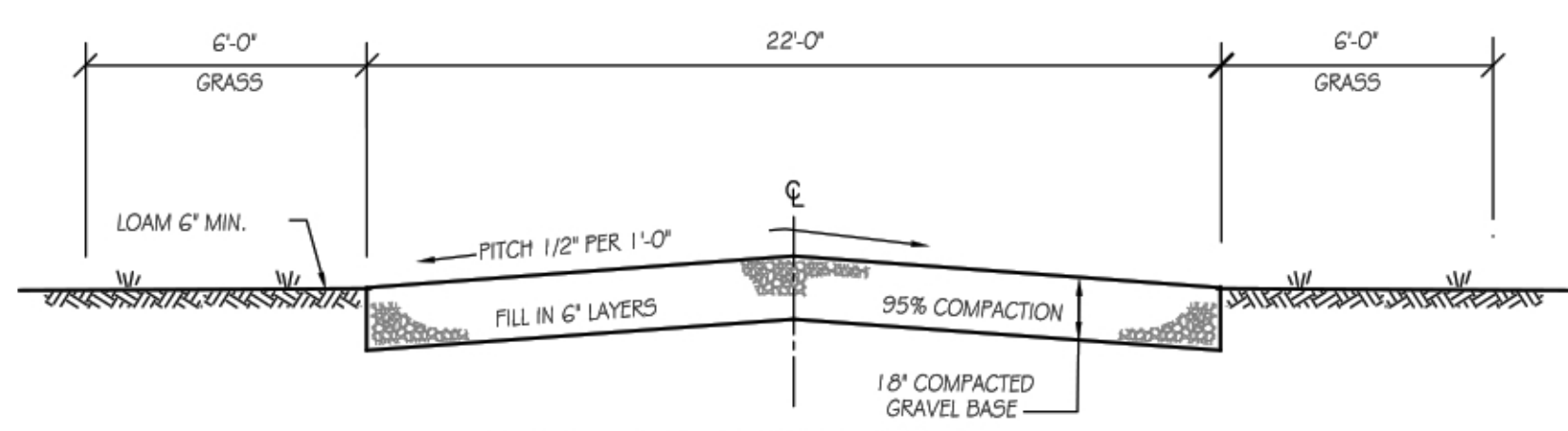


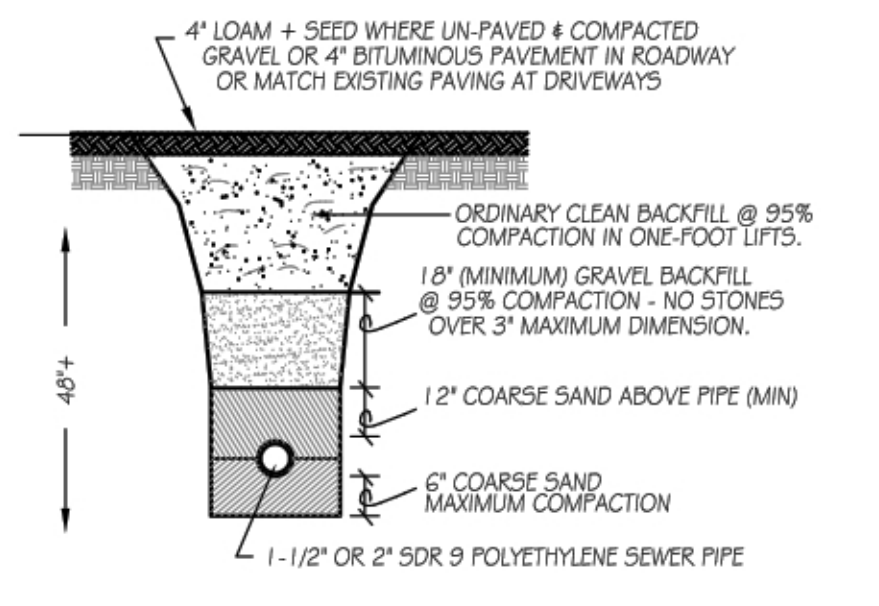
SEWER MANHOLE DETAIL
NOT TO SCALE

NOTE: BARRELS & CONES SHALL BE MANUFACTURED IN ACCORDANCE WITH A.S.T.M. STANDARD SPECIFICATIONS FOR REINFORCED CONCRETE MANHOLE RISERS & TOPS DESIGNATION C478-63T.

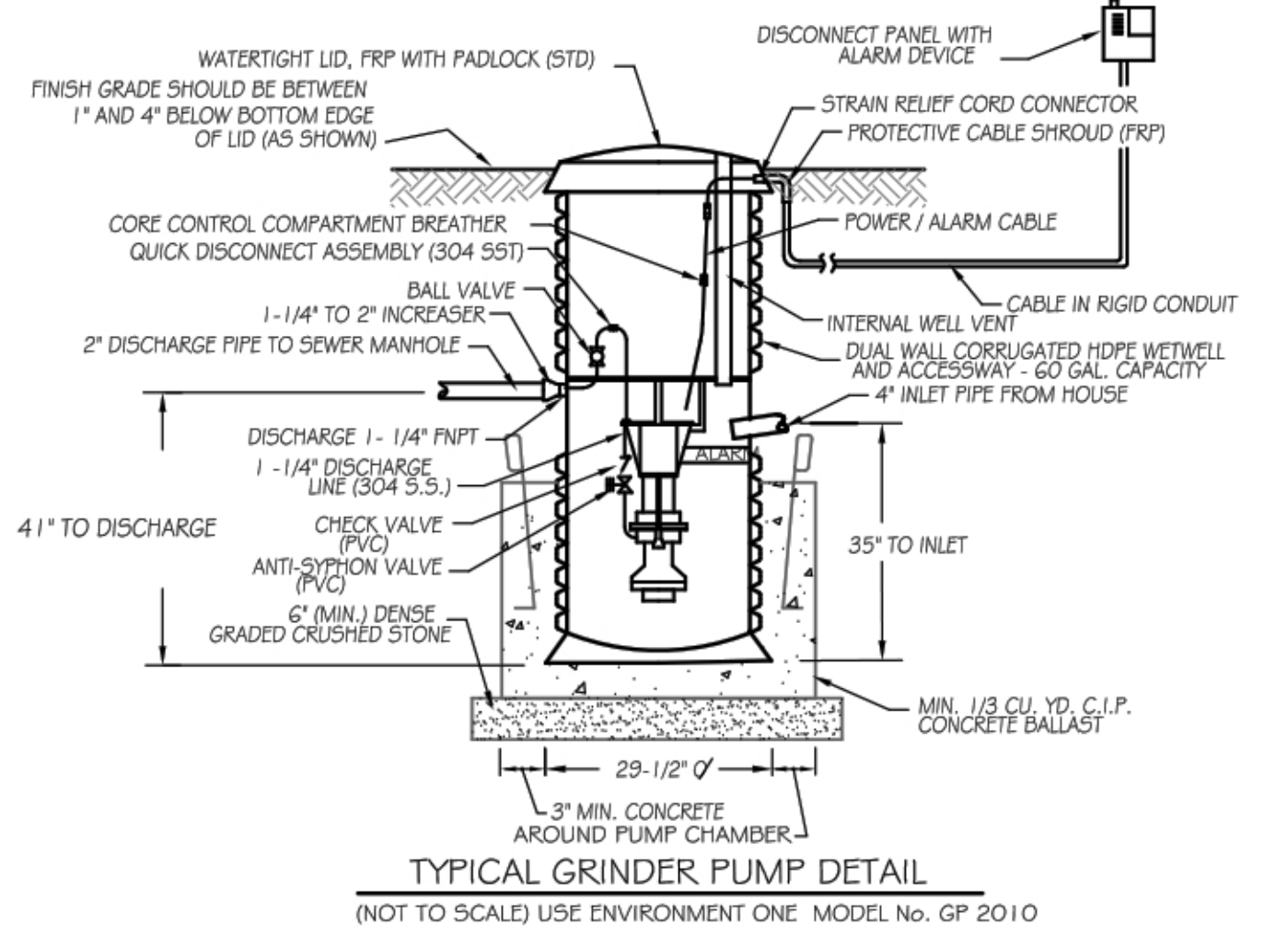


GRAVEL ROADWAY SECTION
NOT TO SCALE

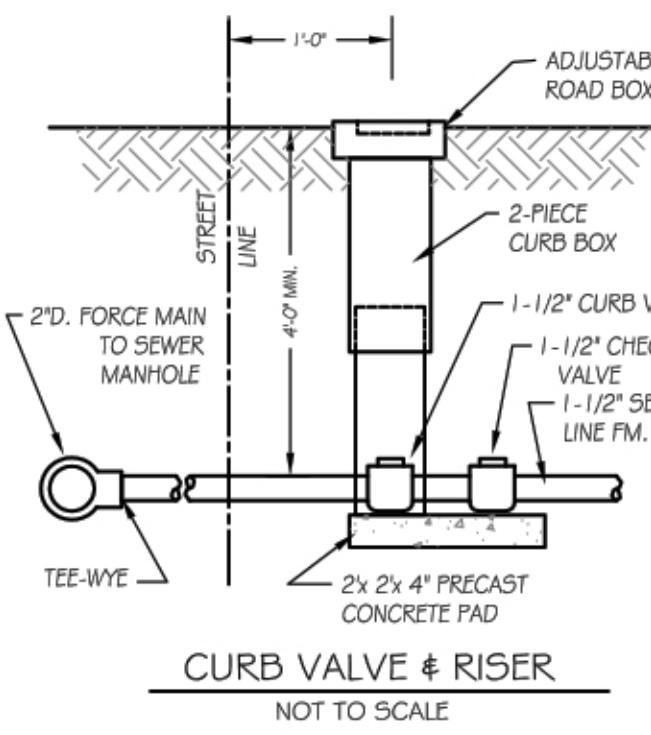
NOTES:
1. REMOVE EXISTING TOPSOIL AND SUBSOIL UNDER PROPOSED ROADWAY AND FILL TO SUBGRADE WITH GRAVEL BORROW AND COMPACT TO 95% DENSITY.
2. COMPACTED GRAVEL BASE SHALL CONFORM TO MASS. DPW SPEC. M-1.03.0 FOR GRAVEL BORROW. COMPACT GRAVEL BASE TO 95% DENSITY.



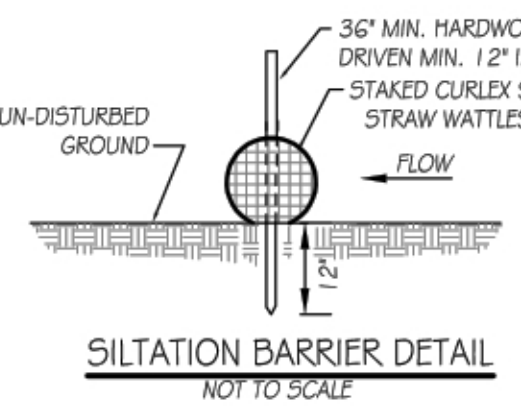
TRENCH PIPE BEDDING DETAIL
NOT TO SCALE



TYPICAL GRINDER PUMP DETAIL
(NOT TO SCALE) USE ENVIRONMENT ONE MODEL No. GP 2010

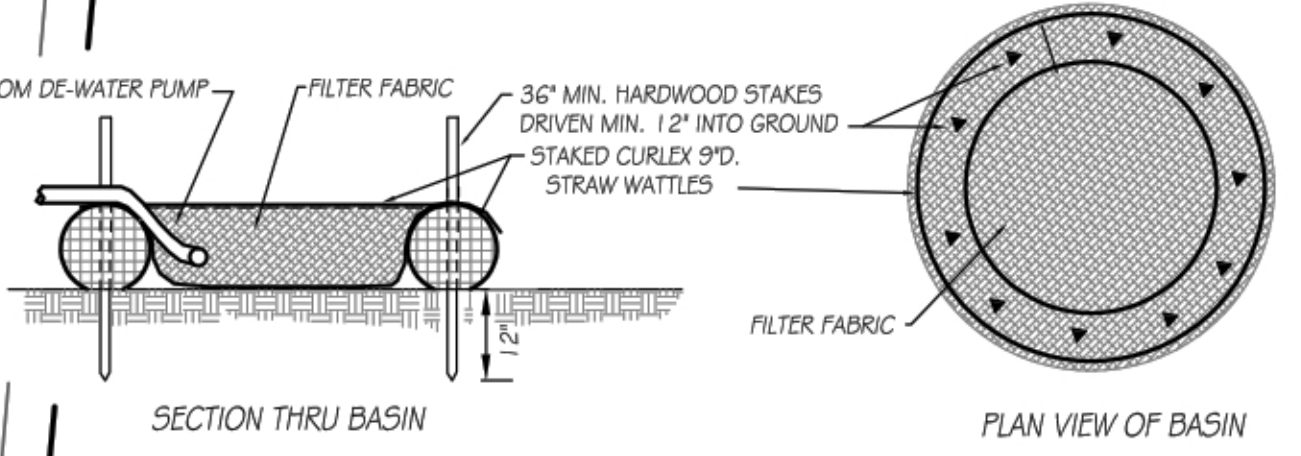


CURB VALVE & RISER
NOT TO SCALE



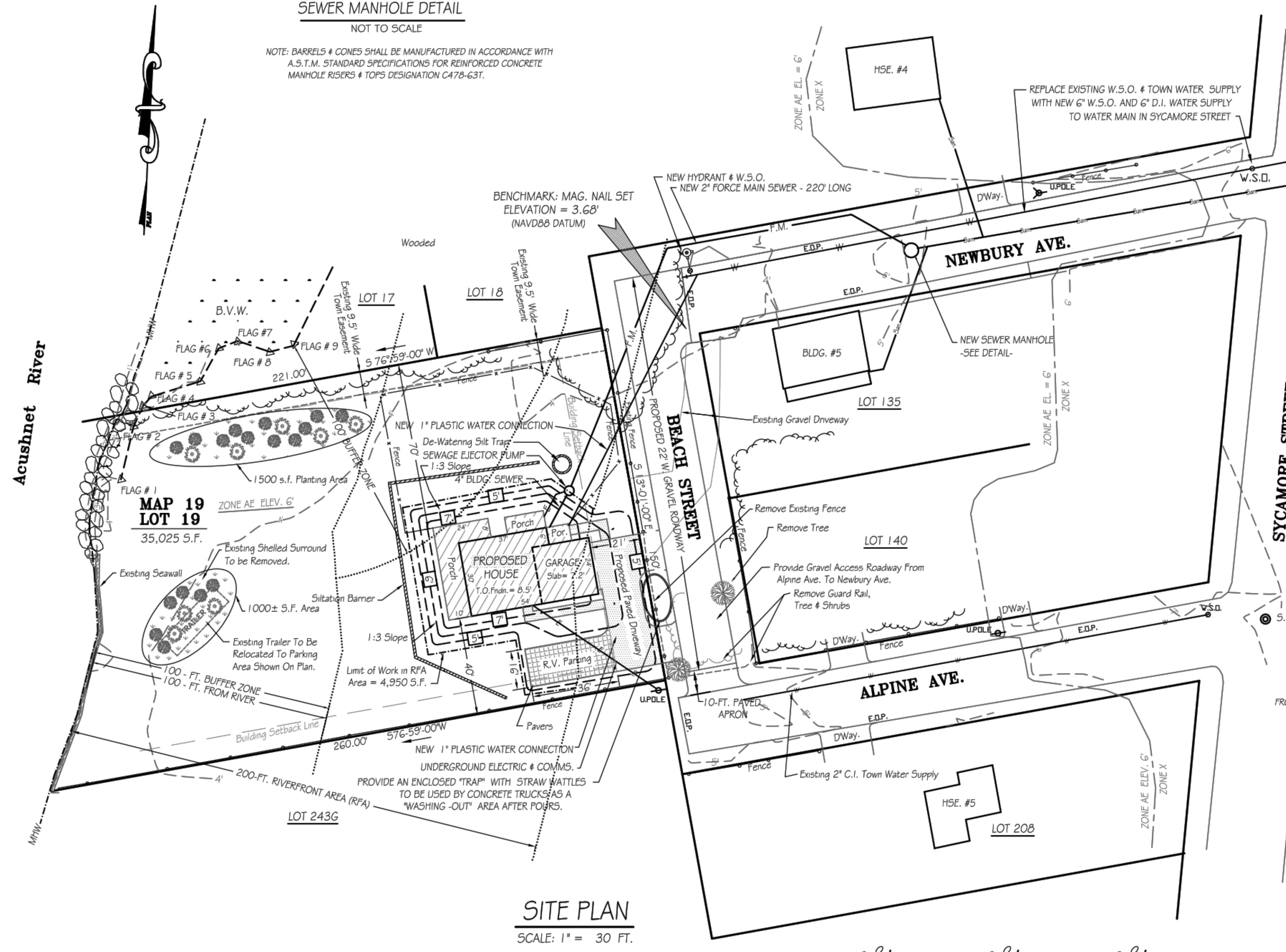
SILTATION BARRIER DETAIL
NOT TO SCALE

NOTE: STRAW WATTLES SHALL BE COMPOSED OF STRAW FIBERS ENCASED IN DURABLE BIODEGRADABLE NETTING.



DE-WATERING SILT TRAP
NOT TO SCALE

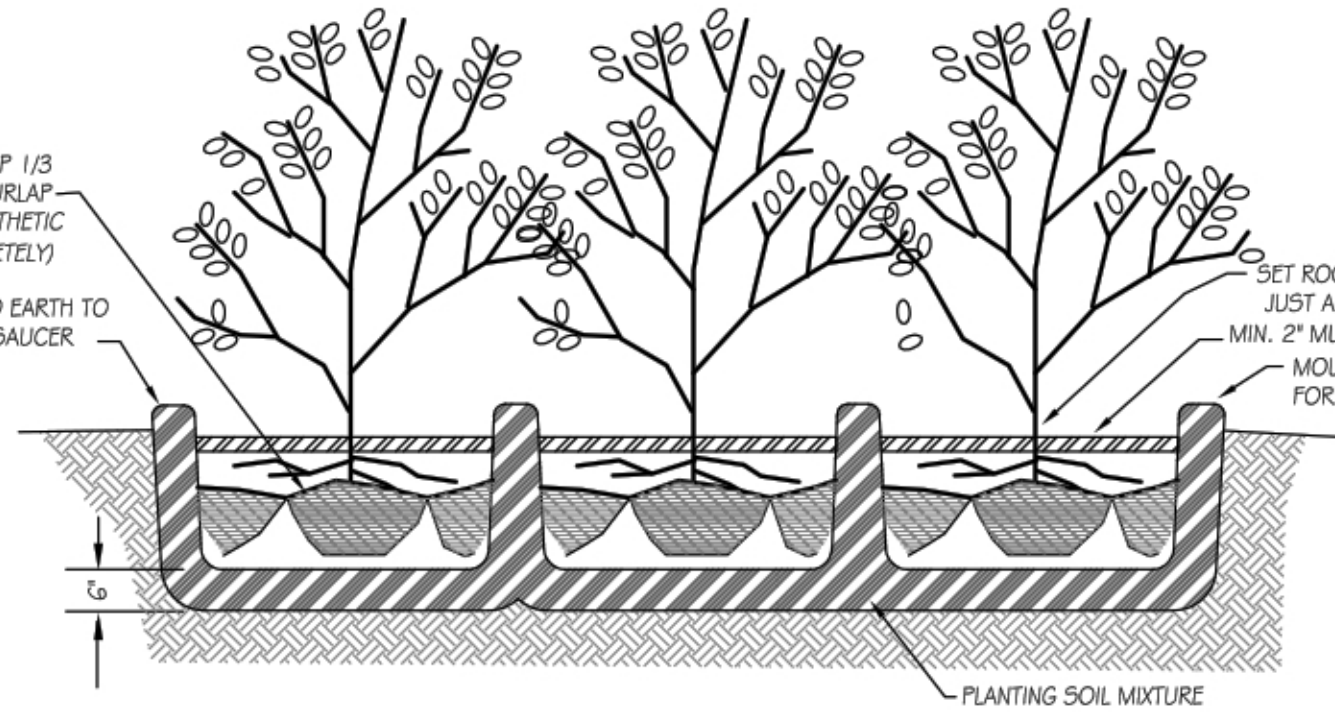
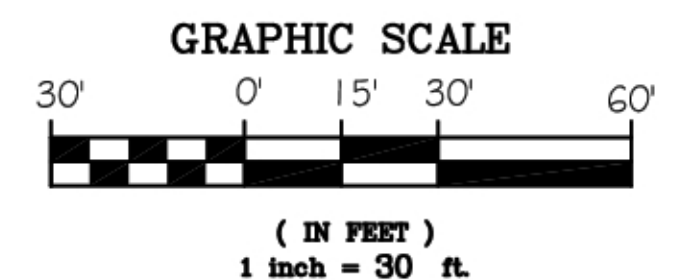
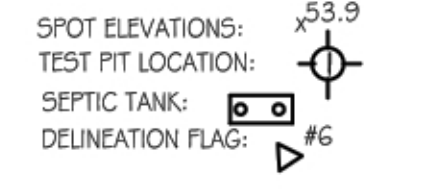
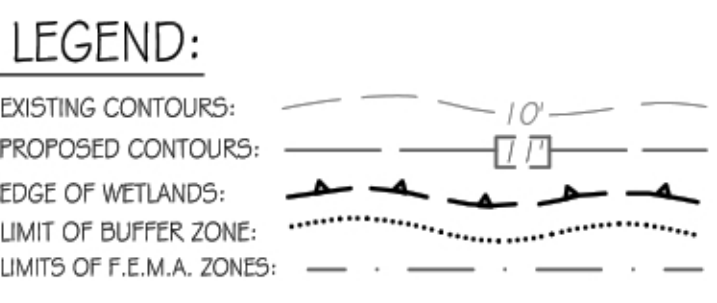
NOTE:
1. ALL EXCAVATION BELOW THE GROUND WATER TABLE SHALL BE DE-WATERED WITH PUMP DISCHARGE TO DE-WATERING SILT TRAP.



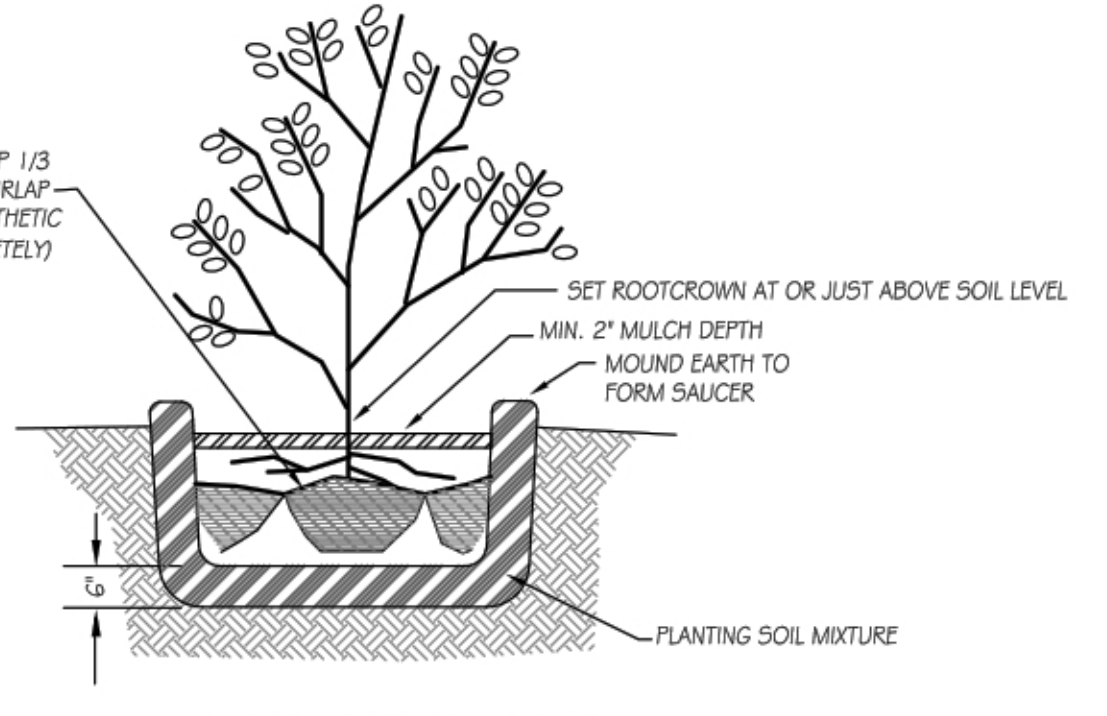
SITE PLAN
SCALE: 1" = 30 FT.

GENERAL PLANTING NOTES:

- SUITABLE PLANTINGS SHALL INCLUDE INKBERRY (ILEX GLABRA), BAYBERRY (MORELLA CAROLINIENSIS), AND EASTERN RED CEDAR (JUNIPERUS VIRGINIANA). SUITABLE GROUND COVER SHALL INCLUDE PURPLE LOVEGRASS (ERAGROSTIS SPECTABILIS), NEW YORK ASTER (SYMPHYOTRICHUM NOVI-BELGII), AND GRAY GOLDENROD (SOLIDAGO NEMORALIS).
- PROPOSED PLANTING ACTIVITIES ARE NOT TO HAPPEN WHEN THE SOIL CONDITIONS ARE FROZEN OR WHEN SOILS WILL BE TOO DRY TO PERMIT PLANTING. OPTIMUM PLANTING PERIOD IS MID-MARCH TO MID-APRIL. PLANTS SHALL BE IRRIGATED REGULARLY AFTER PLANTING FROM THE WELL TO BE INSTALLED ON THE PROPERTY OR FROM RELIABLE ALTERNATIVE SOURCE.
- ALL PLANTING HOLES SHALL BE HAND-BACKFILLED WITH NATIVE SOIL AS POSSIBLE. ADDITIONAL SOIL SHALL BE SCREENED TOPSOIL AND COMPOST MIX. ALL PLANTED TREES SHALL RECEIVE ORGANIC SLOW RELEASE FERTILIZER AND BE STAKED AS NECESSARY.



SHRUB CLUSTER PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

SPECIFICATIONS:

- SEWER PIPE SHALL BE ENDURE S.D.R. 9 POLYETHYLENE PIPE RATED FOR 200 PSI, LAID TRUE TO GRADE. PIPE SHALL BE BEDDED IN COMPACTED SAND AS SHOWN ON BEDDING DETAIL. PIPE SHALL BE INSPECTED IN PLACE BY THE ENGINEER AND THE FAIRHAVEN B.P.W. REPRESENTATIVE PRIOR TO FINAL COVER.
- NEW GRINDER PUMP PACKAGE SHALL BE "E-ONE" PUMP BY ENVIRONMENT ONE CORPORATION WITH PROGRESSIVE CAVITY PUMP WITH STAINLESS STEEL ROTOR AND 1-HP 1725 RPM MOTOR; SELF-CLEANING STATIC LEVEL SENSORS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM CLEARANCE BETWEEN NEW SEWER SERVICE AND EXISTING UNDERGROUND UTILITIES OF AT LEAST 2 FEET. WHERE NEW SEWER CROSSES OTHER UTILITIES WITHIN 2 FEET, BACKFILL WITH CRUSHED STONE BETWEEN THE PIPES.

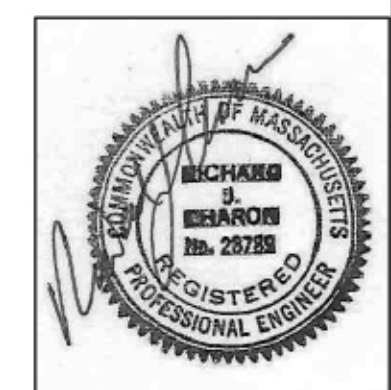
GENERAL NOTES:

- NOTE A: SUBJECT LOCATION IS SHOWN AS LOT 19 OF ASSESSORS MAP 19. ZONING IS GENERAL RESIDENCE - RB; MIN. LOT AREA = 15,000 S.F.; MIN. FRONTAGE = 100 FT. SETBACKS: 20-FT. FRONT, 10-FT. SIDE & 30-FT. REAR. MAX. BLDG. COVERAGE = 30%; MAX. LOT COVERAGE = 50%. PROPOSED BUILDING COVERAGE = (HOUSE @ 2,200 SF) / 35,025 SF = 6.5%. PROPOSED LOT COVERAGE = (HOUSE + DRIVEWAY & WALKS @ 4,180 SF) / 35,025 SF = 11.9%.
- NOTE B: THE DWELLING SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE AE, EL. 6) AS DELINEATED ON F.E.M.A. COMMUNITY PANEL NO. 25005C0391G DATED JULY 16, 2014.
- NOTE C: THE OWNERS PROPOSE TO PLACE FILL WITHIN THE FLOOD ZONE SUBJECT TO APPROVAL OF A CONDITIONAL LETTER OF MAP REVISION BASED ON FILL (CLOWR-F) TO BE REQUESTED FROM F.E.M.A. UPON THE ISSUANCE OF AN ORDER OF CONDITIONS FROM THE FAIRHAVEN CONSERVATION COMMISSION. ESTIMATED FILL QUANTITY = 300 CU.YDS.
- NOTE D: THE SUBJECT PARCEL LIES WITHIN THE RIVER FRONT AREA (RFA) OF THE ACUSHNET RIVER. RFA = 32,110 S.F. FOR LOT RECORDED PRIOR TO 1/01/1997, MAX. ALTERATION WITHIN RFA = 5,000 S.F. DEED REFERENCE FOR SUBJECT PARCEL: BOOK 10950 PAGE 167 (1/10/2013) FOR LOT NOS. 318, 319, 320, 321, 322, 334, 335, 336, 337 & 338 AS SHOWN ON "PLAN OF OXFORD TERRACE" DATED MAY 20, 1904, AND RECORDED IN PLAN BOOK 4 PAGE 61.
- NOTE E: NOTIFY DIG-SAFE CENTER, LOCAL UTILITIES AND FAIRHAVEN B.P.W. 72 HOURS PRIOR TO START OF WORK!
- NOTE F: REVISION #4 INCLUDES THE FOLLOWING CHANGES RESULTING FROM PLANNING BOARD REVIEW: (1) BEACH STREET TO BE 22-FT. WIDE GRAVEL WAY BETWEEN ALPINE AVE. AND NEWBURY AVE.; (2) NEW 6" WATER MAIN & NEW HYDRANT TO BE INSTALLED IN NEWBURY AVE. AND EXTENDED TO NEW HOUSE FROM NORTH SIDE.

D.E.P. FILE NO.: 023-1310

PLAN OF SITE, PROPOSED HOUSE & UTILITY CONNECTIONS
PREPARED FOR
DANIEL E. & PAMELA J. CORCORAN
MAP 19 LOT 19 - BEACH STREET
FAIRHAVEN, MASS.

CAI Charon Associates, Inc.
Consulting Engineers
323 Neck Road - Rochester, MA 02770
Tel: 508-763-8362 Fax: 508-763-9582



DATE: DECEMBER 30, 2019 SCALE: AS NOTED
REV. 1: JANUARY 21, 2020 Limit Of Siltation Barrier And Concrete Wash-Out
REV. 2: FEBRUARY 3, 2020, Plantings, & D.P.W. Water Line/ Hydrant And Access Road Requirements
REV. 3: FEB. 19, 2020, Silt Trap & R.V. Parking
REV. 4: MAR. 28, 2021 - Note 1F

DWG. NO. L-1