TOP OF WALL ELEVATION		TOF	TOP OF FLUID
	EXISTING BOTTOM OF WALL ELEVATION		PVC	POLYVINYL CHLORIDE PIPE
	EXISTING FINISHED FLOOR ELEVATION		CI	CAST IRON PIPE
	HYDRANT		INV	INVERT ELEVATION
	WATER VALVE		GRT	GRATE ELEVATION
	GAS METER		BB	BITUMINOUS BERM
	ELECTRIC METER		SBM	SLOPED BITUMINOUS BERM
	OVERHEAD WIRES		CC	CONC CURB
	APPROX. LOC. UNDERGROUND GAS LINE		GC	GRANITE CURB
	APPROX. LOC. UNDERGROUND ELECTRIC LINE		CLF	CHAIN LINK FENCE
	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE		DC	DEPRESSED CURB
	APPROX. LOC. UNDERGROUND WATER LINE		EDC	EDGE OF CONCRETE
	UTILITY POLE		EOP	EDGE OF PAVEMENT
	GUY WIRE		LSA	LANDSCAPED AREA
	AREA LIGHT		ETW	EDGE OF TRAVELED WAY
	SIGN		(TYP)	TYPICAL
	BOLLARD		AP	ASPHALT PATCH
	METAL GUIDE RAIL		FDC	FIRE DEPT. CONNECTION
	PAINTED ARROWS		ICV	IRRIGATION CONTROL VALVE
	DRAINAGE/STORM MANHOLE		WGR	WOODEN GUIDE RAIL
	SANITARY/SEWER MANHOLE		(SCH 'A')	SCHEDULE A DIMENSION
	UNKNOWN MANHOLE		(S)	SURVEY DIMENSION
	CATCH BASIN OR INLET			
	PARKING SPACE COUNT			
	DEPRESSED CURB			

ABBREVIATIONS

CI	CAST IRON PIPE
CLDI	CEMENT LINED DUCTILE IRON PIPE
CLF	CHAINLINK FENCE
CTE	POINT OF CONNECTION TO EXISTING DUCTILE IRON PIPE
D.I.	DUCTILE IRON PIPE
ESHWT	ESTIMATED SEASONAL HIGH WATER TABLE
ETR	EXISTING TO REMAIN
EX.	EXISTING
F&I	FURNISH AND INSTALL
HDPE	HIGH DENSITY POLYETHYLENE PIPE
INV.	INVERT ELEVATION
MTE	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
VF	VERIFY IN FIELD
WQS	WATER QUALITY STRUCTURE



REFERENCE NOTES:

1. THE EXISTING CONDITIONS INDICATED HERE ON OR BASED ON PLAN TITLE "ALTA/NSPS TITLE SURVEY, CARPIONATO GROUP, LLC, 151 HUTTLESTON AVENUE & 9 CROSS STREET LOT 132, MAP 25 & LOTS 60, 60A, 60B, & 61, MAP 26, TOWN OF FAIRHAVEN, BRISTOL COUNTY COMMONWEALTH OF MASSACHUSETTS", PREPARED BY CONTROL POINT ASSOCIATES, INC., FILE NO.03-170358, DATED 3-15-18.

GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY; THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
- UPON AWARD OF CONTRACT, THE CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATES WITH THE WORK INDICATED ON THE PLANS.
- ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS, AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL REGULATIONS.
- SITWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS HAVE BEEN SECURED. REQUIRED PERMITS/APPROVALS FOR THE PROJECT INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: DEMOLITION PERMITS, SITE PLAN APPROVAL BY THE LOCAL CITY/TOWN, APPROVAL BY THE TOWN UTILITY AGENCIES, AND MASSDOT APPROVAL.
- THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE COMMONWEALTH OF MASSACHUSETTS TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.

- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS MUST CONFORM TO THE LOCAL CITY/TOWN CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
- AT ALL TIMES THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
- NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.

- EXISTING SITE LIGHTING WILL BE MAINTAINED BUT SHALL BE ADJUSTED SO THAT TO THE EXTENT FEASIBLE THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- ALL HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- NO WORK WITHIN THE STATE HIGHWAY RIGHT OF WAY SHALL BE ANTICIPATED. SHOULD WORK BE REQUIRED DUE TO UNFORSEEN CONDITIONS, IT SHALL CONFORM TO MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2003 INCLUDING ALL REVISIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL RECEIVE 6 INCHES LOAM AND SEED UNLESS OTHERWISE NOTED IN THIS PLAN SET.
- THE CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFFSITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR ANY RESULTANT DAMAGES, IF ANY, AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE THROUGHOUT CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR CLEANUP AND REPAIRS IF WARRANTED.
- WHERE EXISTING PAVEMENT MARKINGS ARE IMPACTED BY NEW IMPROVEMENTS THE NEW IMPROVEMENTS SHALL BE PAINTED TO MATCH. WHERE EXISTING PAVEMENT MARKINGS CONFLICT WITH THE PROPOSED STRIPING INTENT, THE CONTRACTOR SHALL REMOVE OR PAINT BLACK UNDERLYING PAVEMENT MARKINGS.

DEVELOPMENT SUMMARY			
MAP 26; LOTS 60, 60A & 60B			
ZONING: BUSINESS (B) DISTRICT			
DESCRIPTION	BY LAW	EXISTING	PROPOSED
SITE DATA			
LAND USE: RETAIL	-	ALLOWED	ALLOWED
MIN. LAND AREA	15,000 SF	±218,129 SF	±218,219 SF
MIN. FRONT YARD BUILDING SETBACK	20'	7.57'	SAME
MIN. SIDE YARD BUILDING SETBACK	10'	25.23'	SAME
MIN. REAR YARD BUILDING SETBACK	10'	85.4'	SAME
MAX. BLDG HEIGHT	40'	<40'	<40'
MAX. LOT (STRUCTURE) COVERAGE	25%	±42,994 S.F (19.7%)	±40,289.4 S.F (18.8%)
MAX. LOT (IMPERVIOUS) COVERAGE	70%	±190,849 S.F (87.5%)	±190,548 S.F (87.3%)

PARKING REQUIREMENTS			
DESCRIPTION	REQUIRED	PROVIDED	
RETAIL AND COMMERCIAL (1 SPACE PER 250 SF)	EXISTING 172 SPACES	189 SPACES	
	PROPOSED 164 SPACES	193 SPACES***	

* FRONT YARD REQUIREMENTS ESTABLISHED BY TOWN MEETING VOTES RECORDED ON PLATS ON FILE IN TOWN CLERK'S OFFICE. MINIMUM OF 20 FEET REQUIRED IF NONE SPECIFIED.

** WHEN ABUTTING A RESIDENCE DISTRICT, 10 FEET. NONE REQUIRED ELSEWHERE, PROVIDED THAT ACCESS TO REAR OF STRUCTURE AND SPACE FOR ANY REQUIRED OFF-STREET LOADING OR PARKING CAN BE GAINED BY OTHER MEANS.

***ACCESSIBLE PARKING:
REQUIRED: 6 SPACES; PROVIDED: 12 SPACES

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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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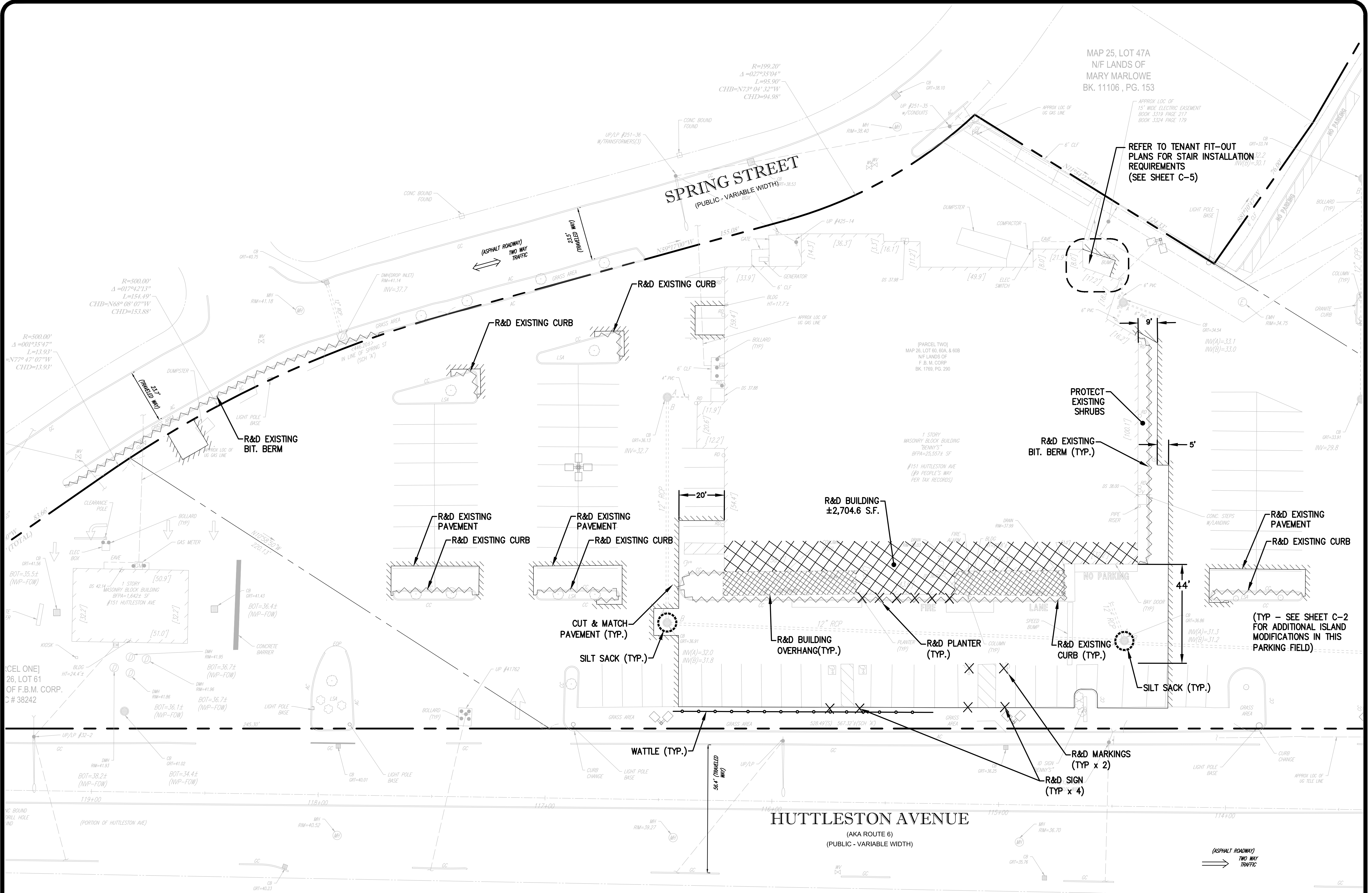
85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

JOB NO. 7202-00	DRAWN BY K.Y.Y.
DWG. NO. 7202-00-BASE.DWG	CHECK BY S.S.H
SCALE: AS SHOWN	APPROVED S.B.G
	DATE: MARCH, 2019

SHEET

C-1

1 OF 5 SHEETS

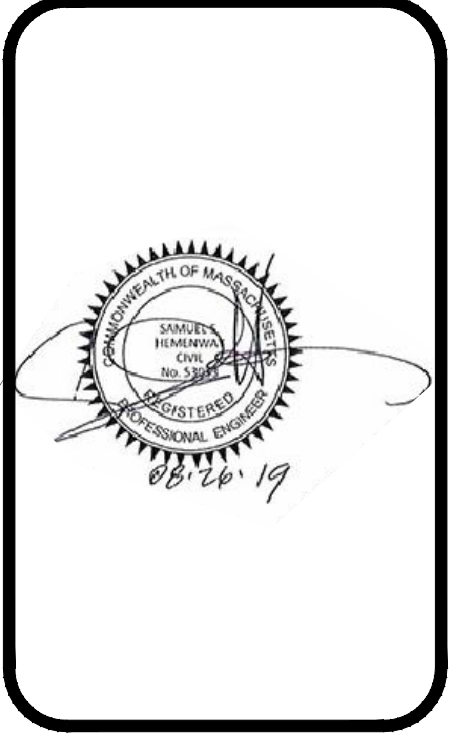


MAP 25, LOT 47A
N/F LANDS OF
MARY MARLOWE
BK. 11106, PG. 153

REFER TO TENANT FIT-OUT
PLANS FOR STAIR INSTALLATION
REQUIREMENTS
(SEE SHEET C-5)

DEMOLITION PLAN
FOR
FORMER BENNY'S RENOVATIONS
(MAP 26; LOTS 60, 60A & 60B)
SITUATED AT
151 HUTTLESTON AVE & 9 CROSS ST
FAIRHAVEN, MASSACHUSETTS
PREPARED FOR
CARPIONATO GROUP, LLC

NO.	REVISION	BY	DATE
1	PER CLIENT COMMENTS	MM	09/27/19



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DEMOLITION LEGEND

- R&D REMOVE & DISPOSE
- ~~~~~ REMOVE & DISPOSE LINEAR FEATURE
- X REMOVE & DISPOSE EXISTING FEATURE
- ▣ BUILDING DEMOLITION
- ▨ LIMITS OF PAVEMENT REMOVAL

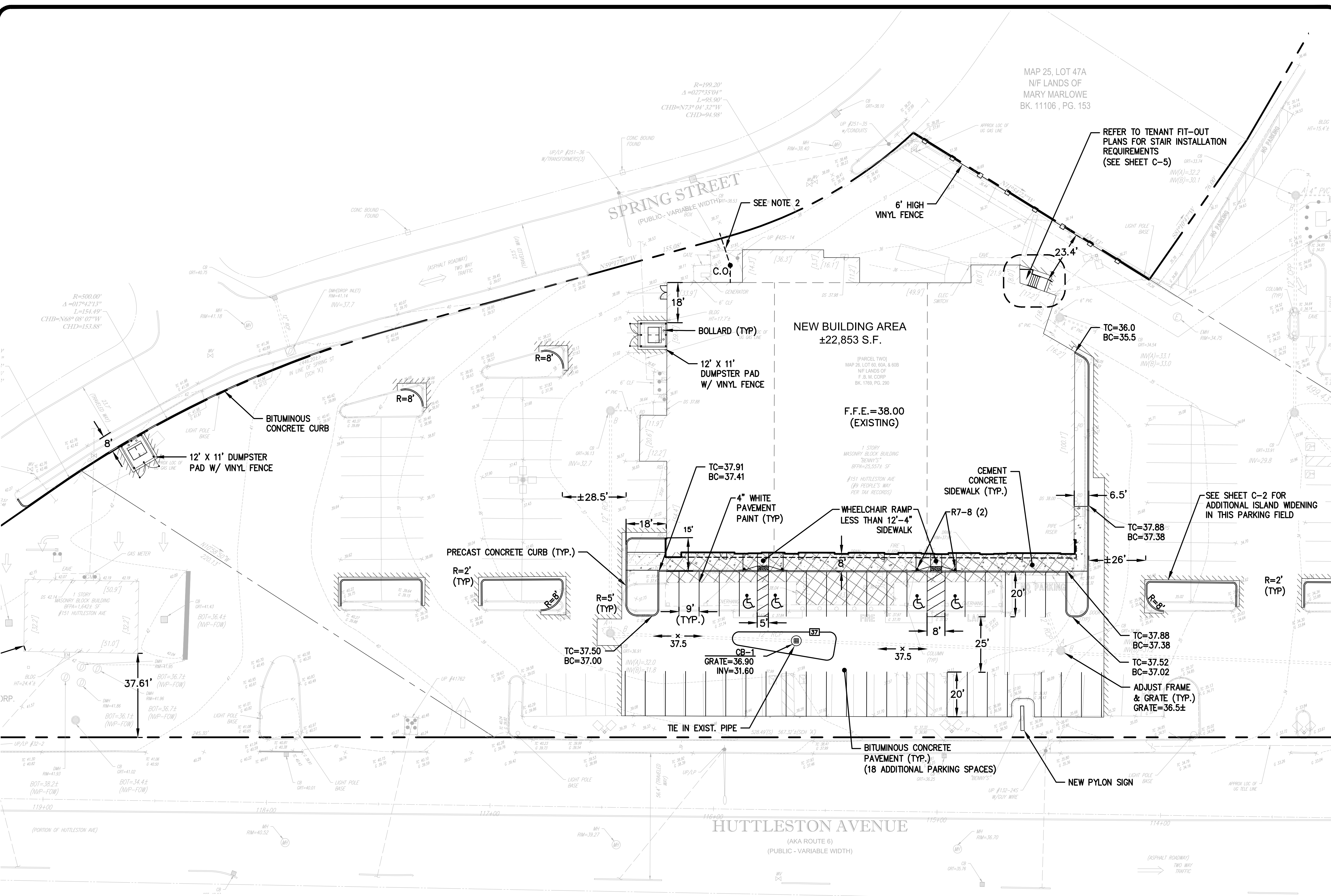
NOTES THIS SHEET

1. ALL EXISTING PAVEMENT WITHIN LIMITS OF DISTURBANCE INDICATED SHALL BE REMOVED AND DISPOSED OFF OF SITE.
2. PRIOR TO THE REMOVAL OF ANY ON-SITE SOIL AND PAVEMENTS, THE CONTRACTOR SHALL INSTALL AND MAINTAIN PROPER EROSION CONTROLS ALONG LIMITS OF DISTURBANCE AND AROUND EXISTING DRAINS TO BE PROTECTED, ETC.



JOB NO. 7202-00	DRAWN BY K.Y.Y.
DWG. NO. 7202-00-BASE.DWG	CHECK BY S.S.H
SCALE: AS SHOWN	APPROVED S.B.G
	DATE: MARCH, 2019

SHEET
C-2
2 OF 5 SHEETS



MAP 25, LOT 47A
N/F LANDS OF
MARY MARLOWE
BK. 11106, PG. 153

REFER TO TENANT FIT-OUT
PLANS FOR STAIR INSTALLATION
REQUIREMENTS
(SEE SHEET C-5)

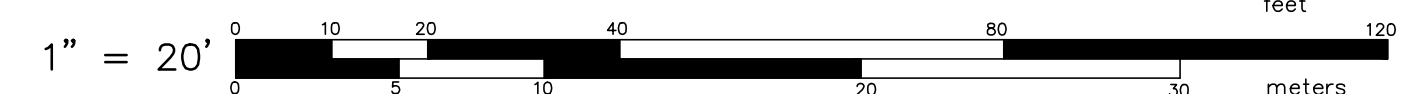
NEW BUILDING AREA
±22,853 S.F.

F.F.E. = 38.00
(EXISTING)

SEE SHEET C-2 FOR
ADDITIONAL ISLAND WIDENING
IN THIS PARKING FIELD

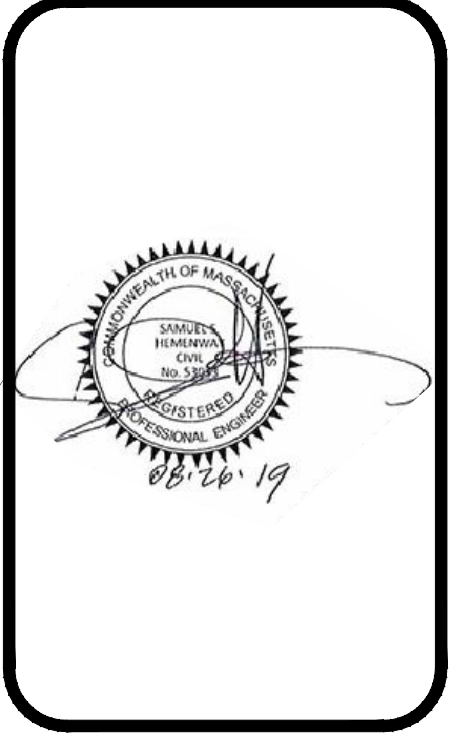
NOTES THIS SHEET

- SEE SHEET C-1 FOR LEGEND AND NOTES.
- CONTRACTOR SHALL LOCATE, VIDEO AND CONNECT TO EXISTING SEWER SERVICE. IF EXISTING SERVICE IS DETERMINED TO BE IN UNSUITABLE CONDITION BY THE SEWER DEPARTMENT, A NEW SERVICE SHALL BE INSTALLED. ALL SEWER WORK SHALL BE PERFORMED BY LICENSED DRAIN LAYER IN ACCORDANCE WITH TOWN SEWER USE BY-LAWS, AND ALL WORK SHALL COMPLY TO THE REQUIREMENTS OF THE TOWN OF FAIRHAVEN BOARD OF PUBLIC WORKS REQUIREMENTS FOR SITE PLANS.



CONSTRUCTION LAYOUT PLAN
FOR
FORMER BENNY'S RENOVATIONS
(MAP 26; LOTS 60, 60A & 60B)
SITUATED AT
151 HUTTLESTON AVE & 9 CROSS ST
FAIRHAVEN, MASSACHUSETTS
PREPARED FOR
CARPIONATO GROUP, LLC

NO.	REVISION	BY	DATE
1	ADDED FENCING AT ABUTTER	SSH	08/16/19
2	PER CLIENT COMMENTS	MKM	09/21/19



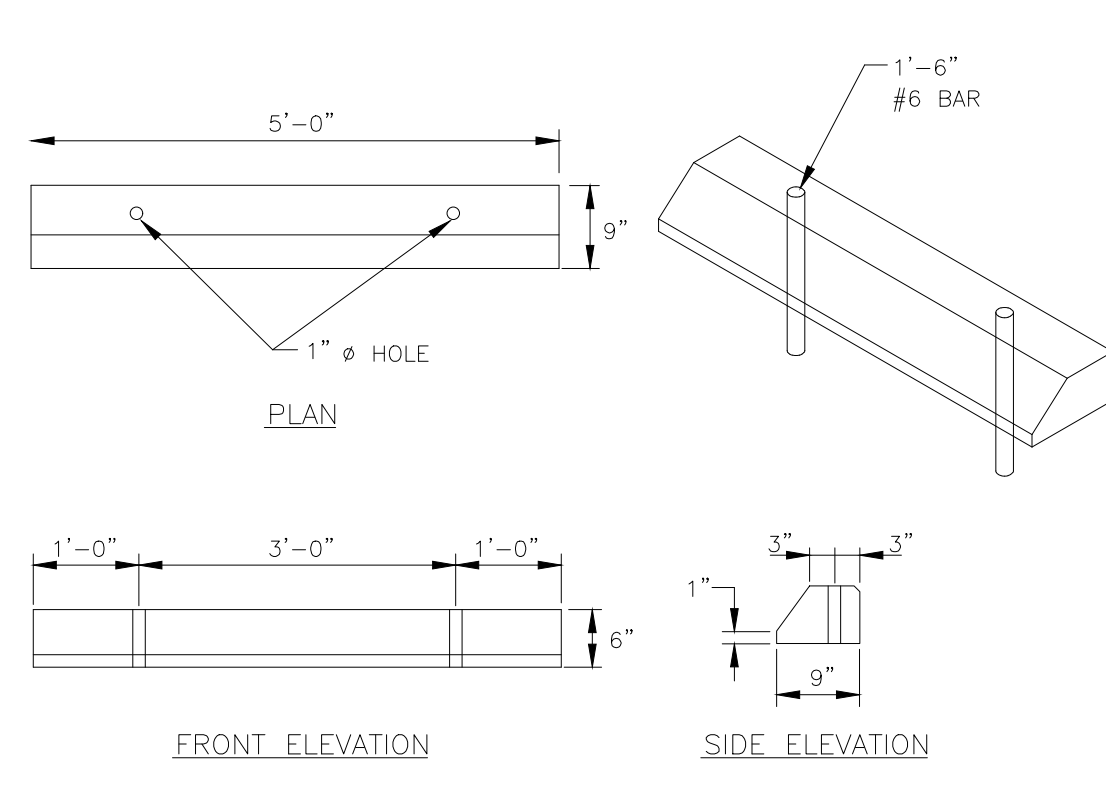
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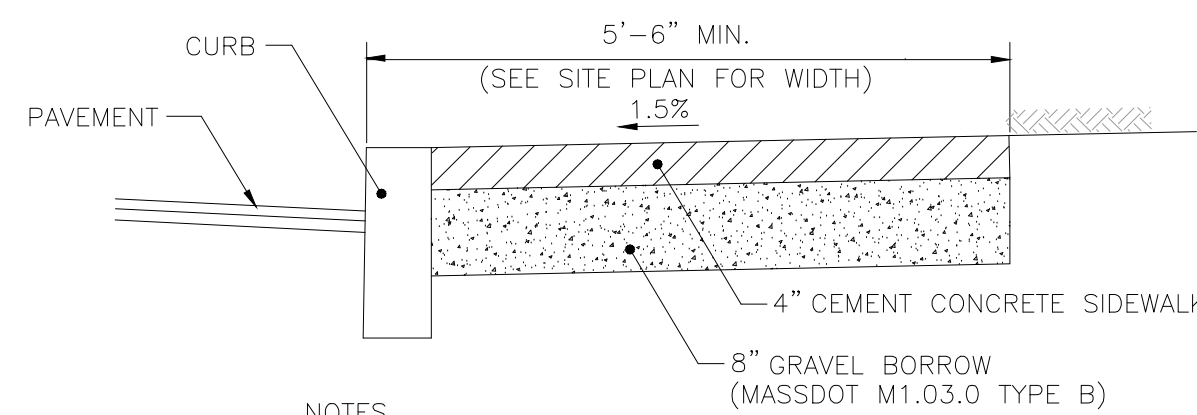
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DWG. NO. 7202-00-BASE.DWG	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: MARCH, 2019

SHEET
C-3
3 OF 5 SHEETS



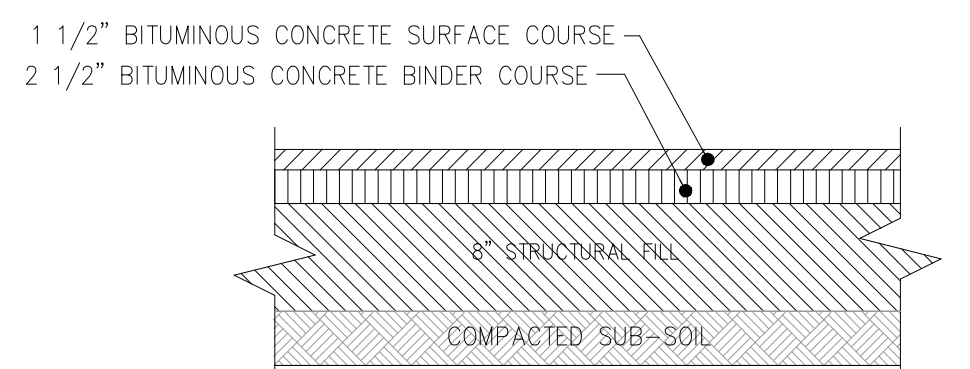
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
 3. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.

PRECAST CONCRETE CAR STOP
N.T.S.



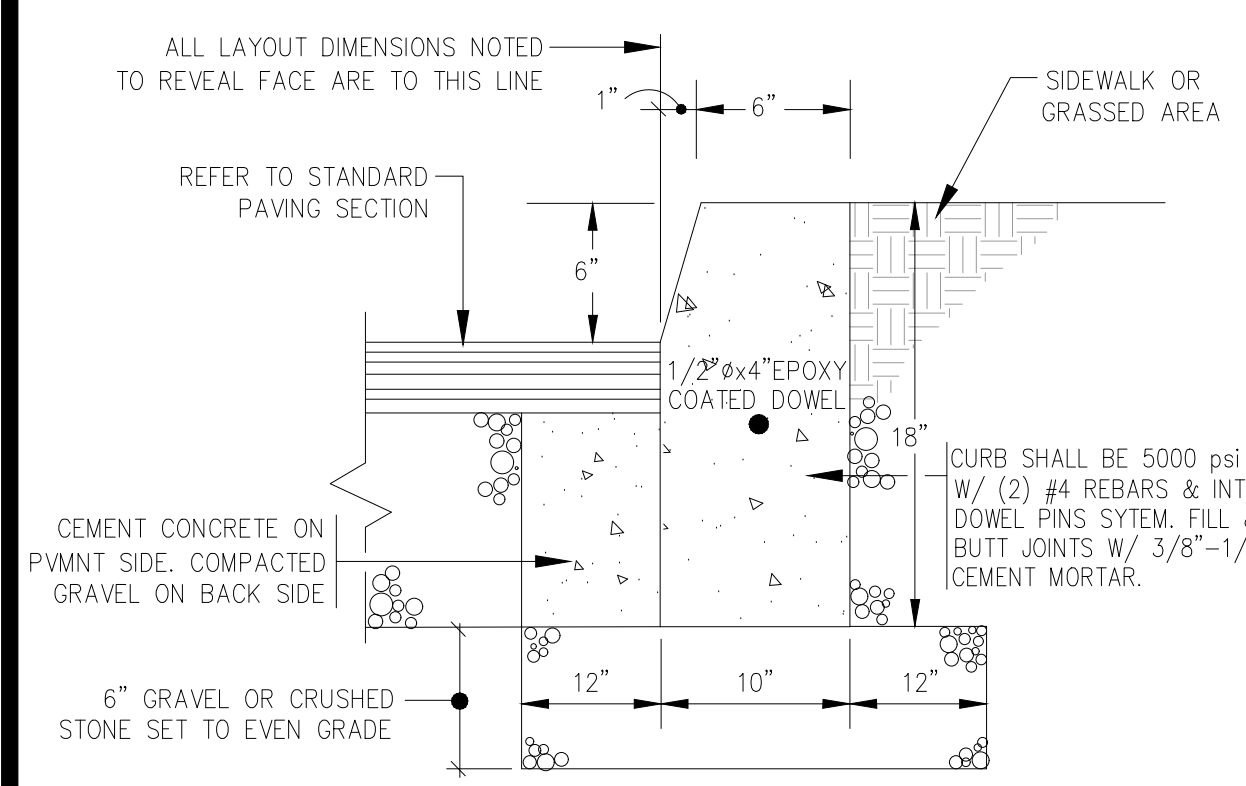
- NOTES**
1. SHALL BE IN ACCORDANCE WITH MASSDOT SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE MASSDOT E.106.3.0

CEMENT CONCRETE SIDEWALK
N.T.S.



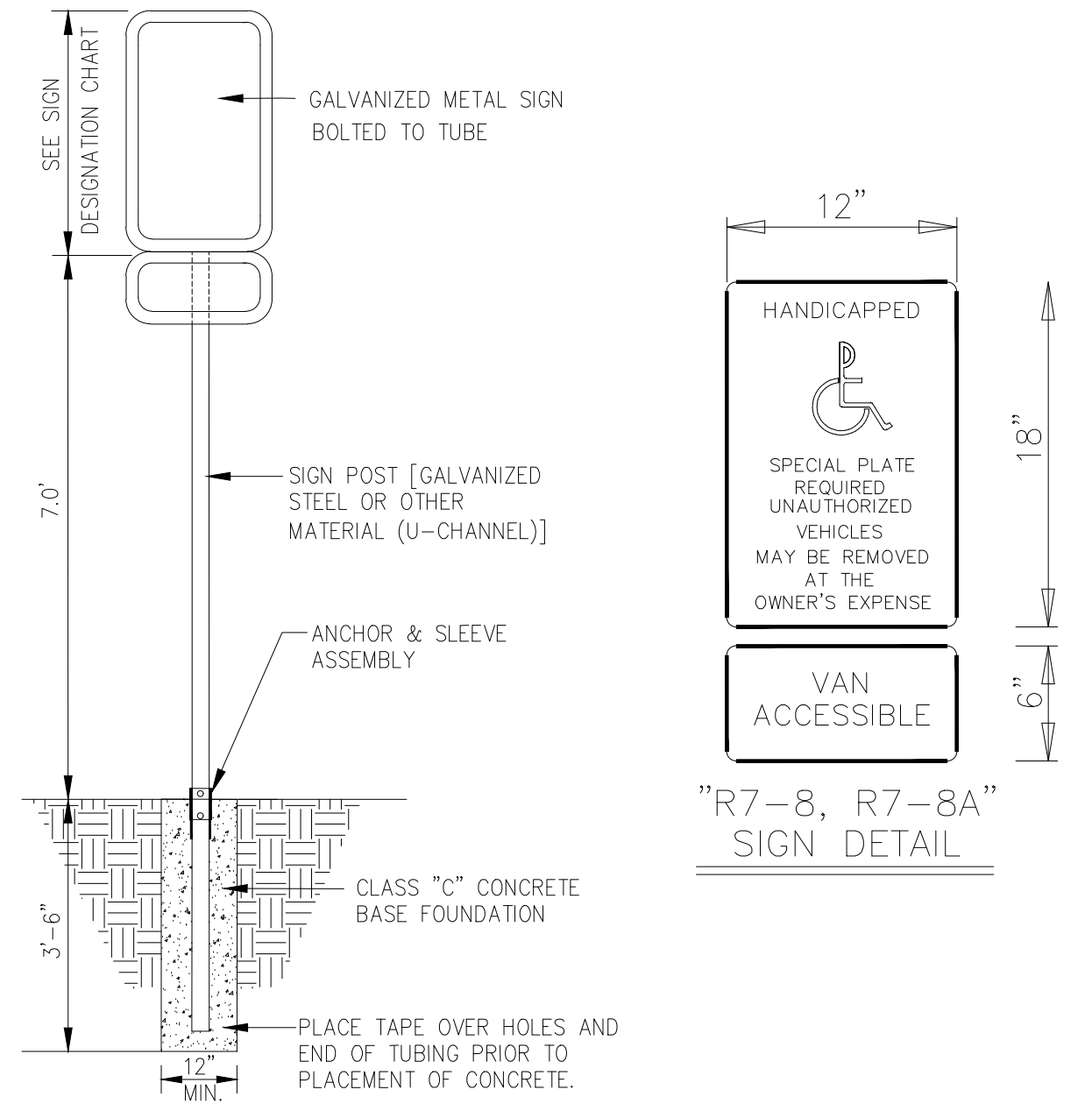
1. THE SOIL MUST HAVE A MOISTURE CONTENT DRY OF OPTIMUM AS DETERMINED MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D1557.
2. THE SOIL CAN BE COMPACTED TO 98% OF THE MAXIMUM STANDARD PROCTOR DENSITY AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D698
3. THE SOIL SHALL NOT BE USED IF THE MATERIAL CONTAINS ORGANIC MATTER, RUBBLE, DEBRIS OR ANY OTHER DELETERIOUS MATERIAL
4. SUBMIT MIX DESIGN TO THE CIVIL ENGINEER OF RECORD AT LEAST 30 DAYS PRIOR TO BEGINNING ASPHALT PAVING OPERATIONS. MIX DESIGNS OVER ONE YEAR OLD WILL NOT BE ACCEPTED. MIX DESIGNS SUBMITTAL SHALL FOLLOW THE LATEST EDITION OF THE MASSDOT STANDARD SPECIFICATIONS.

BITUMINOUS CONCRETE PAVEMENT SECTION

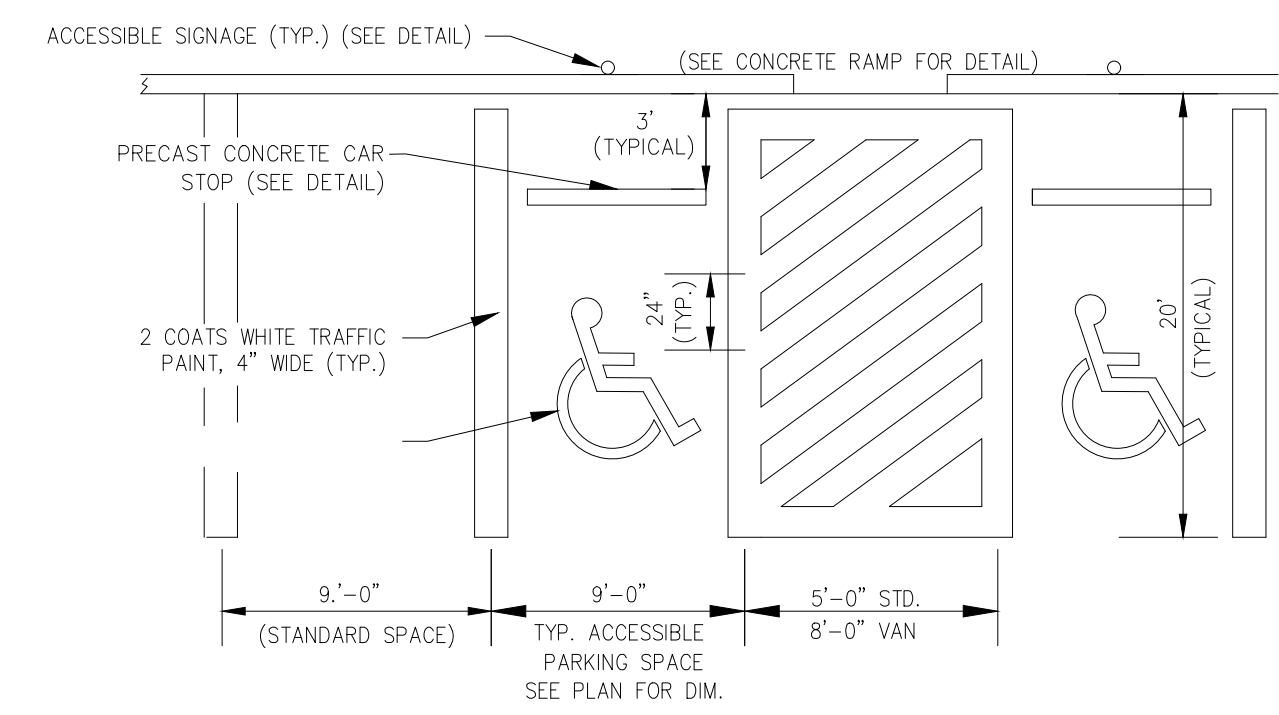


- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 500 OF THE M.A. STANDARD SPECIFICATIONS FOR HIGHWAYS & BRIDGES.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADI OF 160' OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160' RADIUS.
 5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
 6. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURBING IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE. OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF BASE COURSE.

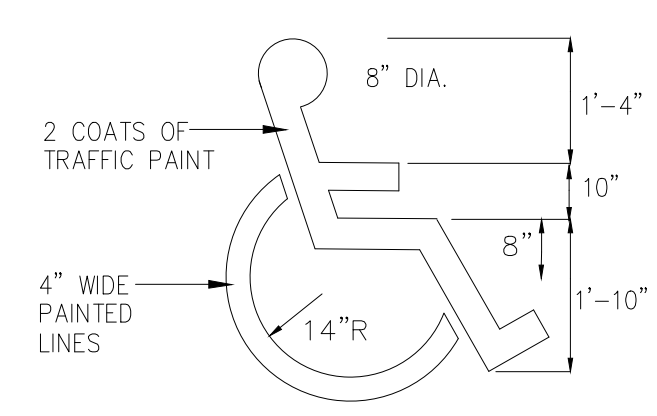
PRECAST CONCRETE CURB
N.T.S.



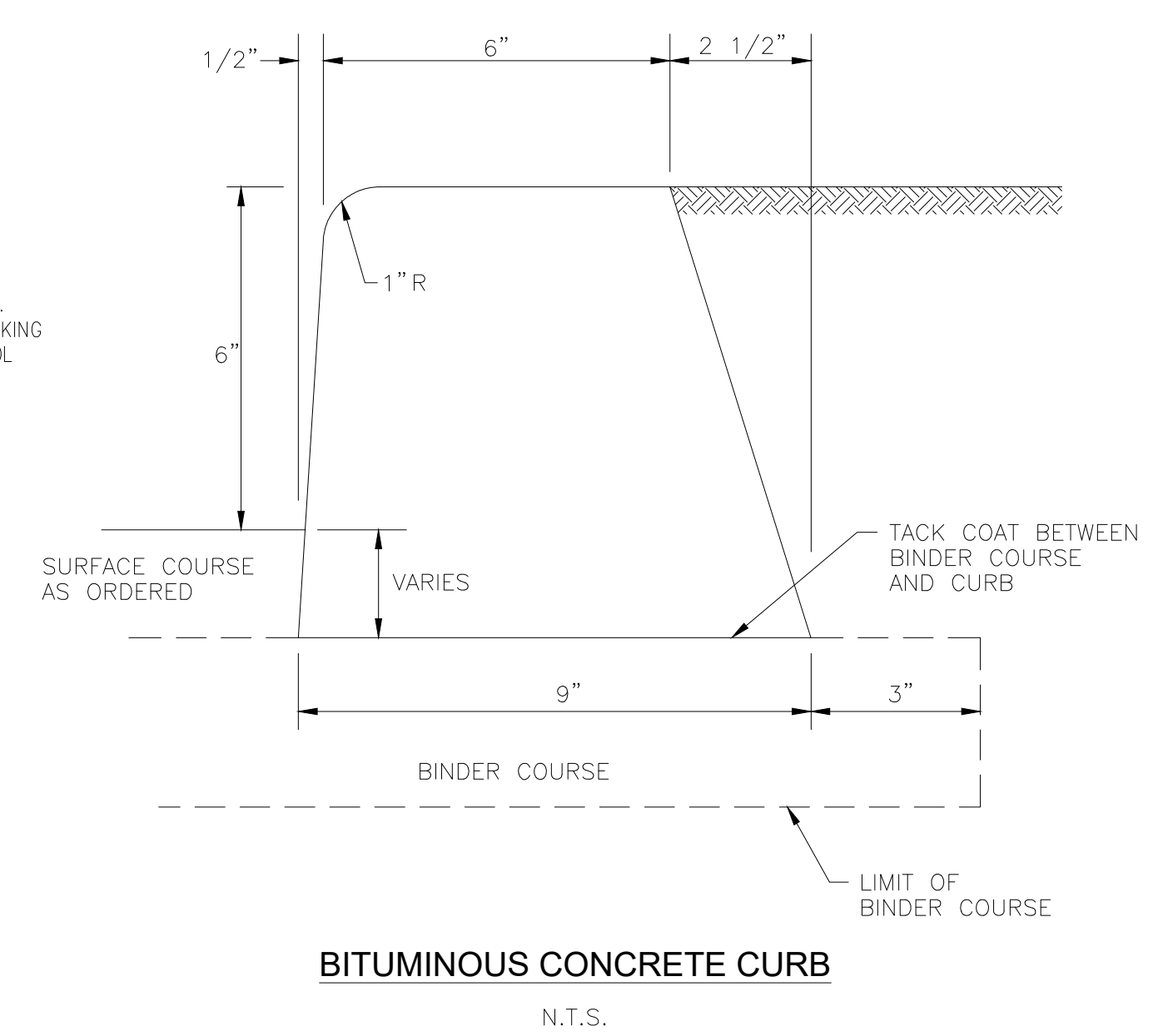
ACCESSIBLE SIGNAGE DETAIL
N.T.S.



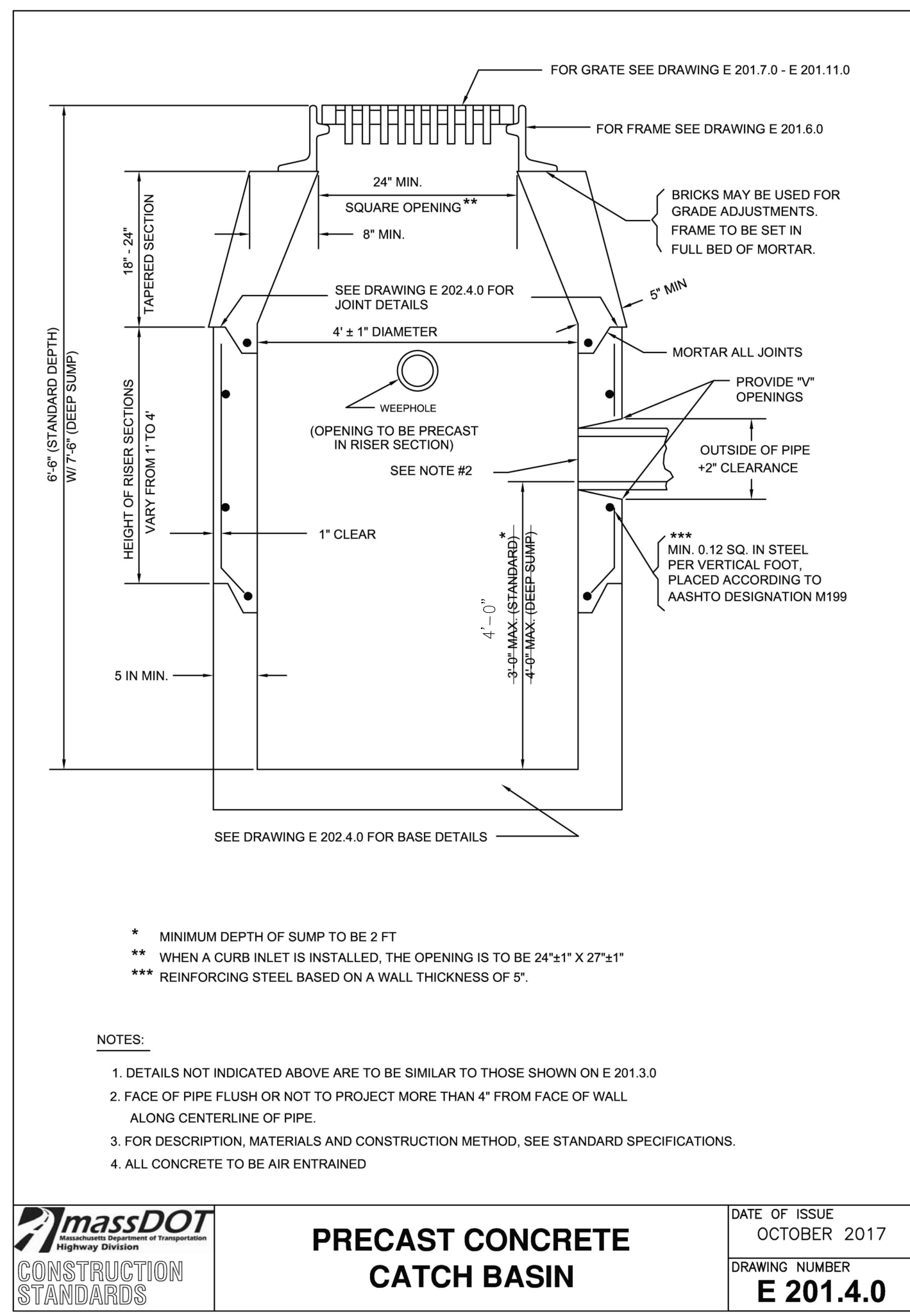
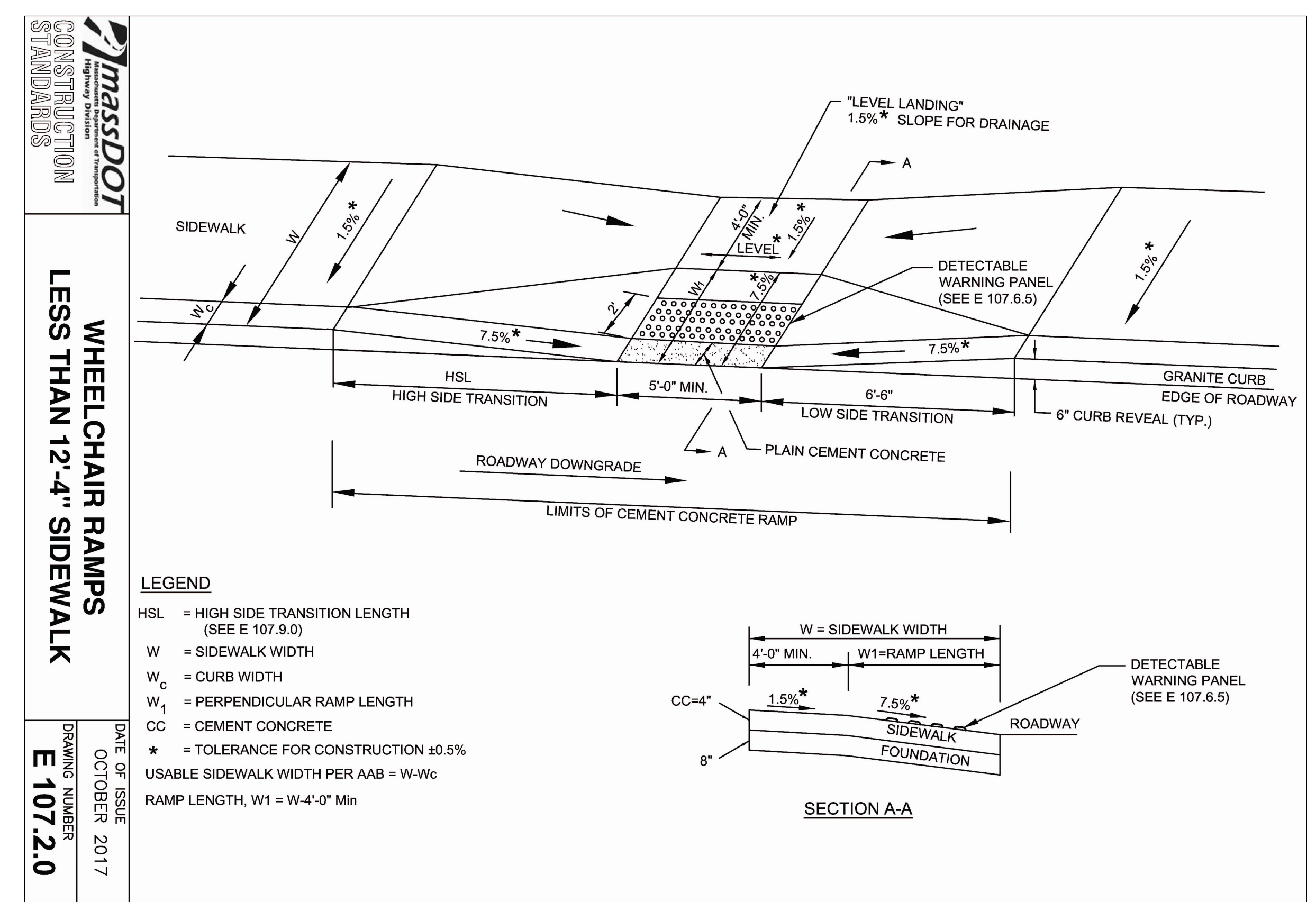
PAVEMENT STRIPING
N.T.S.



ACCESSIBLE SYMBOL
N.T.S.



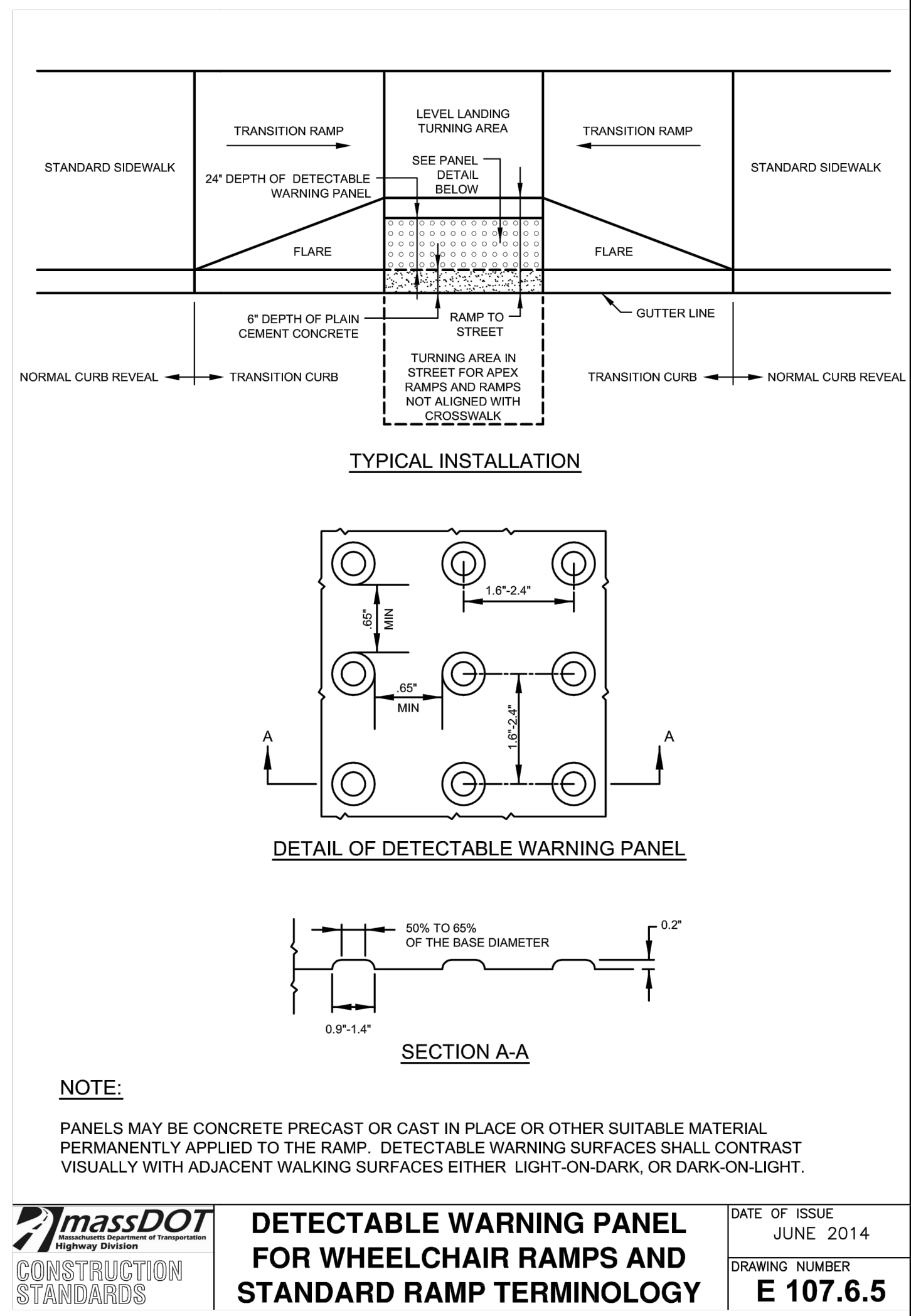
BITUMINOUS CONCRETE CURB
N.T.S.



- NOTES:**
1. DETAILS NOT INDICATED ABOVE ARE TO BE SIMILAR TO THOSE SHOWN ON E 201.3.0
 2. FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE.
 3. FOR DESCRIPTION, MATERIALS AND CONSTRUCTION METHOD, SEE STANDARD SPECIFICATIONS.
 4. ALL CONCRETE TO BE AIR ENTRAINED

PRECAST CONCRETE CATCH BASIN

DATE OF ISSUE: OCTOBER 2017
DRAWING NUMBER: E 201.4.0



DETECTABLE WARNING PANEL FOR WHEELCHAIR RAMPS AND STANDARD RAMP TERMINOLOGY

DATE OF ISSUE: JUNE 2014
DRAWING NUMBER: E 107.6.5

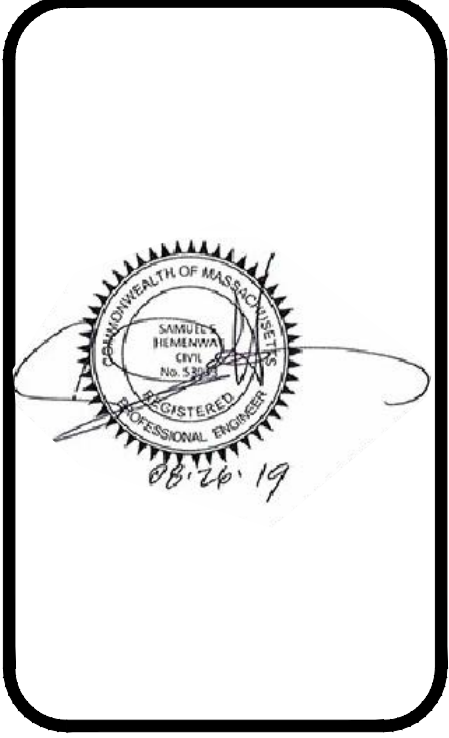
CONSTRUCTION DETAILS I

FOR
FORMER BENNY'S RENOVATIONS
(MAP 26; LOTS 60, 60A & 60B)

SITUATED AT
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FAIRHAVEN, MASSACHUSETTS

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CARPIONATO GROUP, LLC

NO.	REVISION	BY	DATE
1	PER CLIENT COMMENTS	MM	09/27/19



GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

Corofalo & Associates, Inc.
These drawings are the property of the engineer/surveyor and have been prepared for the use of the owner on the project at this site and are not to be used for any other purpose, location or owner without written consent of this owner or one of its directors.

JOB NO. 7202-00	DRAWN BY K.Y.Y.
DWG. NO. 7202-00-DETAILS	CHECK BY S.S.H
SCALE: AS SHOWN	APPROVED S.B.G
	DATE: MARCH, 2019

SHEET

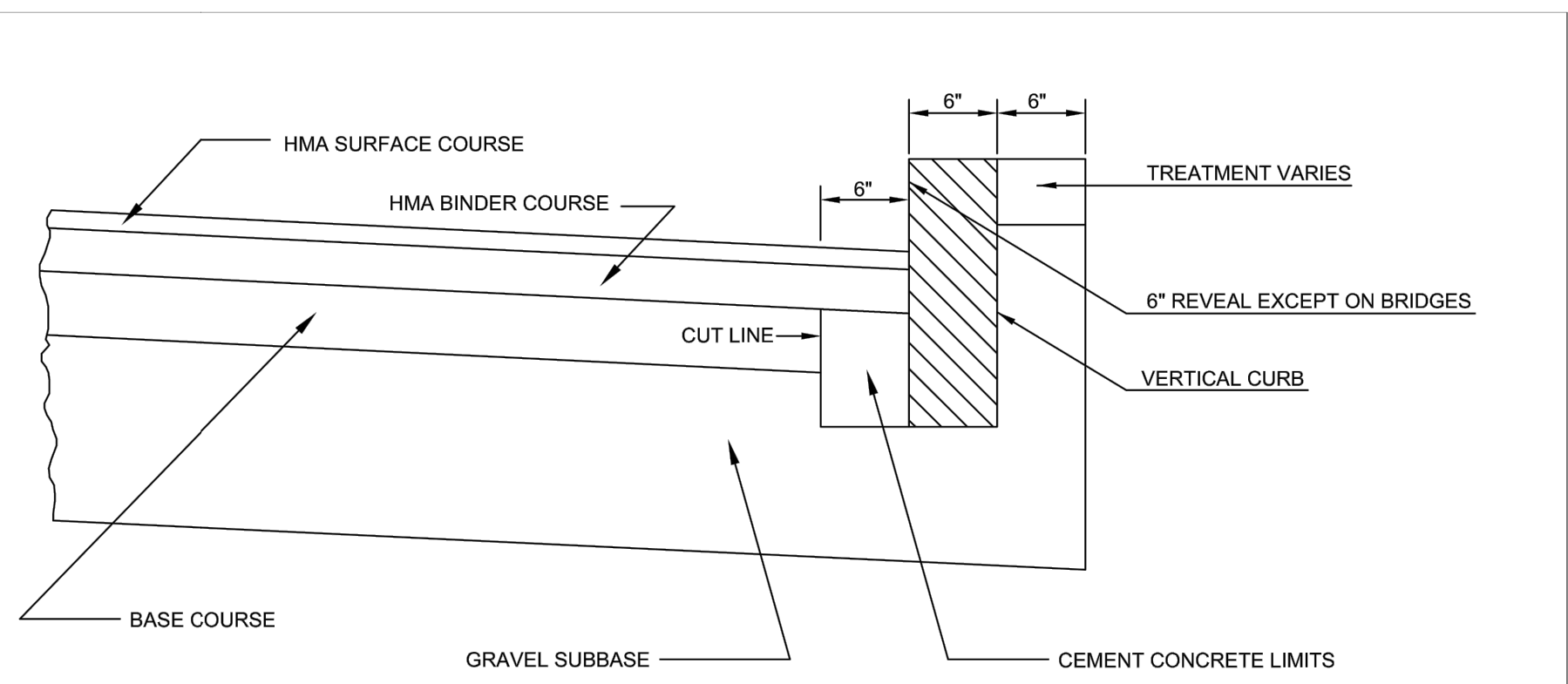
C-4

4 OF 5 SHEETS

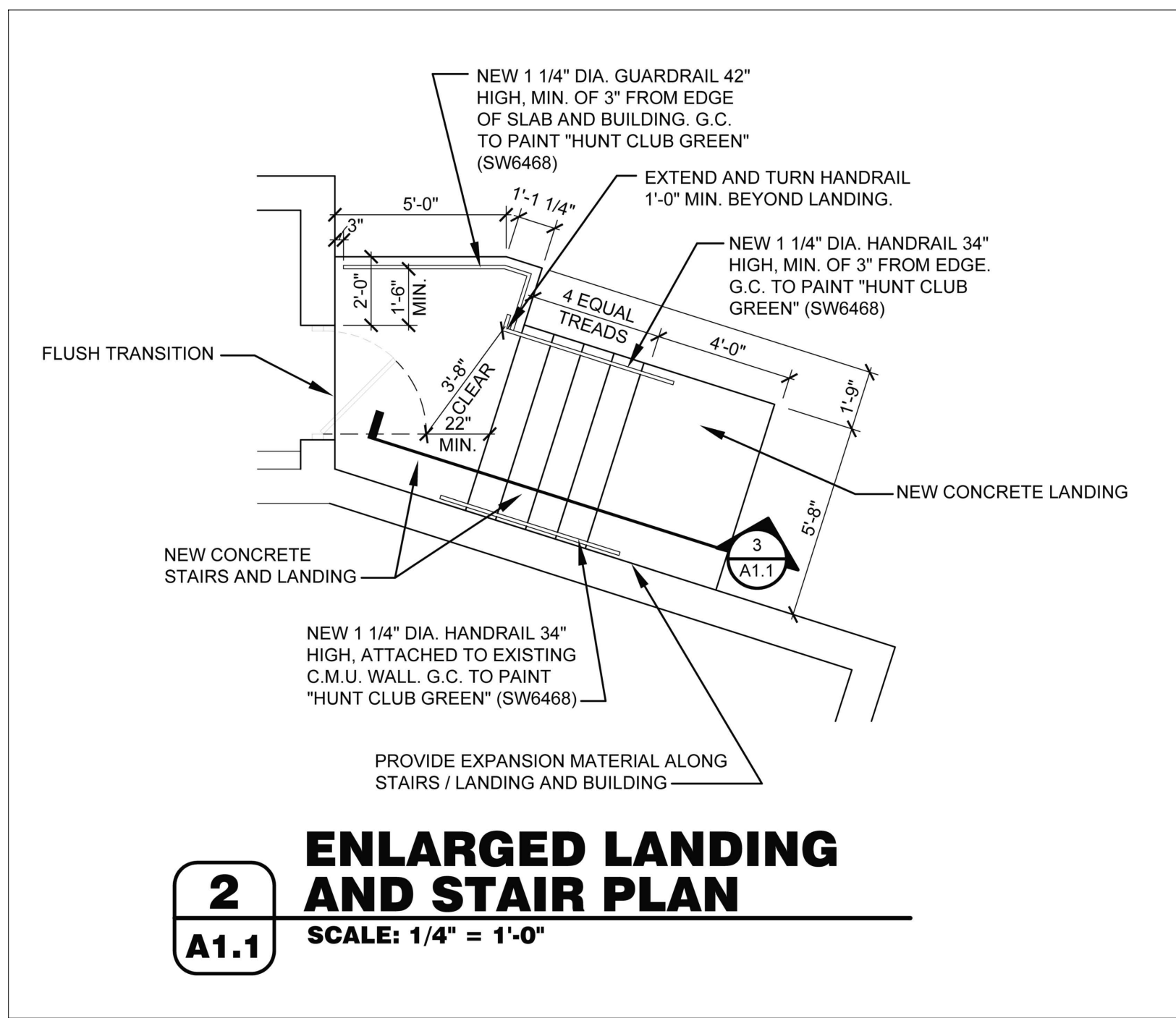
MassDOT
CONSTRUCTION STANDARDS

METHOD OF SETTING VERTICAL CURB

DATE OF ISSUE: JUNE 2014
DRAWING NUMBER: **E 106.3.0**

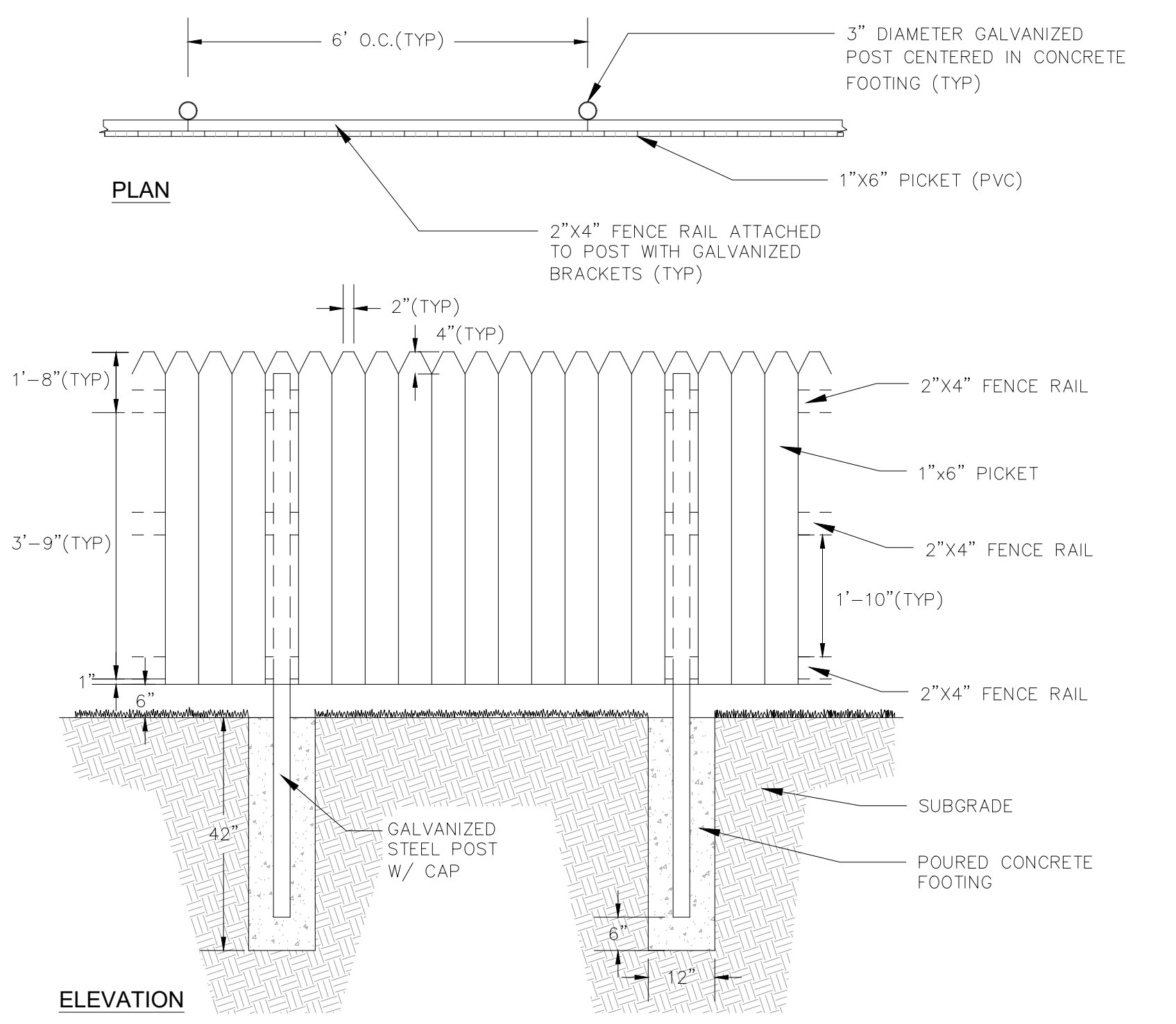


- NOTES:**
1. THIS PROCEDURE IS APPLICABLE ONLY IF CURB IS TO BE SET AFTER BASE COURSE IS IN PLACE PRIOR TO BINDER AND TOP PLACEMENT.
 2. CUT NEAT LINE 6" FROM CURB LINE AND REMOVE BASE AND GRAVEL. REPLACE WITH CEMENT CONCRETE.
 3. ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPTABLE UNDER SECTION M4 OF THE STANDARD SPECIFICATIONS MAY BE USED. ALL TEST REQUIREMENTS ARE WAIVED. HOT MIX ASPHALT SHALL NOT BE USED AS A SUBSTITUTE.
 4. PAYMENT PER FOOT OF CURB IS INCLUSIVE OF ALL ITEMS OF WORK REQUIRED TO COMPLETE PROPER INSTALLATION OF THE CURB.



FOR INFORMATION ONLY

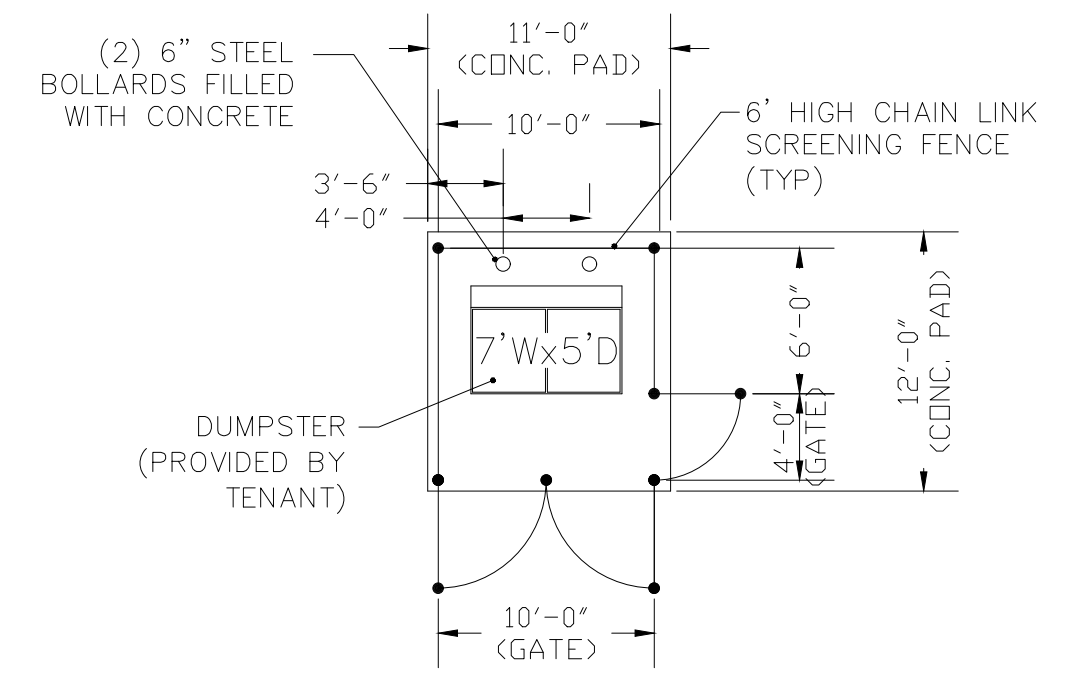
REF: 'RE-MODEL O'REILLY AUTO PARTS STORE'
SHEET A1.1 - FLOOR PLAN (04-30-2019)
BY: CASCO + RJ5 ARCHITECTURE, ENGINEERING & DESIGN
ENGINEERING & DESIGN



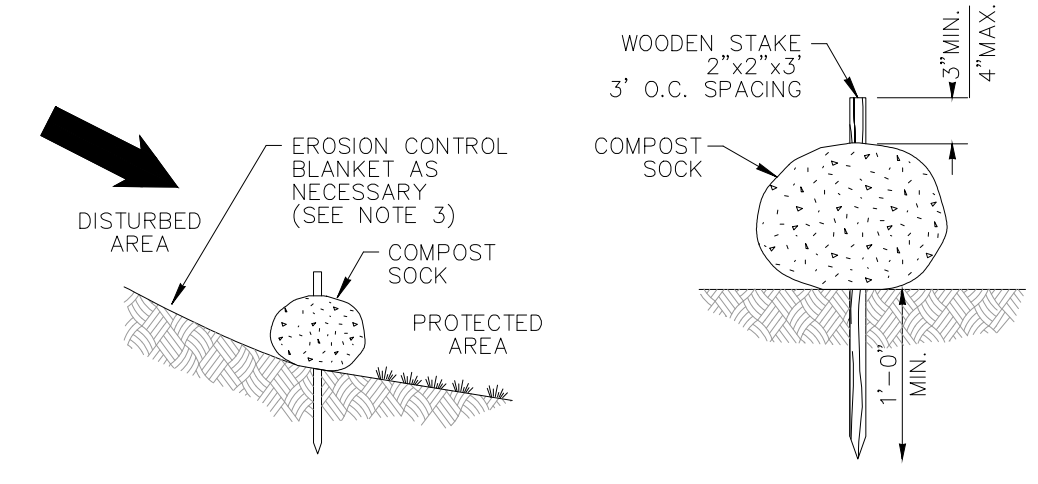
NOTES:
1. DETAIL PROVIDED FOR BASIS OF DESIGN PURPOSES. FINAL DIMENSIONAL REQUIREMENTS AND/OR FENCE MODEL SELECTION MAY VARY WITH OWNER APPROVAL.

FENCE DETAIL:

N.T.S.



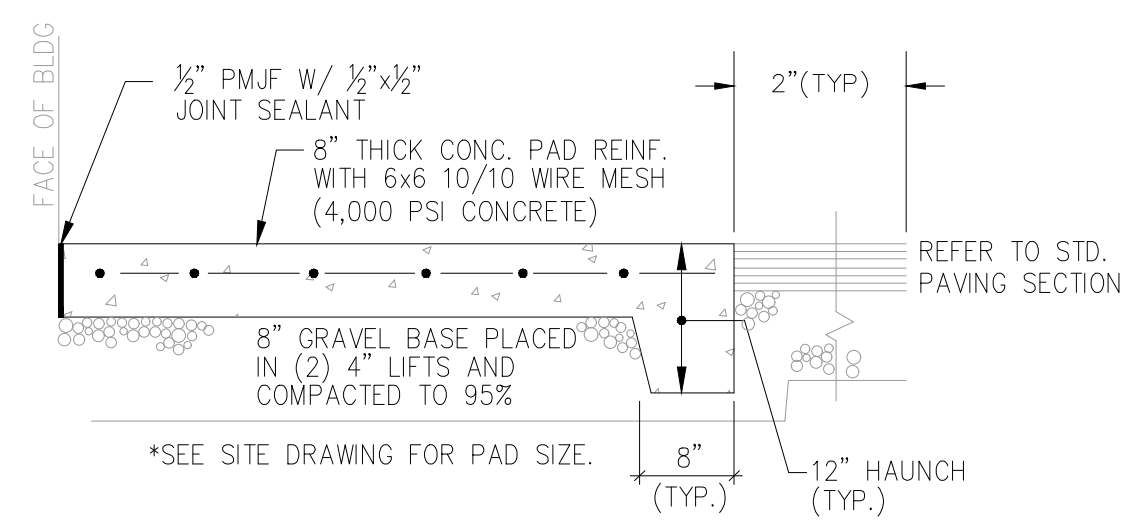
SEE CONCRETE PAD DETAIL FOR ADDITIONAL CONSTRUCTION REQUIREMENTS
DUMPSTER ENCLOSURE
NOT TO SCALE



COMPOST SILT SOCK DETAIL

N.T.S.

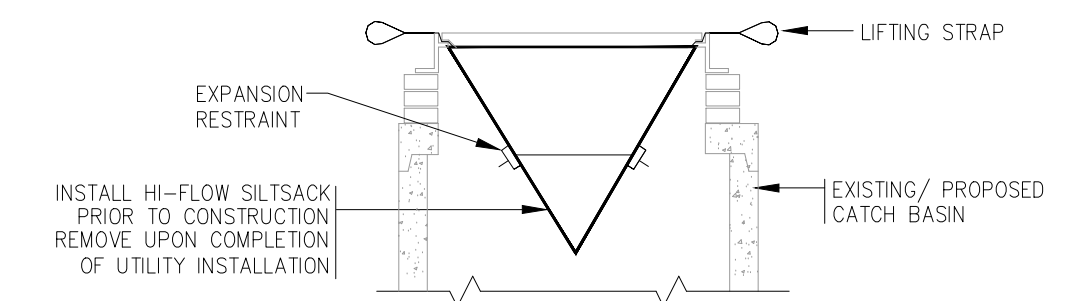
- NOTES:**
1. COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
 2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
 3. WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
 4. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
 5. ALWAYS INSTALL COMPOST SOCK ALONG SLOPE PERPENDICULAR TO FLOW AROUND SEDIMENT STORAGE AND TRUCK WASH-OUT AREAS.
 6. REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.
 7. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.



- NOTES:**
1. CONCRETE PADS SHALL BE INSTALLED WITH CONTRACTION JOINTS AGAINST ALL STRUCTURAL FEATURES AND/OR AT 24' CENTERS.
 2. TOOLED JOINTS SHALL BE INSTALLED AT 6' MAXIMUM SPACING EACH WAY.

DUMPSTER PADS

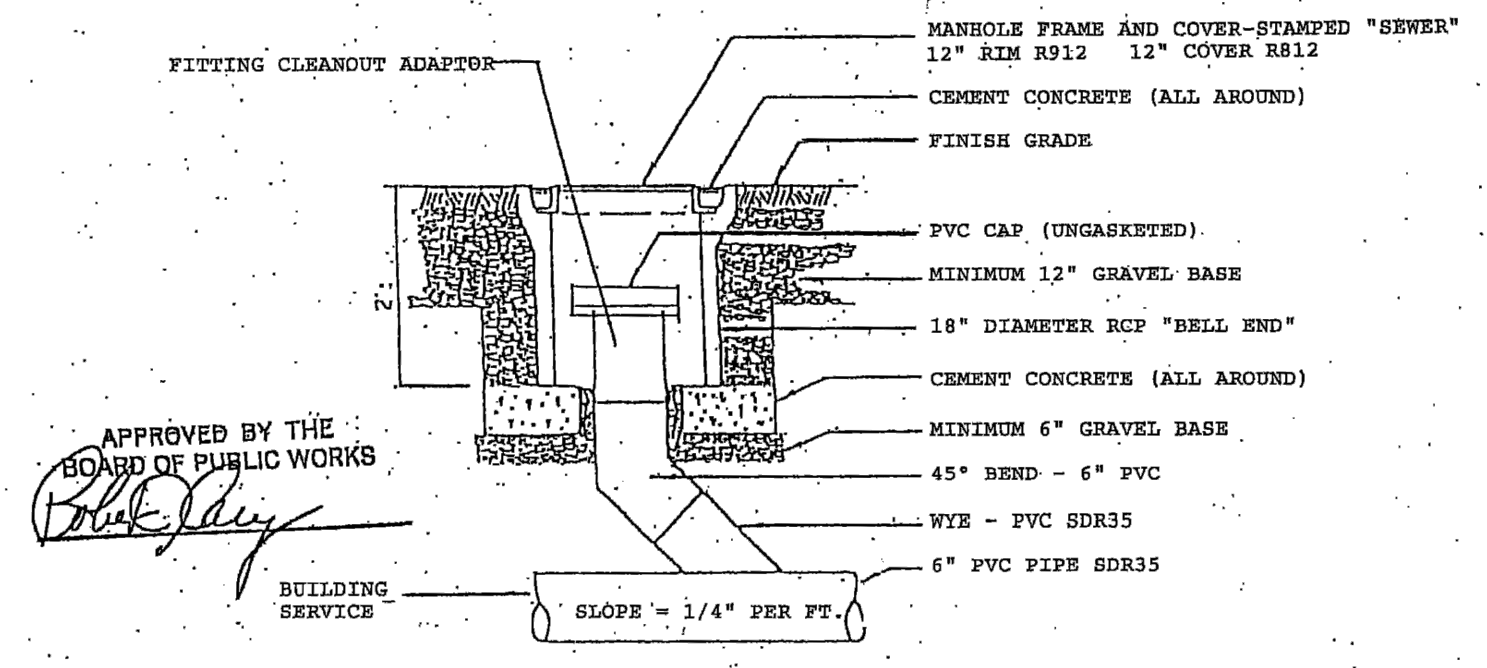
N.T.S.



INLET PROTECTION / SILTSACK AT CATCH BASIN

N.T.S.

NOTE: REFER TO TOWN OF FAIRHAVEN "BOARD OF PUBLIC WORKS REQUIREMENTS FOR SITE PLANS" FOR COMPLETE SEWER INSTALLATION AND INSPECTION REQUIREMENTS.

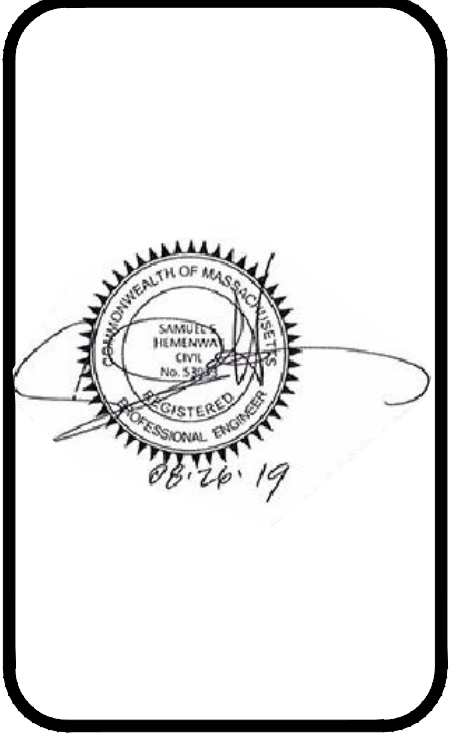


CLEANOUT DETAIL

N.T.S.

CONSTRUCTION DETAILS 2
FOR
FORMER BENNY'S RENOVATIONS
(MAP 26; LOTS 60, 60A & 60B)
SITUATED AT
151 HUTTLESTON AVE & 9 CROSS ST
FAIRHAVEN, MASSACHUSETTS
PREPARED FOR
CARPIONATO GROUP, LLC

NO.	REVISION	BY	DATE
1	ADDED FENCE DETAIL	SSH	08/16/19
2	PER CLIENT COMMENTS	MMK	09/27/19



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SHEET
C-5
5 OF 5 SHEETS

PLANT LIST:

CANOPY TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
AR	ACER RUBRUM 'FRANKSRED' 'FRANKSRED RED SUNSET MAPLE'	19	2"-2.5" CAL	
GT	GLEDTISIA TRIACANTHOS 'SKYCOLE' 'THORNLESS HONEY LOCUST SKYLINE'	4	2"-2.5" CAL	

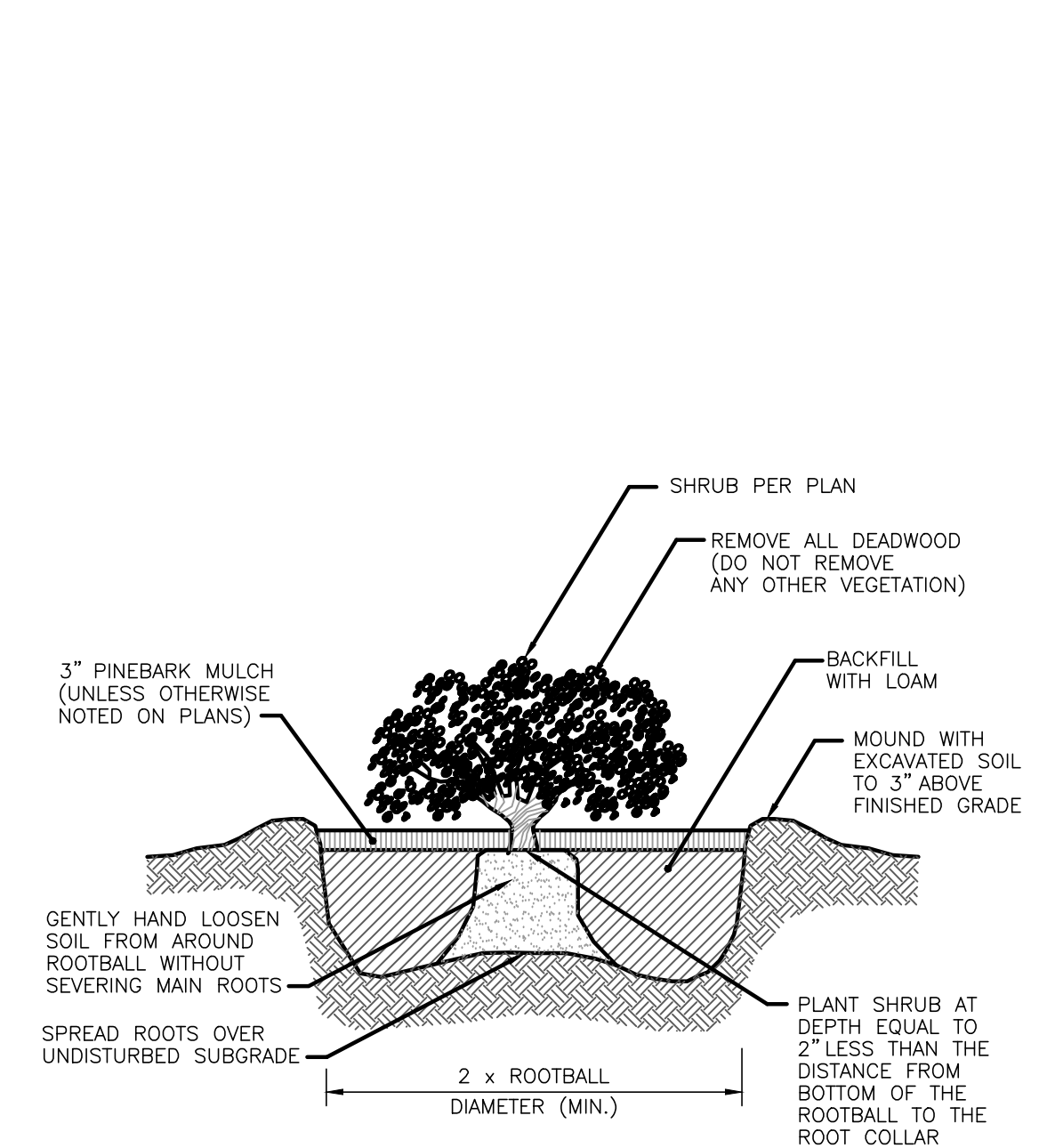
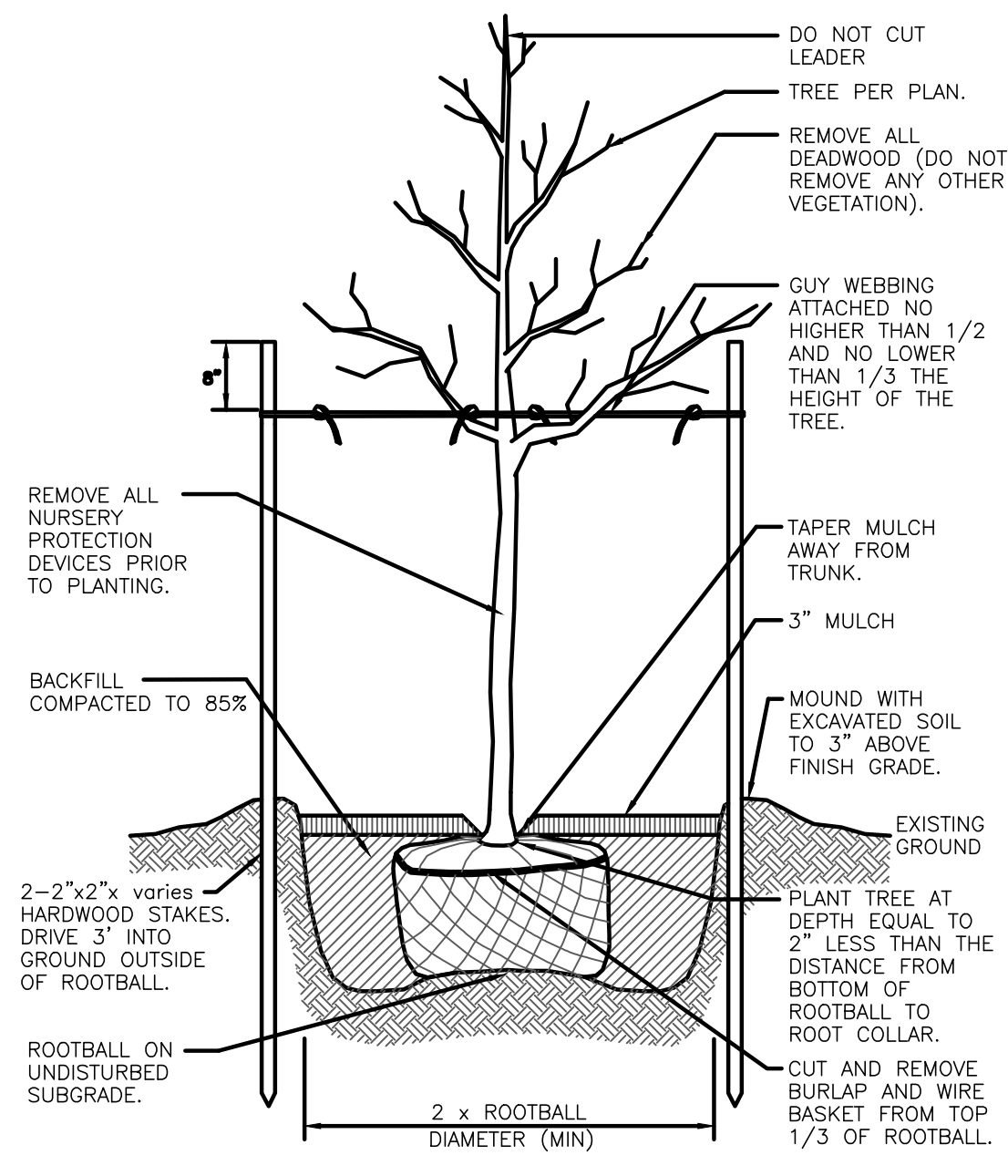
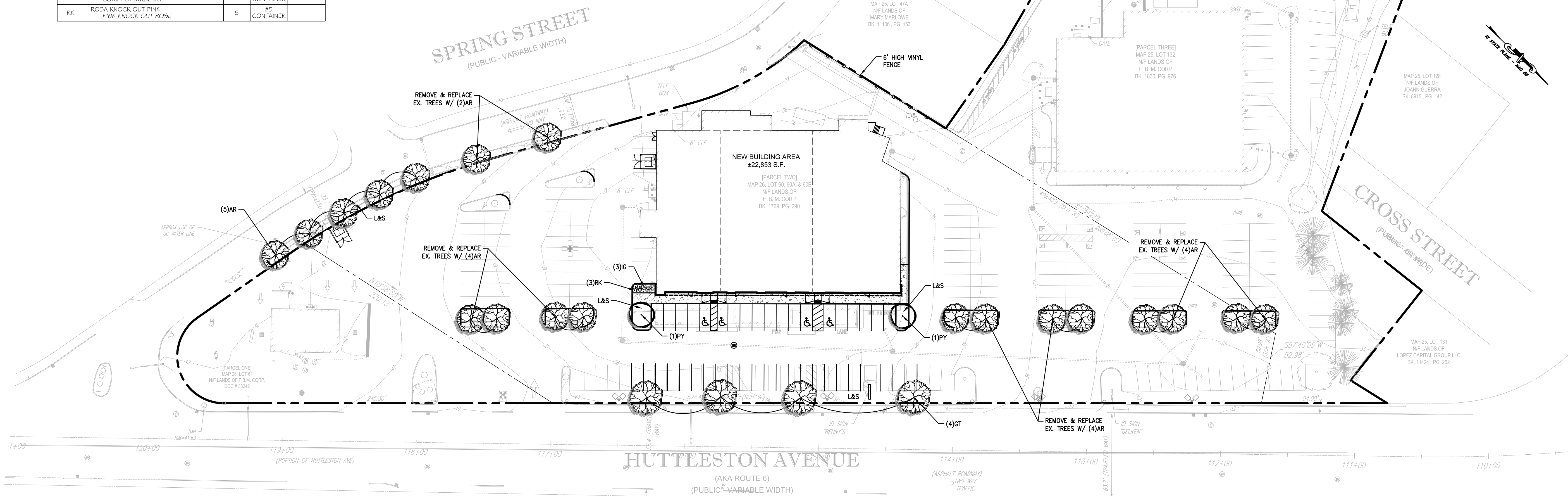
FLOWERING TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
PY	PRUNUS X YEDOENSIS 'YOSHINO CHERRY SINGLE WHITE FLOWER'	2	7"-8" CLUMP	

EVERGREEN/DECIDUOUS SHRUBS				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
IG	ILEX GLABRA 'COMPACTA' 'COMPACT INKBEREY'	3	#3 CONTAINER	
RK	ROSA KNOCK OUT PINK 'PINK KNOCK OUT ROSE'	5	#5 CONTAINER	

GENERAL SEEDING MIX (L&S)

	PERCENT BY WEIGHT	PERCENT BY VOLUME
CHEWINGS FESCUE IMPROVED VARIETIES	30	85
KENTUCKY BLUEGRASS IMPROVED VARIETIES	30	90
PERENNIAL RYEGRASS IMPROVED VARIETIES	40	90

APPLICATION RATE: 200 LBS / ACRE



GENERAL LANDSCAPE NOTES:

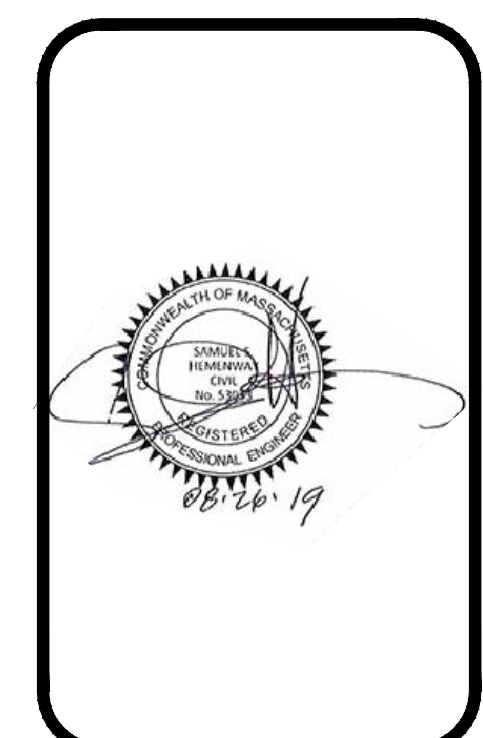
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL PLANT MATERIAL SHALL MEET THE AMERICAN OF NURSERYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY. NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. IF THE FIRST YEAR ENDS DURING THE DORMANT PERIOD, THE GUARANTEE SHALL EXTEND TO THE START OF THE NEXT LEAFING. DURING THE ONE-YEAR GUARANTEE PERIOD THE CONTRACTOR SHALL EMPLOY ACCEPTED HORTICULTURAL PRACTICES TO KEEP THE PLANTS INSTALLED IN LIVING, HEALTHY CONDITION. FOLLOWING THE ONE-YEAR GUARANTEE PERIOD THE OWNER/OWNERS SHALL INSPECT ALL PLANT MATERIAL FOR HEALTHY ORNAMENTAL QUALITY. AT THAT TIME SHOULD ANY PLANT MATERIAL BE FOUND IN INADEQUATE HEALTH THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE THE PLANT IN KIND AND PROVIDE A ONE-YEAR GUARANTEE FOR THE REPLACEMENT PLANT.
- INSTALL ALL PLANT MATERIAL AS SHOWN IN DETAILS.
- PROTECTION OF EXISTING PLANTINGS: MAXIMUM EFFORT SHOULD BE MADE TO SAVE TREES OF OTHER PLANT SPECIMENS WHICH ARE LARGE FOR THEIR SPECIES, RARE TO THE AREA, OR OF SPECIAL HORTICULTURAL OR LANDSCAPE VALUE. CONTACT OWNER/LANDSCAPE ARCHITECT BEFORE REMOVING ANY SPECIMEN OF THIS TYPE UNLESS OTHERWISE NOTED ON THE PLANS. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF SHRUBS OR TREES DESIGNATED ON THE LANDSCAPE PLAN TO BE RETAINED. PROTECTIVE BARRIERS ARE TO BE INSTALLED AROUND EACH PLANT AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF SUPPORTING. THEY SHALL BE OF MINIMUM OF FOUR FEET (4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED.
- DISTURBED AREAS: ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT, AND ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE RAKED TO REMOVE STONES AND LOAMED AND SEEDED AS PER SPECIFICATIONS.

LOAM AND SEEDING:

- APPLICATION OF LOAM AND SEED SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- LOAM MATERIAL TO BE FURNISHED SHALL CONSIST OF SCREENED LOOSE, FRIABLE, FINE SANDY LOAM OR SANDY LOAM, AS DEFINED BY THE USDA'S SOIL CONSERVATION SERVICE IN THE SOIL SURVEY MANUAL ISSUED IN 1993. FREE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, COBBLES, STONES, BRUSH, NOXIOUS WEEDS, LITTER AND OTHER MATERIALS WHICH ARE LARGER THAN 1/2-INCH IN ANY DIMENSION AND WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED. ORGANIC MATTER SHALL CONSTITUTE NOT LESS THAN 5 PERCENT NOR MORE THAN 20 PERCENT OF THE LOAM AS DETERMINED BY LOSS-ON-IGNITION OF OVEN DRIED SAMPLES THAT HAVE BEEN DRAWN BY THE ENGINEER, UNLESS OTHERWISE SPECIFIED OR DIRECTED. THE LOAM SHALL HAVE AN ACIDITY RANGE OF 5.5 PH TO 7.6 PH.
- LOAM SHALL BE SPREAD TO A DEPTH OF 4" IN SEEDING AREAS AND PLACED TRUE TO LINES AND GRADES SHOWN ON THE PLANS.
- THE LOAMED SURFACE SHALL BE GRADED, AND ALL ROOTS, SODS, WEEDS, COBBLES OR STONES WITH ANY DIMENSION GREATER THAN 1 INCH SHALL BE REMOVED AND LEGALLY DISPOSED OF. AFTER SHAPING AND GRADING, ALL TRUCKS AND OTHER EQUIPMENT NOT REQUIRED TO PERFORM SEEDING, MULCHING OR MOWING OPERATIONS SHALL BE EXCLUDED FROM THE LOAMED AREAS.
- LIME (GROUND OR PELLETIZED) SHALL BE APPLIED DRY AND SPREAD EVENLY OVER THE ENTIRE SURFACE TO BE SEEDED. UNLESS OTHERWISE SPECIFIED, THE APPLICATION RATE SHALL BE 1 TON PER ACRE. RAKING SHALL BE COMPLETED AFTER THE FERTILIZER HAS BEEN APPLIED.
- SEED SHALL BE APPLIED ONLY DURING THE FOLLOWING DATES:
SPRING SEEDING: MARCH 15 TO MAY 31.
FALL SEEDING: AUGUST 15 TO OCTOBER 15.
- THE CONTRACTOR SHALL WATER ALL SEEDED AREAS AND RESEED AS NECESSARY FOR A PERIOD OF 2-MONTHS OR UNTIL A HEALTH STAND OF GRASS IS ESTABLISHED AND APPROVAL HAS BEEN MADE BY THE OWNER/LANDSCAPE ARCHITECT.

LANDSCAPE PLAN
FOR
FORMER BENNY'S RENOVATIONS
(MAP 26; LOTS 60, 60A & 60B)
SITUATED AT
151 HUTTLESTON AVE & 9 CROSS ST
FAIRHAVEN, MASSACHUSETTS
PREPARED FOR
CARPIONATO GROUP, LLC

NO.	REVISION	BY	DATE
1	NEW SHEET - ADDED STREET TREES	SSH	08/16/19
2	PER CLIENT COMMENTS	MKM	09/27/19
3	MOD. LANDSCAPE PLAN	KYY	10/02/19



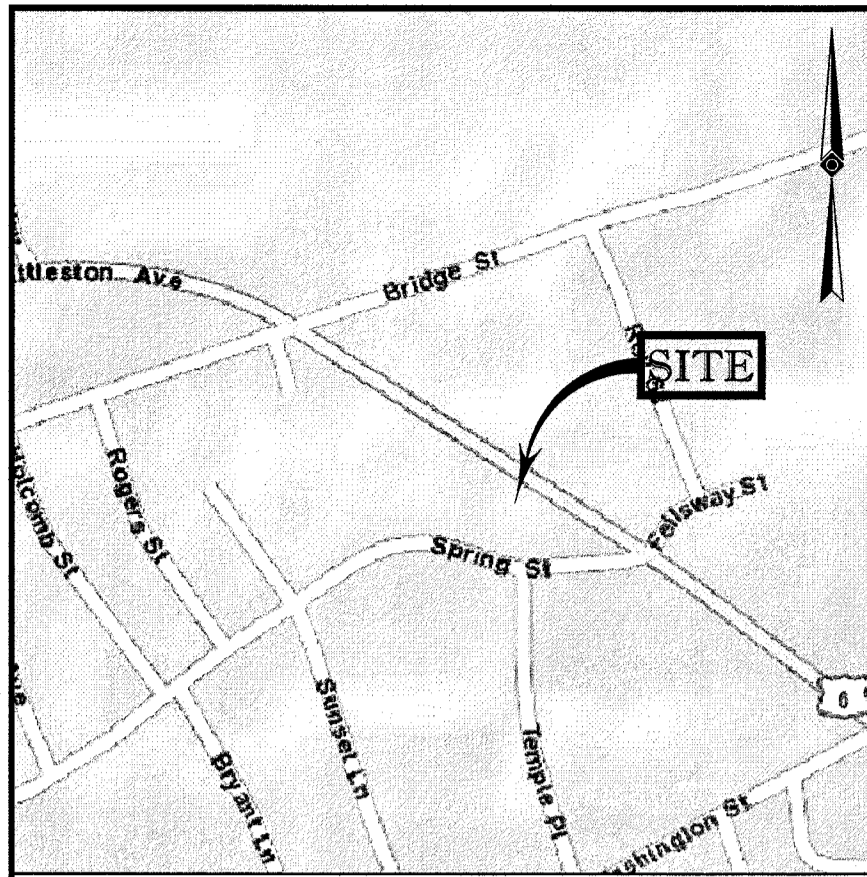
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DWG. NO. 7202-00-BASE.DWG	CHECK BY S.S.H
SCALE: AS SHOWN	APPROVED S.B.G
	DATE: AUGUST 08, 2019

SHEET
L-1
1 OF 1 SHEET



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS

ZONING INFORMATION
BUSINESS (B) DISTRICT
SOURCE: ZONING CHAPTER 198 FROM THE CODE OF THE TOWN OF FAIRHAVEN
ARTICLE II - SECTION 198-17 INTENSITY OF USE REGULATIONS

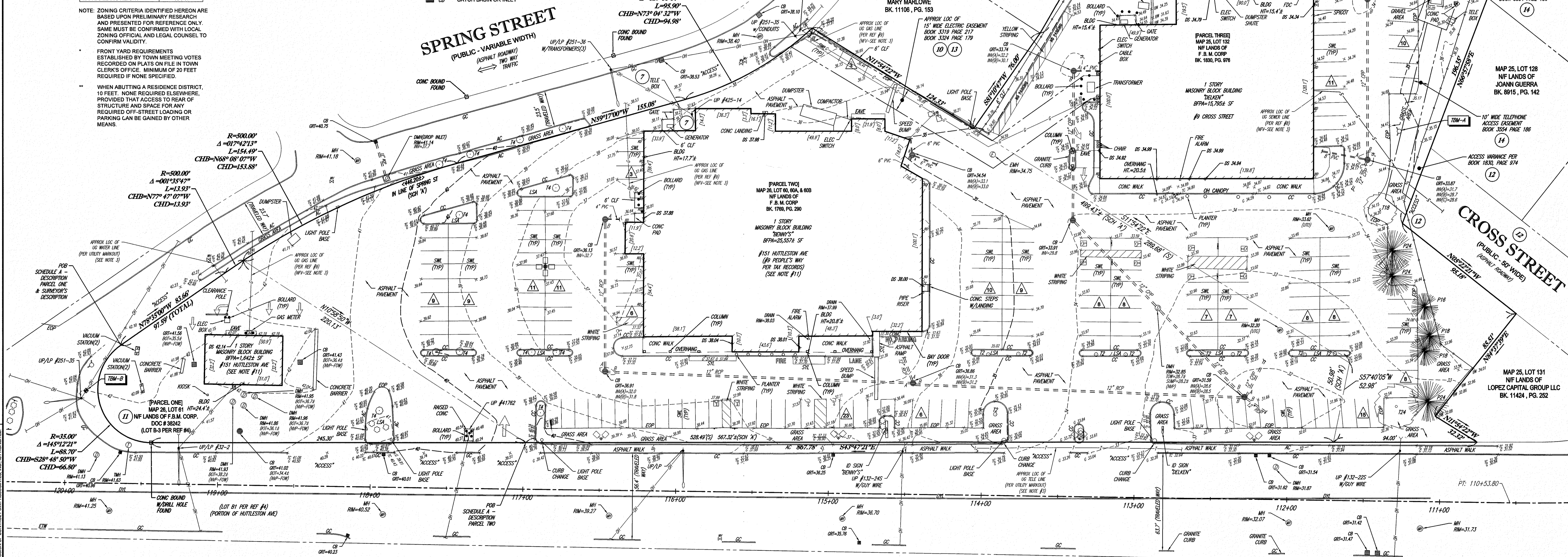
ITEMS	REQUIRED
MIN LOT AREA	15,000 SQ. FT.
MIN FRONTAGE	100 FT.
MIN FRONT YARD	-
MIN SIDE YARD	-
MIN REAR YARD	-
MAX BUILDING HEIGHT	40 FT.

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

FRONT YARD REQUIREMENTS ESTABLISHED BY TOWN MEETING VOTES RECORDED ON PLATS ON FILE IN TOWN CLERK'S OFFICE. MINIMUM OF 20 FEET REQUIRED IF NONE SPECIFIED.

WHEN ABUTTING A RESIDENCE DISTRICT, 10 FEET. NONE REQUIRED ELSEWHERE, PROVIDED THAT ACCESS TO REAR OF STRUCTURE AND SPACE FOR ANY REQUIRED OFF-STREET LOADING OR PARKING CAN BE GAINED BY OTHER MEANS.

- LEGEND
- | | | | |
|-------------|-----------------------------------|--------------|-------------------------|
| --- 124 --- | EXISTING CONTOUR | AC | ASPHALT CURB |
| --- 125 --- | EXISTING SPOT ELEVATION | GC | GRANITE CURB |
| × TC 123.45 | EXISTING TOP OF CURB ELEVATION | CC | CONCRETE CURB |
| × G 122.85 | EXISTING GUTTER ELEVATION | UD | UNABLE TO OPEN |
| × TW 123.45 | EXISTING TOP OF WALL ELEVATION | (PARCEL ONE) | TITLE COMMITMENT PARCEL |
| × BW 122.95 | EXISTING BOTTOM OF WALL ELEVATION | (S) | SURVEY DIMENSION |
| × FF 123.45 | EXISTING FINISHED FLOOR ELEVATION | | |
| × DS 123.45 | EXISTING DOOR SILL ELEVATION | | |
| ○ | TREE & TRUNK SIZE | | |
| △ | SHRUBS | | |
| △ | PARKING SPACE COUNT | | |
| AG | ABOVE GROUND | | |
| UG | UNDER GROUND | | |
| CLF | CHAIN LINK FENCE | | |
| EDC | EDGE OF CONCRETE | | |
| EDP | EDGE OF PAVEMENT | | |
| (TYP) | TYPICAL | | |
| SWL | SOLID WHITE LINE | | |
| DYL | DOUBLE YELLOW LINE | | |
| ETW | EDGE OF TRAFFIC WAY | | |
| HT | HEIGHT | | |
| BLDG | BUILDING | | |
| BFFA | BUILDING FOOTPRINT AREA | | |
| NVP | NO VISIBLE PIPE | | |
| FW | FULL OF WATER | | |
| BOS | BOTTOM OF STRUCTURE | | |
| TOW | TOP OF WATER | | |
| FDC | FIRE DEPARTMENT CONNECTION | | |
| INV | INVERT ELEVATION | | |
| GRV | GRATE ELEVATION | | |
| PVC | POLYVINYL CHLORIDE | | |
| CPP | CORRUGATED PLASTIC PIPE | | |
| RCP | REINFORCED CONCRETE PIPE | | |
| (I) | TITLE EXCEPTION | | |



UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 20174407878

UTILITY COMPANY	PHONE NUMBER
AT&T TRANSMISSION	800-331-0500
NSTAR ELECTRIC - COM	800-592-2000
NSTAR GAS	800-592-2000
COMCAST - REMBROKE	800-934-6499
VERIZON	800-922-0204
ON TARGET LOCATING	508-429-1022

HUTTLESTON AVENUE
(AKA ROUTE 6)
(PUBLIC - VARIABLE WIDTH)
(ASPHALT ROADWAY)
TWO WAY TRAFFIC

SEE SHEET 2 OF 2 FOR NOTES, REFERENCES, EXHIBIT A, & SURVEYOR'S DESCRIPTION

GRAPHIC SCALE
30 0 15 30 60 120
(IN FEET)
1 inch = 30 ft.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 8, 9, 11, 13 & 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON DECEMBER 22, 2017.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE: 11-22-17
12-22-17

FIELD BOOK NO.: 17-14MA

FIELD BOOK PG.: 81-92

FIELD CREW: A.S., B.S.B.

DRAWN: PRIMA

REVIEWED: S.P.P.

APPROVED: G.L.H.

DATE: 3-15-18

SCALE: 1"=30'

FILE NO.: 03-170358

DWG. NO.: 1 OF 2

ALTA/NSPS LAND TITLE SURVEY
CARPIONATO GROUP, LLC
151 HUTTLESTON AVENUE & 9 CROSS STREET
LOT 132, MAP 25 & LOTS 60A, 60B, 8, 61, MAP 26
TOWN OF FAIRHAVEN, BRISTOL COUNTY
COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX

ALBANY, NY 518217910
CHALFONT, PA 2157129800
MANHATTAN, NY 946780111
MT LAUREL, NJ 6098572099
WARREN, NJ 9086680099

NOTES:

- 1. PROPERTY KNOWN AS LOTS 60A, 61 & 132 AS SHOWN ON THE TOWN OF FAIRHAVEN, BRISTOL COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 28.
2. MAP 25, LOT 132 AREA = 81,487 SQUARE FEET OR 1.871 ACRES
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY...
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY IS PREPARED WITH THE BENEFIT OF A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 2476737, WITH AN EFFECTIVE DATE OF OCTOBER 9, 2017, WHERE THE FOLLOWING EXCEPTIONS APPEAR IN SCHEDULE B, SECTION 2:
GENERAL EXCEPTIONS 1 THRU 5 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A PART OF THE SURVEY.
6. EASEMENT SET FORTH AS REGISTERED LAND DOCUMENT #63814 - AFFECTS PARCEL TWO AND THREE, DESCRIBES INGRESS, EGRESS, AND PARKING EASEMENT BLANKET IN NATURE OVER PARCEL THREE TO BENEFIT PARCEL TWO.
7. RIGHT OF WAY EASEMENT RECORDED IN BOOK 1508 AT PAGE 90 - UTILITY POLE AND OVERHEAD ELECTRIC TRANSMISSION LINE TO BUILDING SHOWN
8. FAIRHAVEN PLANNING BOARD DECISIONS RECORDED IN BOOK 3227 AT PAGE 239 AND IN BOOK 3324 AT PAGE 191 - DESCRIBES PETITION BY F.B.M CORPORATION TO ERRECT A 15,800 SQUARE FOOT RETAIL BUILDING PER THE CONDITION OF OBTAINING A CROSS EASEMENT FOR PARKING THAT RUNS WITH THE LAND, NOT PLOTTABLE
9. EASEMENT AS SET FORTH IN BOOK 3227 AT PAGE 240 - AFFECTS PARCEL TWO AND THREE, DESCRIBES INGRESS, EGRESS, AND PARKING EASEMENT BLANKET IN NATURE OVER PARCEL THREE TO BENEFIT PARCEL TWO.
10. GRANT OF EASEMENT IN FAVOR OF COMMONWEALTH ELECTRIC COMPANY RECORDED IN BOOK 3324 AT PAGE 179 - AFFECTS PARCEL, APPROXIMATE LOCATION OF 15' WIDE EASEMENT SHOWN HEREON.
11. MATTERS AND CONDITIONS AS SET FORTH ON SUBDIVISION PLAN 62558, DRAWN BY A.B. APPLETON, OFFICE ENGINEER OF DEPARTMENT OF PUBLIC WORKS, DATED DEC. 14, 1934, AND FILED IN THE LAND REGISTRATION OFFICE AT BOSTON, A COPY OF WHICH IS FILED IN BRISTOL COUNTY (S.D.) REGISTRY OF DEEDS, IN LAND REGISTRATION BOOK 11 AT PAGE 471, WITH CERTIFICATE OF TITLE NO. 2554 - AFFECTS PARCEL ONE; LOT B-3 SHOWN OF SAID PLAN
12. TOWN OF FAIRHAVEN BOARD OF APPEALS DECISION LETTER RECORDED IN BOOK 1830 AT PAGE 974 - AFFECTS PARCEL, GRANTS ACCESS VARIANCE TO PROPERTY FROM CROSS STREET.
13. EASEMENT IN FAVOR OF COMMONWEALTH ELECTRIC COMPANY RECORDED IN BOOK 3319 AT PAGE 217 - AFFECTS PARCEL, APPROXIMATE LOCATION OF 15' WIDE EASEMENT SHOWN HEREON.
14. EASEMENT IN FAVOR OF NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY RECORDED IN BOOK 3554 AT PAGE 186 - AFFECTS PARCEL, 20' X 40' EASEMENT AND 10' WIDE NON-EXCLUSIVE ACCESS EASEMENT SHOWN HEREON.
15. MATTERS AND CONDITIONS AS SHOWN ON THAT PLAN ENTITLED, 'SUBDIVISION PLAN OF LAND IN FAIRHAVEN, MASS., BELONGING TO HILDA GRACIA SCALE: 1"=50' AUGUST 4, 1981, GERALD M. FITZGERALD - CITED PLAN DEPICTS PROPERTY PRIOR TO REDEVELOPMENT TO ITS CURRENT STATE
6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF #2
7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
TEMPORARY BENCH MARKS SET:
TBM-A: X-CUT IN BONNET BOLT OF FIRE HYDRANT - ELEVATION = 36.60'
TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT - ELEVATION = 42.17'
PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
9. THE PROPERTY DESCRIBED IN THE TITLE COMMITMENT AS EXHIBIT "A" IS THE SAME AS SHOWN ON THE SURVEY.
10. PARKING COUNT - REGULAR SPACES = 182
HANDICAPPED SPACES = 13
TOTAL SPACES = 195
11. SURVEYOR HAS REASON TO BELIEVE THAT PEOPLE'S WAY WAS NEVER A FORMAL STREET. NO DOCUMENT CREATING A WAY OR RIGHTS WITHIN THE WAY WAS FOUND. PEOPLE'S WAY IS NOT AN ACTUAL STREET PER CORRESPONDENCE WITH TOWN PLANNER WILLIAM ROTH, JR.

SCHEDULE A - LEGAL DESCRIPTION:

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:

PARCEL ONE: (REGISTERED LAND)

THAT PARCEL OF LAND SITUATED IN FAIRHAVEN, IN THE COUNTY OF BRISTOL AND THE COMMONWEALTH OF MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:

- SOUTHERLY BY SPRING STREET, NINETY SEVEN AND 59/100 (97.59) FEET.
WESTERLY BY LAND NOW OR FORMERLY OF JOSEPH VICTORINI, TWO HUNDRED TWENTY AND 13/100 (220.13) FEET.
NORTHEASTERLY BY LOT B-1 ON PLAN HEREINAFTER MENTIONED, THE SAME BEING A STATE HIGHWAY, TWO HUNDRED FORTY FIVE AND 30/100 (245.30) FEET, AND
SOUTHEASTERLY BY THE NORTH WESTERLY LINE FORMING THE JUNCTION OF SAID STATE HIGHWAY AND SPRING STREET, EIGHTY EIGHT AND 70/100 (88.70) FEET.

SAID LAND IS SHOWN AS LOT B-3 ON SUBDIVISION PLAN 62558, DRAWN BY A.B. APPLETON, OFFICE ENGINEER FOR DEPARTMENT OF PUBLIC WORKS, DATED DEC. 14, 1934, AND FILED IN THE LAND REGISTRATION OFFICE AT BOSTON, A COPY OF WHICH IS FILED IN BRISTOL COUNTY (S.D.) REGISTRY OF DEEDS, IN LAND REGISTRATION BOOK 11 AT PAGE 471, WITH CERTIFICATE OF TITLE NO. 2554.

PARCEL TWO: (RECORDED LAND)

BEGINNING AT THE NORTHEAST CORNER THEREOF, AT A POINT IN THE SOUTHWEST LINE OF THE STATE HIGHWAY ALSO KNOWN AS HUTTLESTON AVENUE, THE SAME BEING THE NORTHWEST CORNER OF LOT NO. B-3 ON SUBDIVISION PLAN 62558 DRAWN BY A.B. APPLETON, OFFICE ENGINEER FOR THE DEPARTMENT OF PUBLIC WORKS, DATED DECEMBER 14, 1934, A COPY OF WHICH IS FILED WITH THE BRISTOL COUNTY (S.D.) REGISTRY OF DEEDS IN LAND REGISTRATION BOOK 11 AT PAGE 471, WITH CERTIFICATE OF TITLE NO. 2554;

- THENCE NORTHWESTERLY IN SAID LINE OF HUTTLESTON AVENUE, FIVE HUNDRED SIXTY SEVEN AND 32/100 (567.32) FEET, MORE OR LESS, TO LAND NOW OR FORMERLY OF ANTONE H. GRACIA;
THENCE WESTERLY BY LAST NAMED LAND, ABOUT FIFTY AND 98/100 (50.98) FEET TO OTHER LAND NOW OR FORMERLY OF SAID GRACIA;
THENCE SOUTHERLY BY LAST NAMED LAND ABOUT FOUR HUNDRED NINETY NINE AND 43/100 (499.43) FEET TO THE NORTHEASTERLY LINE OF SPRING STREET;
THENCE EASTERLY IN SAID LINE OF SPRING STREET, FOUR HUNDRED FORTY SIX AND 20/100 (446.20) FEET, MORE OR LESS, TO THE SOUTHWEST CORNER OF SAID LOT NO. B-3 REFERRED TO ABOVE;
THENCE NORTH 11°25'10" WEST IN LINE OF SAID LOT NO. B-3, TWO HUNDRED TWENTY AND 13/100 (220.13) FEET TO THE POINT OF BEGINNING.

FOR TITLE SEE DEEDS TO GRANOR FROM LOGAN R. JASON, ET UX, AND FROM LORETTA C. YOUNG, ET AL, DATED RESPECTIVELY SEPTEMBER 6, 1957 AND NOVEMBER 1, 1957 RECORDED IN SAID REGISTRY OF DEEDS, BOOK 1228 AT PAGE 82 AND IN BOOK 1233 AT PAGE 368, RESPECTIVELY.

PARCEL THREE: (RECORDED LAND)

THE LAND IN FAIRHAVEN, BRISTOL COUNTY, COMMONWEALTH OF MASSACHUSETTS, KNOWN AS 9 CROSS STREET AND LOCATED IN THE REAR OF 140 SPRING STREET, FAIRHAVEN, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A DRILL HOLE AT THE SOUTHEAST CORNER OF THE PREMISES HEREIN CONVEYED AND THE NORTHWEST CORNER OF LOT NO. 2 (TWO) ON PLAN OF LAND HEREINAFTER MENTIONED;

- THENCE NORTH 18°32'28" WEST, A DISTANCE OF 235.97 FEET TO A POINT AT LAND NOW OR FORMERLY OF EDWARD GRACIA;
THENCE NORTH 66°57'58" EAST ALONG LAND NOW OR FORMERLY OF EDWARD GRACIA AND JAMES R. AND ELEANOR GUERRA AND THE SOUTHERLY BOUNDARY OF CROSS STREET, A DISTANCE OF 196.35 FEET TO A CONCRETE BOUND;
THENCE NORTH 5°22'21" WEST ALONG THE EASTERLY LINE OF SAID CROSS STREET, A DISTANCE OF 95.18 FEET TO LAND NOW OR FORMERLY OF MANUEL SOUZA;
THENCE NORTH 84°37'39" EAST ALONG THE SOUTHERLY LINE OF SOUZA LAND, A DISTANCE OF 85.51 FEET TO A DRILL HOLE;
THENCE NORTH 11°54'22" WEST, A DISTANCE OF 32.32 FEET TO A STAKE ALONG THE SOUTHERLY LINE OF HUTTLESTON AVENUE;
THENCE SOUTH 43°47'21" EAST IN SAID SOUTHERLY LINE OF HUTTLESTON AVENUE, A DISTANCE OF 94.00 FEET;
THENCE SOUTH 57°40'05" WEST ALONG OTHER LAND OF THE GRANTEE, A DISTANCE OF 52.98 FEET TO A POINT;
THENCE SOUTH 11°54'22" EAST ALONG THE WESTERLY LINE OF OTHER LAND OF THIS GRANTEE, A DISTANCE OF 289.88 FEET TO A CONCRETE BOUND, WHICH SAID POINT IS THE NORTHEASTERLY CORNER OF PARCEL NO. 3 (THREE) AS SHOWN ON SAID PLAN;
THENCE SOUTH 81°10'47" WEST, A DISTANCE OF 76.00 FEET TO A CONCRETE BOUND; AND
THENCE SOUTH 76°22'54" WEST ALONG THE NORTHERLY LINE OF LOT NO. 2 (TWO) AS SHOWN ON SAID PLAN, A DISTANCE OF 185.37 FEET TO THE POINT OF BEGINNING.

BEING SHOWN AS LOT NO. 1 (ONE) ON 'SUBDIVISION PLAN OF LAND IN FAIRHAVEN, MASS., BELONGING TO HILDA GRACIA SCALE: 1"=50' AUGUST 4, 1981, GERALD M. FITZGERALD, REGISTERED LAND SURVEYOR', AND RECORDED IN BRISTOL COUNTY (S.D.) REGISTRY OF DEEDS IN PLAN BOOK 106 AT PAGE 5.

REFERENCES:

- 1. THE TAX ASSESSOR'S MAP OF FAIRHAVEN, BRISTOL COUNTY, MASSACHUSETTS, SHEET #28.
2. MAP ENTITLED 'NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 394 OF 550,' MAP NUMBER 25005C0394G, MAP REVISED JULY 16, 2014.
3. MAP ENTITLED 'SUBDIVISION PLAN OF LAND IN FAIRHAVEN, MASS. BELONGING TO HILDA GRACIA' DATED AUGUST 4, 1981, RECORDED WITH THE BRISTOL COUNTY SOUTH REGISTRY OF DEEDS IN PLAN BOOK 106 PAGE 5.
4. MAP ENTITLED 'SUBDIVISION OF LOT B SHOWN ON PLAN 62558A2 FILED WITH CERT. OF TITLE NO. 803 SOUTH REGISTRY DISTRICT OF BRISTOL COUNTY, LAND IN FAIRHAVEN' DATED DEC. 14, 1934 BY A.B. APPLETON, FILED WITH LAND COURT AS PLAN NO. 62558.
5. MAP ENTITLED '1933 MASSACHUSETTS LAYOUT NO. 3074 OF HUTTLESTON AVENUE'
6. MAP ENTITLED 'PLAN OF LAND SITUATED IN FAIRHAVEN, MASS. SURVEYED FOR MORRIS P. FOX' DATED SEPTEMBER 2, 1953, BY WILLIAM F. KIRBY, RECORDED WITH BRISTOL COUNTY SOUTH REGISTRY OF DEEDS IN PLAN BOOK 49 PAGE 22.
7. MAP ENTITLED 'EASEMENT PLAN PREPARED FOR NYNEX, FAIRHAVEN, MA' DATED SEPTEMBER 27, 1995 BY EAGLE SURVEYING & ENGINEERING, INC., RECORDED WITH BRISTOL COUNTY SOUTH REGISTRY OF DEEDS IN PLAN BOOK 134 PAGE 28.
8. MAP ENTITLED 'AS-BUILT SEWER LINE LOCATION, F B M CORP., NEW RETAIL CENTER, 151 HUTTLESTON AVE, FAIRHAVEN, MA,' PREPARED BY HENRY W. MARKOFF, DATED AUGUST 1994.
9. GAS FACILITY MAPPING PROVIDED BY NSTAR.

SURVEYOR'S METES AND BOUNDS DESCRIPTION
MAP 25, LOT 132 & MAP 28, LOTS 60, 60A, 60B, & 61
TOWN OF FAIRHAVEN
BRISTOL COUNTY, MASSACHUSETTS

BEGINNING AT A POINT ON THE NORTHERLY LINE OF SPRING STREET (PUBLIC-VARIABLE WIDTH), AND FROM SAID POINT OF BEGINNING RUNNING THENCE, THE FOLLOWING FIVE (5) COURSES ALONG SPRING STREET:

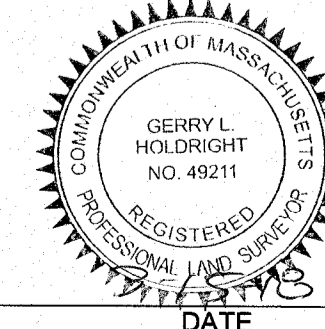
- 1. NORTH 78 DEGREES - 35 MINUTES - 00 SECONDS WEST, A DISTANCE OF 83.66 FEET, THENCE;
2. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 01 DEGREE - 35 MINUTES - 47 SECONDS, AN ARC LENGTH OF 13.93 FEET, A CHORD BEARING OF NORTH 77 DEGREES - 47 MINUTES - 07 SECONDS WEST, AND A CHORD DISTANCE OF 13.93 FEET, THENCE;
3. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 17 DEGREES - 42 MINUTES - 13 SECONDS, AN ARC LENGTH OF 154.49 FEET, A CHORD BEARING OF NORTH 68 DEGREES - 08 MINUTES - 07 SECONDS WEST, AND A CHORD DISTANCE OF 153.88 FEET, THENCE;
4. NORTH 59 DEGREES - 17 MINUTES - 00 SECONDS WEST, A DISTANCE OF 155.08 FEET, THENCE;
5. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 199.20 FEET, A CENTRAL ANGLE OF 27 DEGREES - 35 MINUTES - 04 SECONDS, AN ARC LENGTH OF 95.90 FEET, A CHORD BEARING OF NORTH 73 DEGREES - 04 MINUTES - 32 SECONDS WEST, AND A CHORD DISTANCE OF 94.98 FEET TO A CORNER IN COMMON WITH MAP 25, LOT 47A (N/F LANDS OF MARY MARLOWE), THENCE THE FOLLOWING TWO (2) COURSES ALONG THE DIVIDING LINE WITH SAID LOT 47A:
6. NORTH 11 DEGREES - 54 MINUTES - 22 SECONDS WEST, A DISTANCE OF 124.33 FEET, THENCE;
7. SOUTH 81 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 76.00 FEET TO A CORNER IN COMMON WITH MAP 25, LOT 47 (N/F LANDS OF JOSTEIN, SANDRA, & ELSE MJOLHUS), THENCE;
8. ALONG THE DIVIDING LINE WITH SAID LOT 47, SOUTH 76 DEGREES - 22 MINUTES - 54 SECONDS WEST, A DISTANCE OF 185.37 FEET TO A POINT ON THE DIVIDING LINE WITH MAP 24, LOT 177 (N/F LANDS OF HELANA M. SYLVIA), THENCE;
9. ALONG THE DIVIDING LINE WITH SAID LOT 177, MAP 25, LOT 175 (N/F LANDS OF PETER M. GELINAS), & MAP 25, LOT 173 (N/F LANDS OF TIMOTHY R. ROCK), NORTH 18 DEGREES - 32 MINUTES - 28 SECONDS WEST, A DISTANCE OF 235.97 FEET TO A POINT ON THE DIVIDING LINE WITH MAP 25, LOT 123 (N/F LANDS OF CYNTHIA T. GRACIA), THENCE;
10. ALONG THE DIVIDING LINE WITH SAID LOT 123, MAP 25, LOT 128 (N/F LANDS OF JOAN GUERRA), AND THE SOUTHERLY TERMINOUS OF CROSS STREET (PUBLIC - 50' WIDE), NORTH 68 DEGREES - 57 MINUTES - 58 SECONDS EAST, A DISTANCE OF 196.35 FEET TO A POINT, THENCE;
11. ALONG THE EASTERLY LINE OF CROSS STREET NORTH 05 DEGREES - 22 MINUTES - 21 SECONDS WEST, A DISTANCE OF 95.18 FEET TO A CORNER IN COMMON WITH MAP 25, LOT 131, RUNNING THENCE THE FOLLOWING TWO (2) COURSES ALONG THE DIVIDING LINE WITH SAID LOT 131:
12. NORTH 84 DEGREES - 37 MINUTES - 39 SECONDS EAST, A DISTANCE OF 85.51 FEET, THENCE;
13. NORTH 11 DEGREES - 54 MINUTES - 22 SECONDS WEST, A DISTANCE OF 32.32 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF HUTTLESTON AVENUE (AKA ROUTE 6 - PUBLIC - VARIABLE WIDTH), THENCE;
14. ALONG THE SOUTHWESTERLY LINE OF SAID HUTTLESTON AVENUE, SOUTH 43 DEGREES - 47 MINUTES - 21 SECONDS EAST, A DISTANCE OF 867.78 FEET TO A CONCRETE BOUND WITH A DRILL HOLE FOUND, THENCE
15. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 35.00 FEET, A CENTRAL ANGLE OF 145 DEGREES - 12 MINUTES - 21 SECONDS, AN ARC LENGTH OF 88.70 FEET, A CHORD BEARING OF SOUTH 28 DEGREES - 48 MINUTES - 50 SECONDS WEST, AND A CHORD LENGTH OF 66.80 FEET, TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 218,129 SQUARE FEET OR 5.008 ACRES

THIS SURVEY IS CERTIFIED TO:
CARPIONATO GROUP, LLC
FIRST AMERICAN TITLE INSURANCE COMPANY
SAVINGS INSTITUTE BANK AND TRUST COMPANY
CGMA SEEKONK L.L.C., A MASSACHUSETTS LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2015 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 8, 9, 11, 13 & 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON DECEMBER 22, 2017.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE: 11-22-17, 12-22-17
FIELD BOOK NO.: 17-14MA
FIELD BOOK PGS.: 91-92
FIELD CREW: A.S.B.
DRAWN: PRIMA
REVIEWED: S.P.P.
APPROVED: G.L.H.
DATE: 3-15-18
SCALE: N/A
FILE NO.: 03-170358
DWG. NO.: 2 OF 2

ALTA/NSPS LAND TITLE SURVEY
CARPIONATO GROUP, LLC
151 HUTTLESTON AVENUE & 9 CROSS STREET
LOT 132, MAP 25 & LOTS 60, 60A, 60, & 61, MAP 26
TOWN OF FAIRHAVEN, BRISTOL COUNTY
COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX
ALBANY, NY 5182175010
CHALFONT, PA 2157129900
MANHATTAN, NY 6467804111
MT LAUREL, NJ 6096572999
WARREN, NJ 9086680999

UTILITIES:
THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.
SERIAL NUMBER(S): 20174407875



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

Table with 2 columns: UTILITY COMPANY and PHONE NUMBER. Includes AT&T TRANSMISSION, NSTAR ELECTRIC, COMCAST - PEMBROKE, VERIZON, and ON TARGET LOCATING.