

# SPECIAL PERMIT PLAN SET

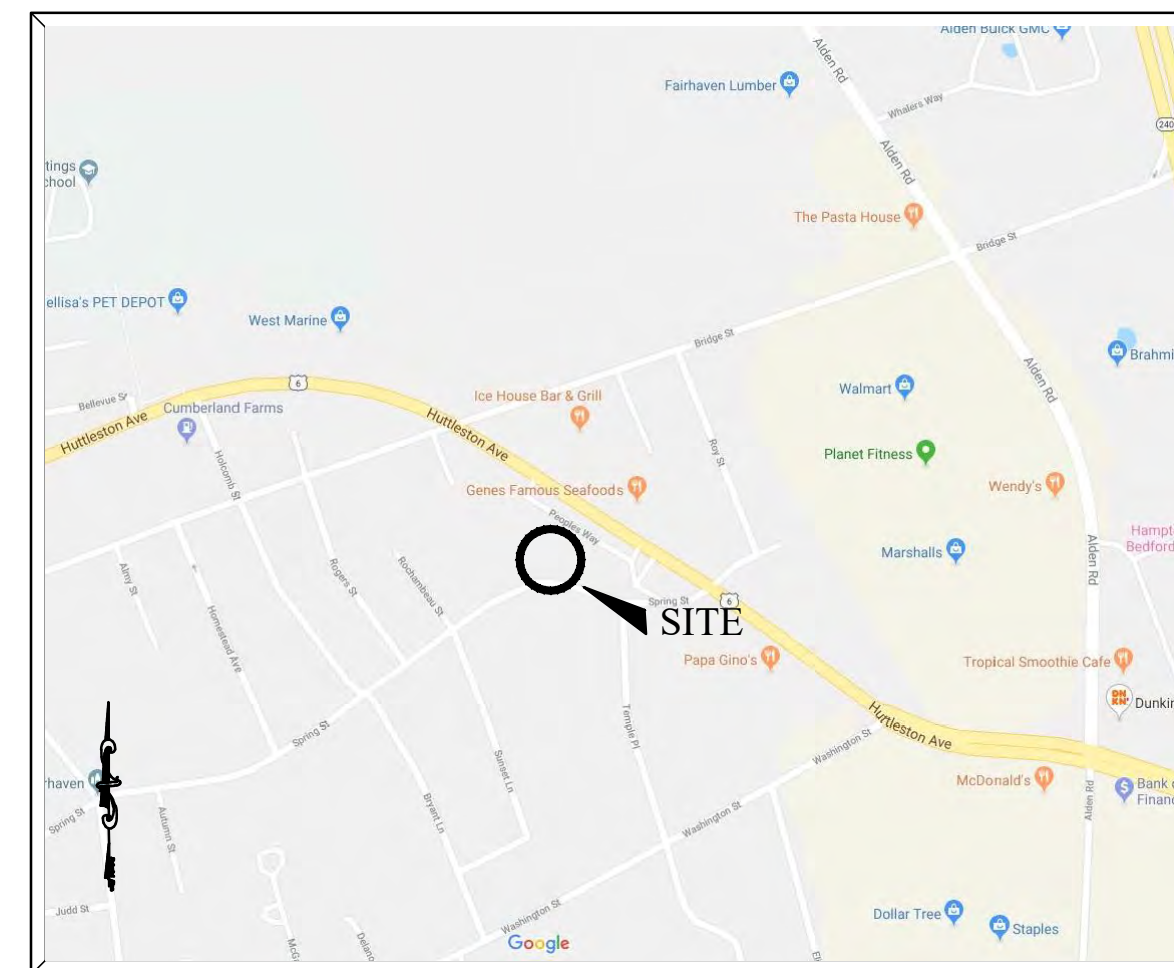
FOR:

# MIRASOL'S CAFE

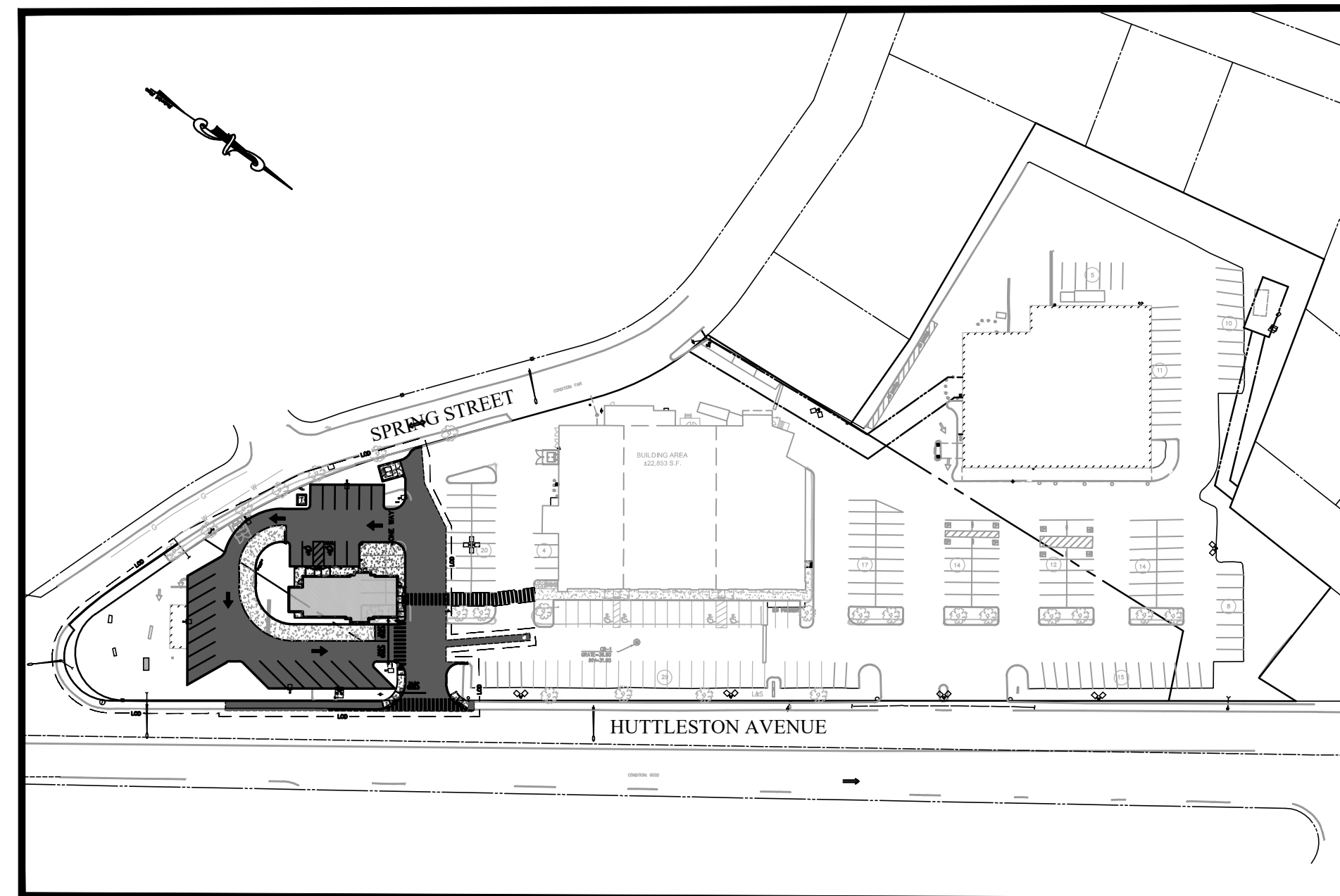
(ASSESSORS MAP 26, LOTS 60, 60A, 60B & 61)

SITUATED AT:

9 PEOPLES WAY & HUTTLESTON AVENUE  
FAIRHAVEN, MASSACHUSETTS 02739



LOCUS MAP  
NOT TO SCALE



SITE CONTEXT PLAN  
SCALE 1" = 100'

PREPARED FOR:

CARPIONATO GROUP, LLC.  
1414 ATWOOD AVENUE  
JOHNSTON, RI 02919

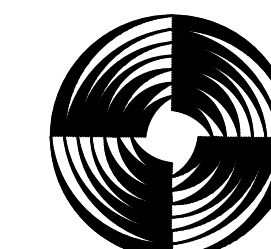
AUGUST 22, 2022

## SHEET INDEX

## LAST REVISED

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REFERENCE PLAN:  
LIGHTING PLAN  
ALTA/ NSPS LAND TITLE SURVEY



PREPARED BY:  
**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS  
85 CORLISS STREET P.O. BOX 6145  
PROVIDENCE, RHODE ISLAND 02904  
(401) 273-6000



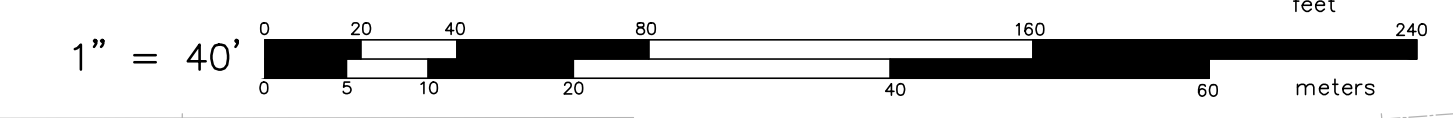
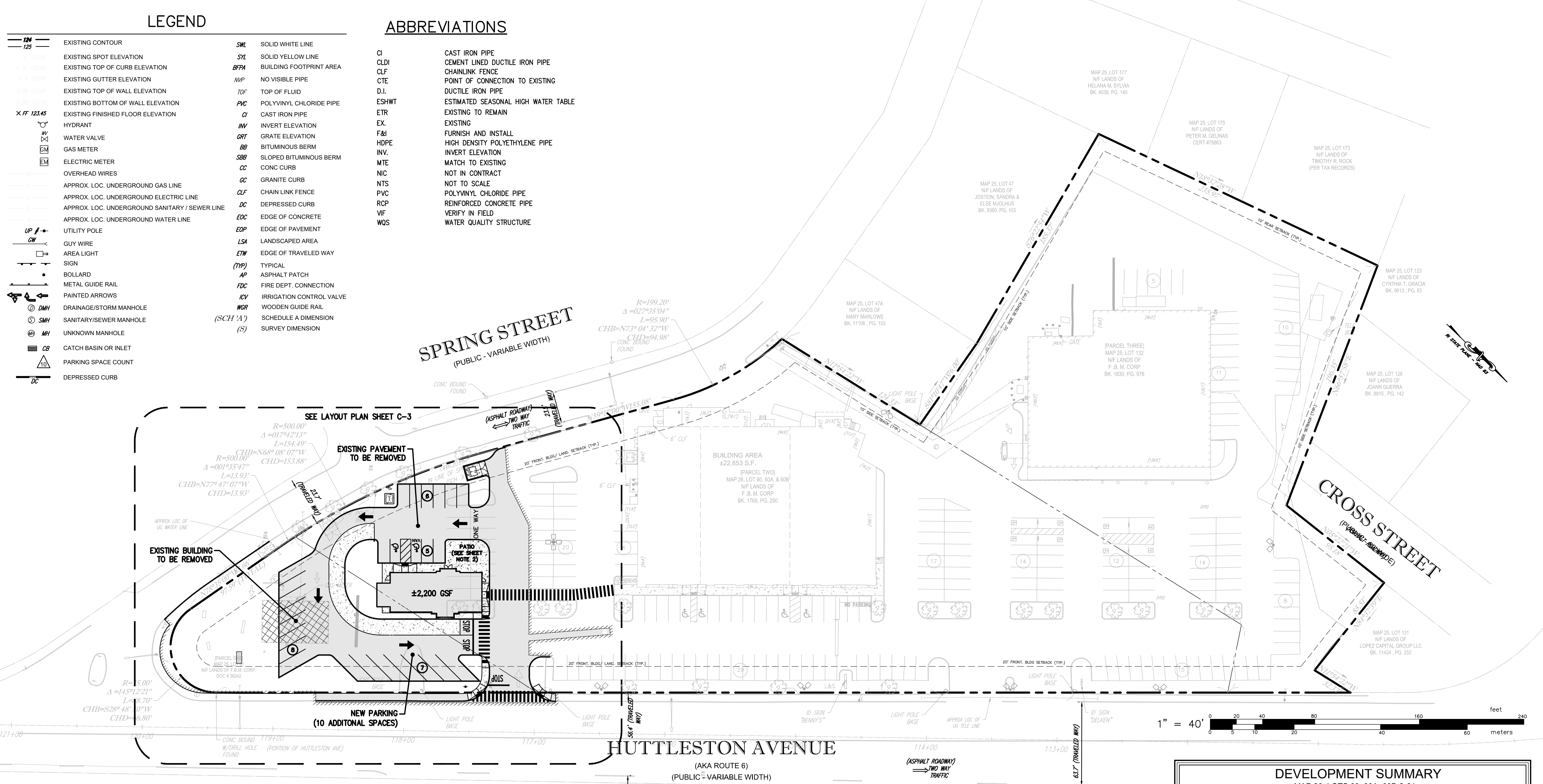
JOB NO. 7202-02

LEGEND

Table with 2 columns: Symbol and Description. Includes symbols for existing contours, elevations, pipes, manholes, and utility poles.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes abbreviations like CLDI, CLF, CTE, D.I., ESHWT, etc.



REFERENCE NOTES:

- 1. THE EXISTING CONDITIONS INDICATED HERE ARE BASED ON PLAN TITLED "ALTA/NSPS TITLE SURVEY, CARPIONATO GROUP, LLC, 151 HUTTLESTON AVENUE & 9 CROSS STREET LOT 132, MAP 25 & LOTS 60, 60A, 60B, & 61, MAP 28, TOWN OF FAIRHAVEN, BRISTOL COUNTY COMMONWEALTH OF MASSACHUSETTS", PREPARED BY CONTROL POINT ASSOCIATES, INC., FILE NO.03-170358, DATED 3-15-18.

- 2. THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE COMMONWEALTH OF MASSACHUSETTS TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.

- 14. EXISTING SITE LIGHTING WILL BE MAINTAINED BUT SHALL BE ADJUSTED SO THAT, TO THE EXTENT FEASIBLE, THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.

GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.

DEVELOPMENT SUMMARY

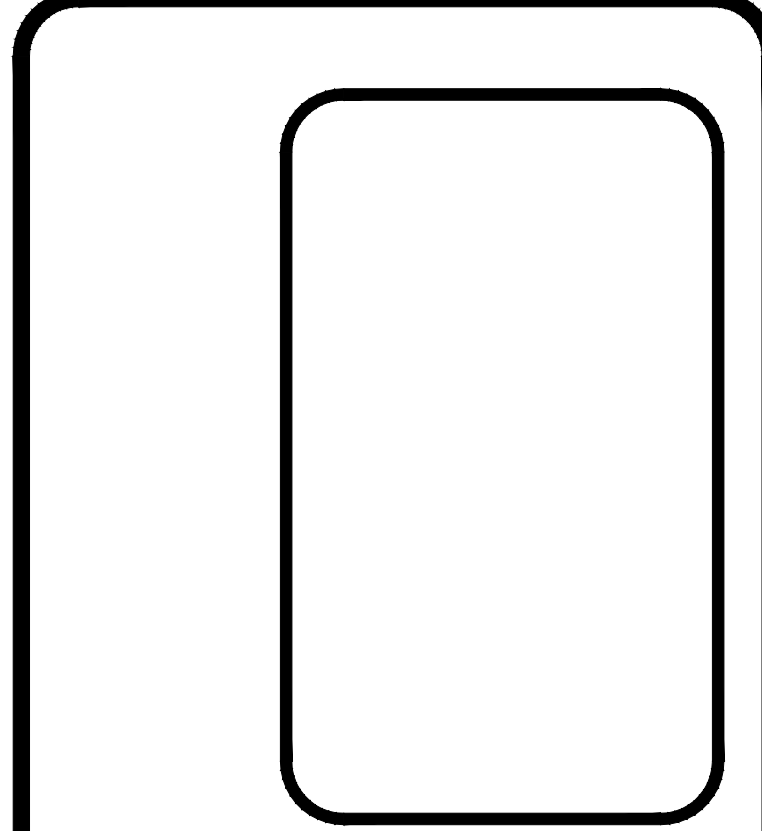
Table with 4 columns: Description, By Law, Existing, Proposed. Rows include Land Use (Retail), Min. Land Area, Min. Front Yard Bldg/Land. Setback, etc.

Table with 4 columns: Description, Required, Provided. Rows include Retail & Commercial (1 SP per 250 SF), Restaurant (1 SP per 2.5 Seats).

\* FRONT YARD REQUIREMENTS ESTABLISHED BY TOWN MEETING VOTES RECORDED ON PLATS ON FILE IN TOWN CLERK'S OFFICE. MINIMUM OF 20 FEET REQUIRED IF NONE SPECIFIED. RELIEF REQUESTED FROM FRONT YARD LANDSCAPE SETBACK.

GENERAL NOTES, LEGEND & OVERALL PLAN FOR MIRASOL'S CAFE (MAP 26; LOTS 60, 60A, 60B & 61) SITUATED AT 9 PEOPLES WAY & HUTTLESTON AVE FAIRHAVEN, MASSACHUSETTS PREPARED FOR CARPIONATO GROUP, LLC

Table with 4 columns: NO., REVISION, BY, DATE.



GAROFALO

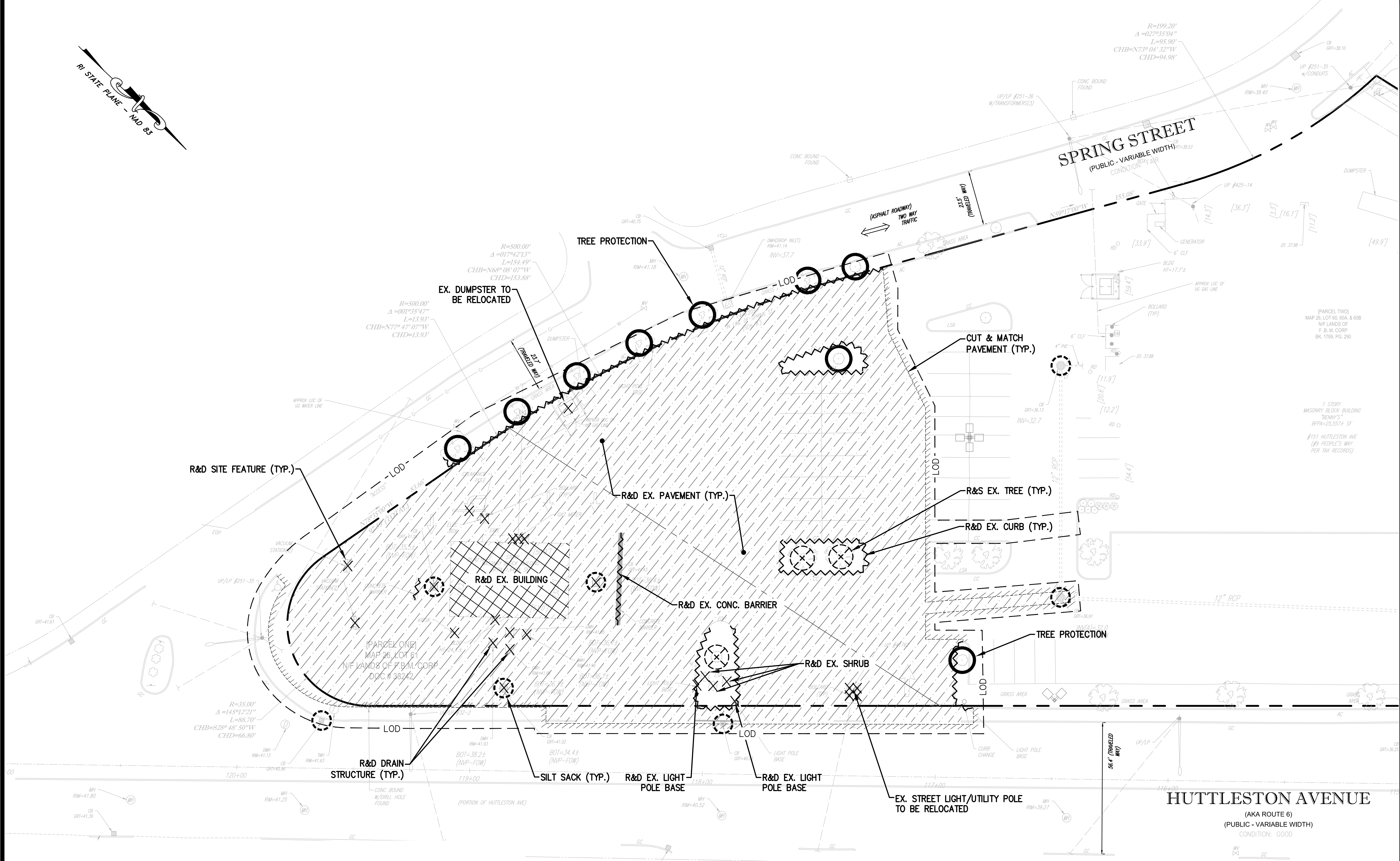
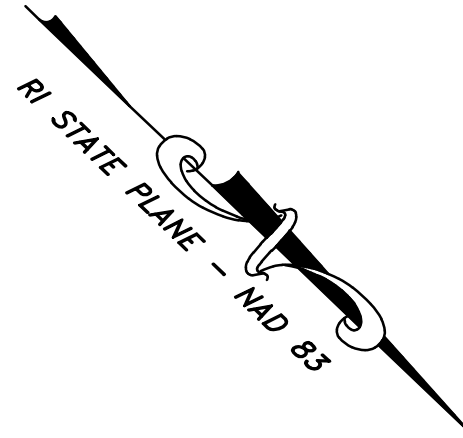
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Table with 2 columns: Job No., DWG. No., Scale, and Drawn/Check/Approved By.

SHEET C-1 1 OF 7 SHEETS



**DEMOLITION LEGEND**

- R&D REMOVE & DISPOSE
- R&S REMOVE & SALVAGE FOR REUSE
- REMOVE & DISPOSE LINEAR FEATURE
- X REMOVE & DISPOSE EXISTING FEATURE
- SILT SACK
- TREE PROTECTION
- BUILDING DEMOLITION
- LIMITS OF PAVEMENT REMOVAL

**NOTES THIS SHEET**

1. ALL EXISTING PAVEMENT WITHIN LIMITS OF DISTURBANCE INDICATED SHALL BE REMOVED AND DISPOSED OFF OF SITE.
2. PRIOR TO THE REMOVAL OF ANY ON-SITE SOIL AND PAVEMENTS, THE CONTRACTOR SHALL INSTALL AND MAINTAIN PROPER EROSION CONTROLS, ALONG LIMITS OF DISTURBANCE AND AROUND EXISTING DRAINS TO BE PROTECTED, ETC.



**DEMOLITION PLAN**

FOR  
**MIRASOL'S CAFE**  
 SITUATED AT  
**9 PEOPLES WAY & HUTTLESTON AVE**  
 FAIRHAVEN, MASSACHUSETTS  
 PREPARED FOR  
**CARPIONATO GROUP, LLC**

NO.	REVISION	BY	DATE

**GAROFALO**

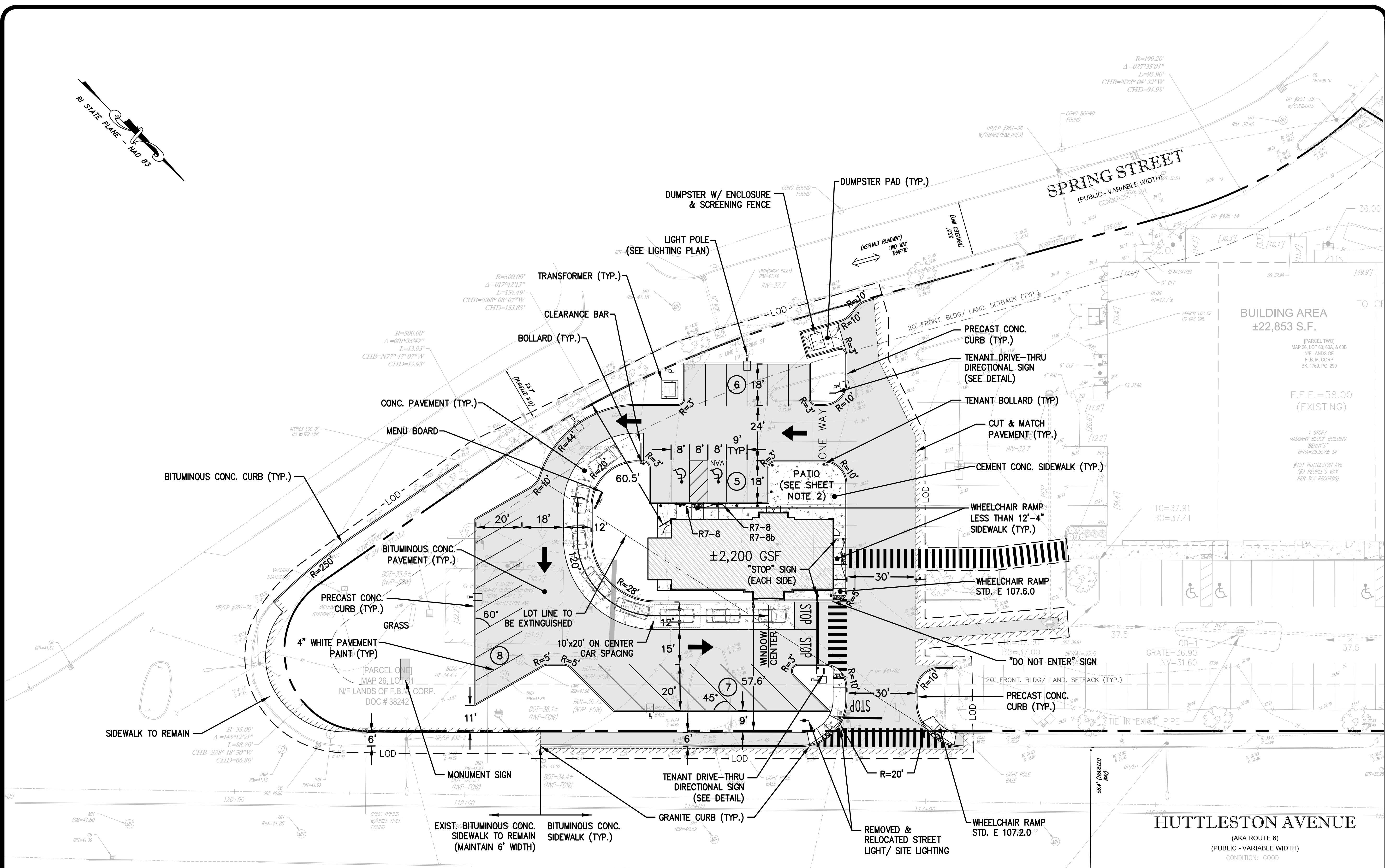
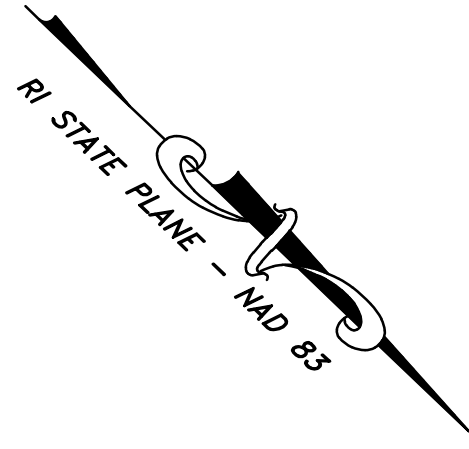
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DWG. NO. 7202-02-BASE.DWG	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: AUGUST 22, 2022

SHEET  
**C-2**  
 2 OF 7 SHEETS



**CONSTRUCTION LAYOUT PLAN**  
 FOR  
**MIRASOL'S CAFE**  
 (MAP 26; LOTS 60, 60A, 60B & 61)  
 SITUATED AT  
**9 PEOPLES WAY & HUTTLESTON AVE**  
 FAIRHAVEN, MASSACHUSETTS  
 PREPARED FOR  
**CARPIONATO GROUP, LLC**

NO.	REVISION	BY	DATE

**BUILDING AREA**  
 ±22,853 S.F.

(PARCEL TWO)  
 MAP 26, LOT 60, 60A, & 60B  
 NE LANDS OF  
 F.B.M. CORP.  
 BK. 1789, PG. 290

F.F.E. = 38.00  
 (EXISTING)

1 STORY  
 MASONRY BLOCK BUILDING  
 "BENNY'S"  
 BTPA=25,557± SF  
 #151 HUTTLESTON AVE  
 (9 PEOPLES WAY  
 PER TAX RECORDS)

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SHEET

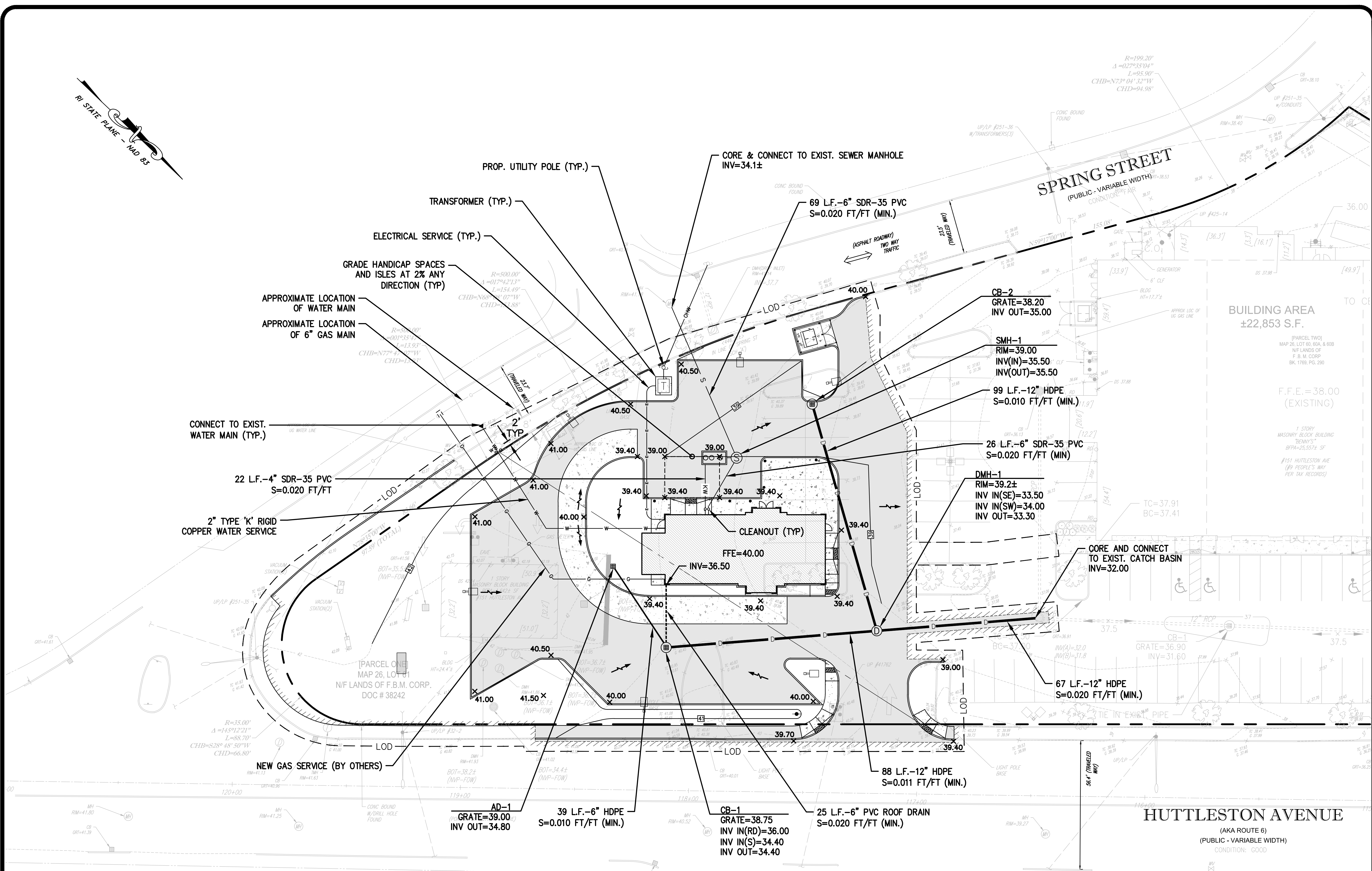
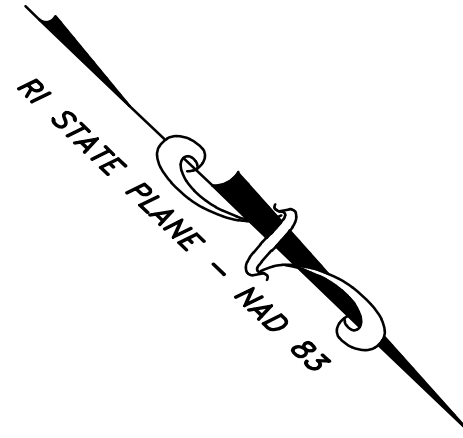
**C-3**

3 OF 7 SHEETS

**NOTES THIS SHEET**

- SEE SHEET C-1 FOR LEGEND AND NOTES.
- NEW LOT LINE SHALL BE DETERMINED BY FINAL OWNER REQUIREMENTS.
- SEE ARCHITECTURAL PLANS FOR PATIO DETAILS AND FOR WORK REQUIREMENTS RELATED TO TENANT SIGNAGE AND UTILITY INSTALLATIONS.





PROP. UTILITY POLE (TYP.)

TRANSFORMER (TYP.)

ELECTRICAL SERVICE (TYP.)

GRADE HANDICAP SPACES AND ISLES AT 2% ANY DIRECTION (TYP)

APPROXIMATE LOCATION OF WATER MAIN

APPROXIMATE LOCATION OF 6" GAS MAIN

CONNECT TO EXIST. WATER MAIN (TYP.)

22 L.F.-4" SDR-35 PVC S=0.020 FT/FT

2" TYPE 'K' RIGID COPPER WATER SERVICE

NEW GAS SERVICE (BY OTHERS)

AD-1  
GRATE=39.00  
INV OUT=34.80

39 L.F.-6" HDPE S=0.010 FT/FT (MIN.)

CB-1  
GRATE=38.75  
INV IN(RD)=36.00  
INV IN(S)=34.40  
INV OUT=34.40

25 L.F.-6" PVC ROOF DRAIN S=0.020 FT/FT (MIN.)

88 L.F.-12" HDPE S=0.011 FT/FT (MIN.)

67 L.F.-12" HDPE S=0.020 FT/FT (MIN.)

DMH-1  
RIM=39.2±  
INV IN(SE)=33.50  
INV IN(SW)=34.00  
INV OUT=33.30

26 L.F.-6" SDR-35 PVC S=0.020 FT/FT (MIN.)

99 L.F.-12" HDPE S=0.010 FT/FT (MIN.)

SMH-1  
RIM=39.00  
INV(IN)=35.50  
INV(OUT)=35.50

CB-2  
GRATE=38.20  
INV OUT=35.00

69 L.F.-6" SDR-35 PVC S=0.020 FT/FT (MIN.)

CORE & CONNECT TO EXIST. SEWER MANHOLE INV=34.1±

CLEANOUT (TYP)

FFE=40.00  
INV=36.50

CORE AND CONNECT TO EXIST. CATCH BASIN INV=32.00

SPRING STREET (PUBLIC - VARIABLE WIDTH)

HUTTLESTON AVENUE (AKA ROUTE 6) (PUBLIC - VARIABLE WIDTH) CONDITION: GOOD

BUILDING AREA ±22,853 S.F.

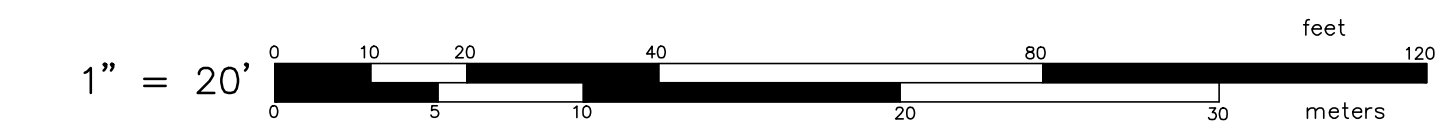
F.F.E.=38.00 (EXISTING)

1 STORY MASONRY BLOCK BUILDING "BENNY'S" BTA=25,557± SF #151 HUTTLESTON AVE (#9 PEOPLE'S WAY PER TAX RECORDS)

PARCEL ONE MAP 26, LOT 11 N/F LANDS OF F.B.M. CORP. DOC # 38242

**NOTES THIS SHEET**

- SEE SHEET C-1 FOR NOTES AND LEGEND.
- ALL SEWER WORK SHALL BE PERFORMED BY A LICENSED DRAIN LAYER IN ACCORDANCE WITH TOWN SEWER USE BY-LAWS, AND ALL WORK SHALL COMPLY TO THE REQUIREMENTS OF THE TOWN OF FAIRHAVEN BOARD OF PUBLIC WORKS REQUIREMENTS FOR SITE PLANS.



**GRADING, DRAINAGE & UTILITY PLAN**

FOR  
MIRASOL'S CAFE  
(MAP 26; LOTS 60, 60A, 60B & 61)  
SITUATED AT  
**9 PEOPLES WAY & HUTTLESTON AVE**  
FAIRHAVEN, MASSACHUSETTS  
PREPARED FOR  
CARPIONATO GROUP, LLC

NO.	REVISION	BY	DATE

**GAROFALO**

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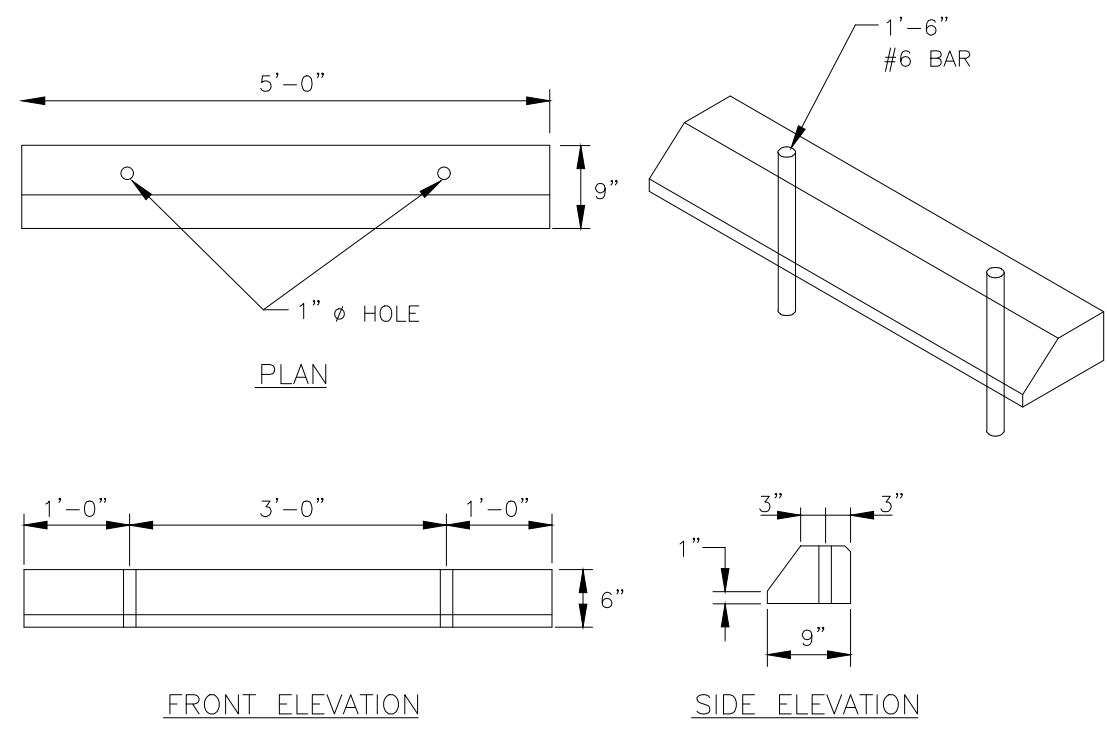
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JOB NO. 7202-02	DRAWN BY R.A.S.
DWG. NO. 7202-02-BASE.DWG	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: AUGUST 22, 2022

SHEET

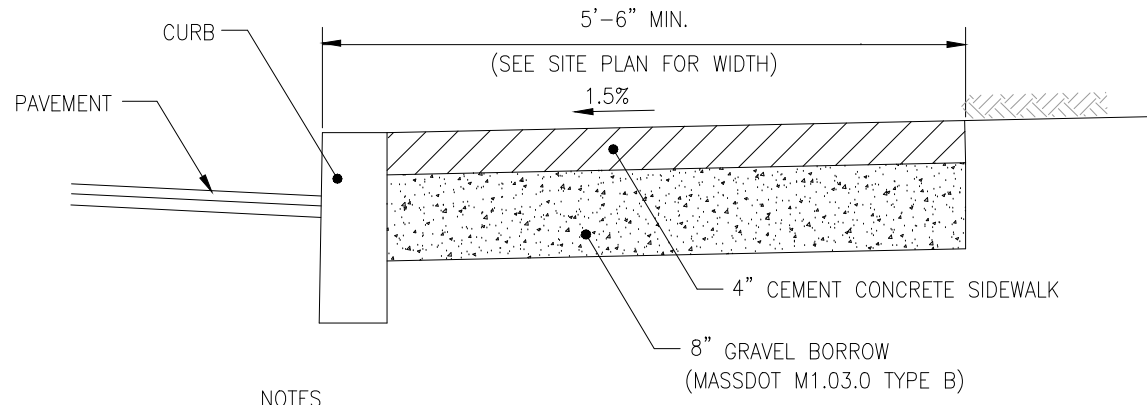
**C-4**

4 OF 7 SHEETS



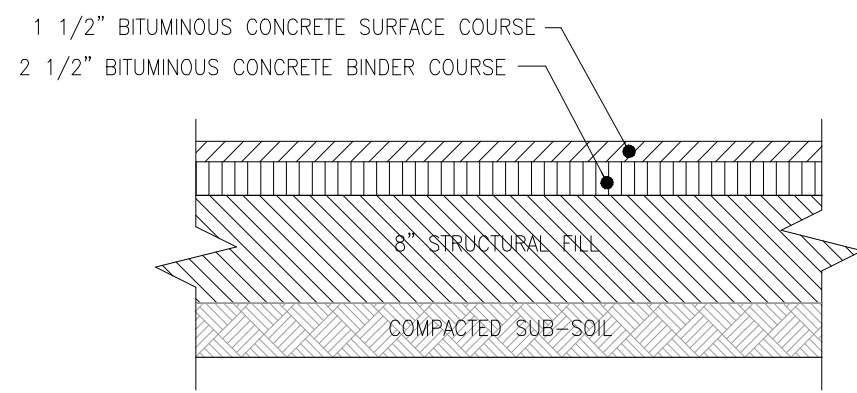
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
  2. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
  3. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.

**PRECAST CONCRETE CAR STOP**  
NOT TO SCALE



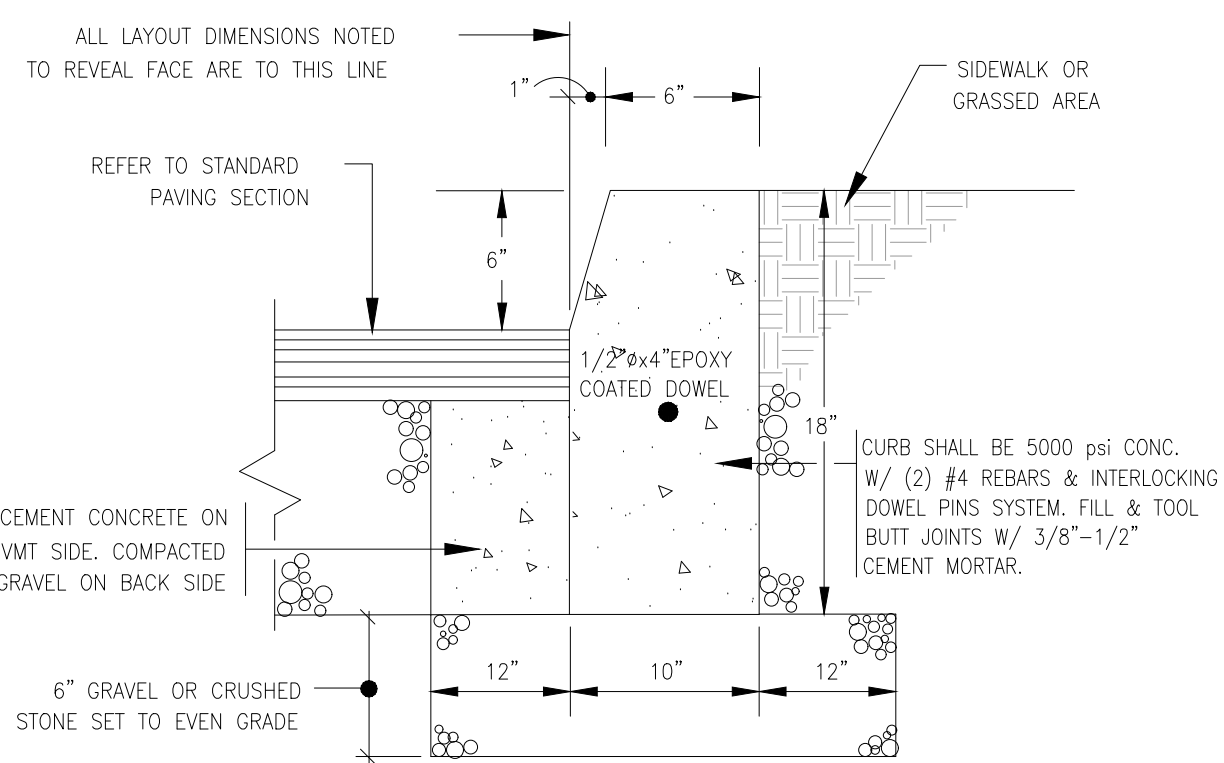
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH MASSDOT SPECIFICATIONS.
  2. FOR CURB SETTING DETAIL REFERENCE MASSDOT E.106.3.0

**CEMENT CONCRETE SIDEWALK**  
NOT TO SCALE



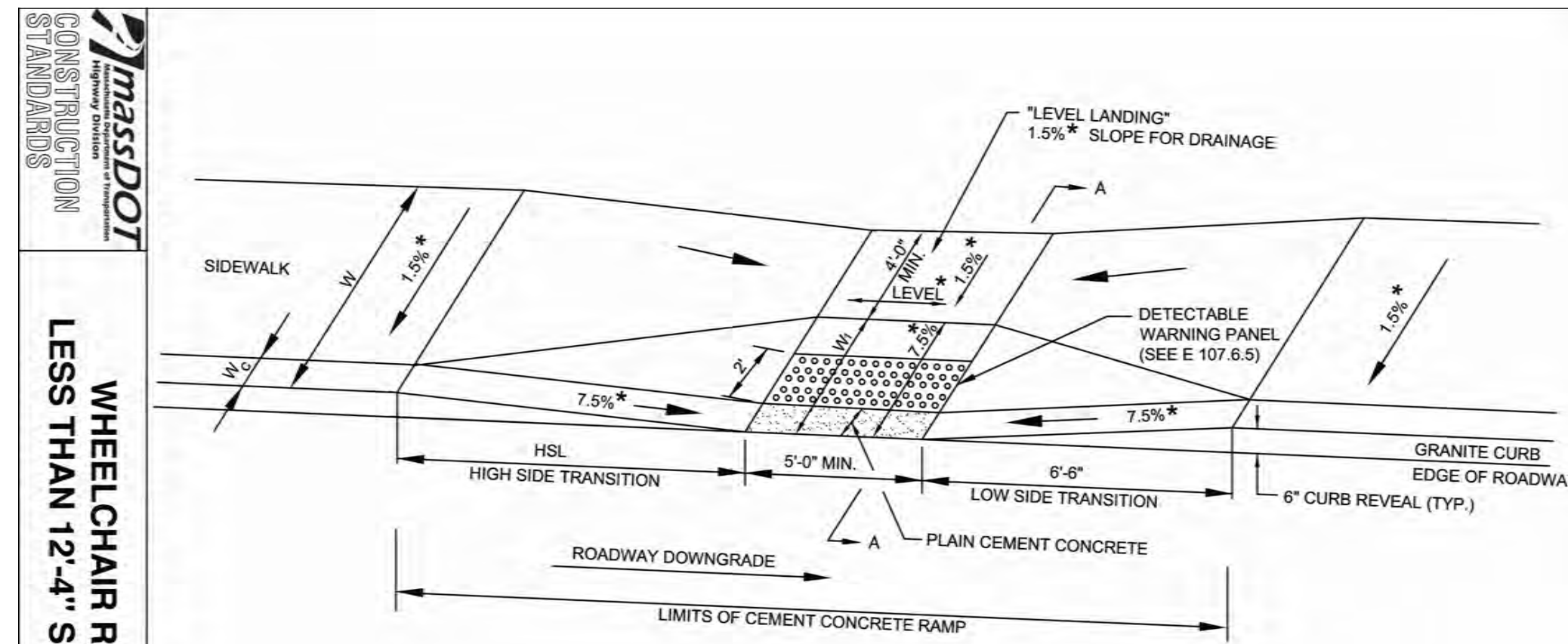
- NOTES:**
1. THE SOIL MUST HAVE A MOISTURE CONTENT DRY OF OPTIMUM AS DETERMINED MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D1557.
  2. THE SOIL CAN BE COMPACTED TO 98% OF THE MAXIMUM STANDARD PROCTOR DENSITY AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D698.
  3. THE SOIL SHALL NOT BE USED IF THE MATERIAL CONTAINS ORGANIC MATTER, RUBBLE, DEBRIS OR ANY OTHER DELETERIOUS MATERIAL.
  4. SUBMIT MIX DESIGN TO THE CIVIL ENGINEER OF RECORD AT LEAST 30 DAYS PRIOR TO BEGINNING ASPHALT PAVING OPERATIONS. MIX DESIGNS OVER ONE YEAR OLD WILL NOT BE ACCEPTED. MIX DESIGNS SUBMITTAL SHALL FOLLOW THE LATEST EDITION OF THE MASSDOT STANDARD SPECIFICATIONS.

**BITUMINOUS CONCRETE PAVEMENT SECTION**  
NOT TO SCALE

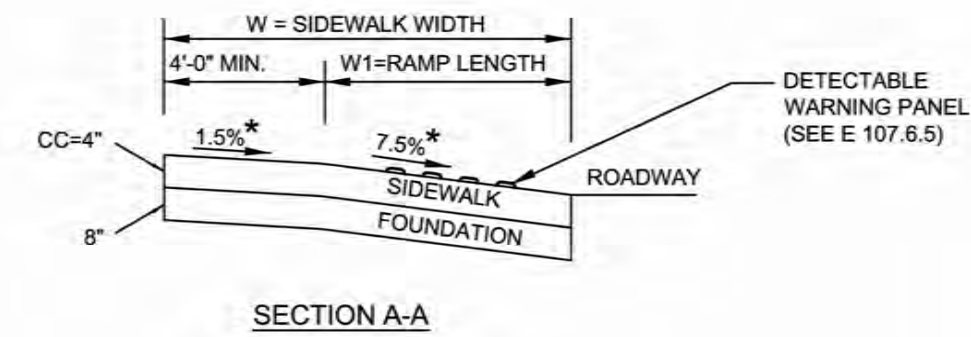


- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 500 OF THE M.A. STANDARD SPECIFICATIONS FOR HIGHWAYS & BRIDGES.
  2. MINIMUM LENGTH OF STRAIGHT OR CURVED FILLER PIECES TO BE 3'-0".
  3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
  4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADI OF 160' OR LESS.
  5. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160' RADIUS.
  6. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
  7. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURBING IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE. OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF BASE COURSE.

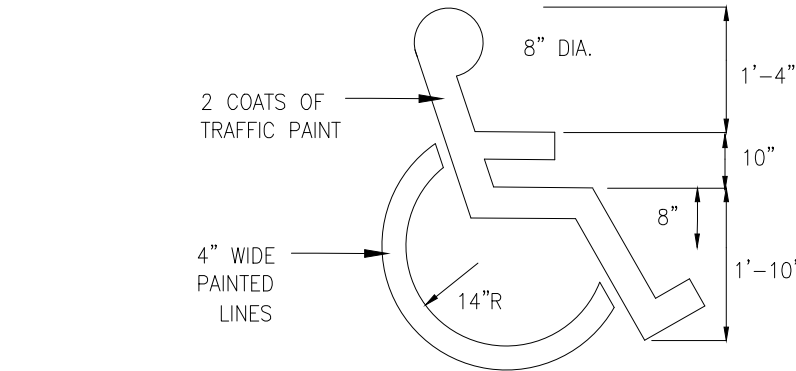
**PRECAST CONCRETE CURB**  
NOT TO SCALE



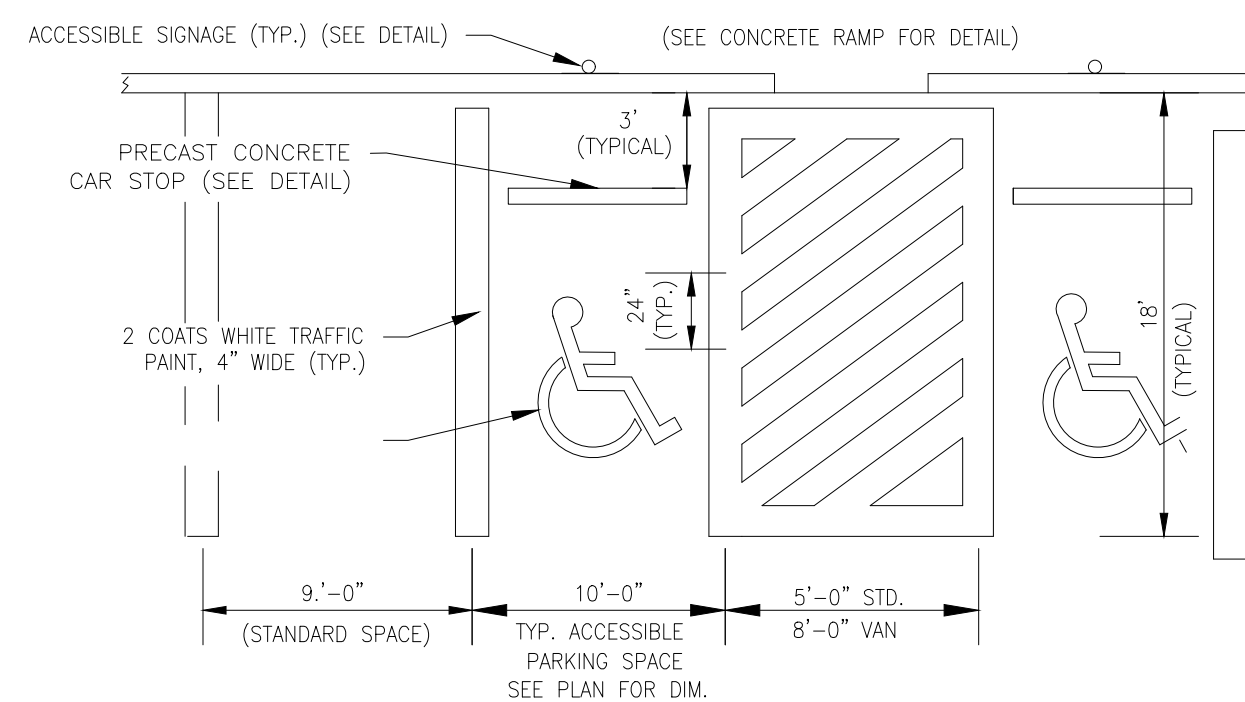
- LEGEND**
- HSL = HIGH SIDE TRANSITION LENGTH (SEE E 107.9.0)
  - W = SIDEWALK WIDTH
  - W<sub>c</sub> = CURB WIDTH
  - W<sub>r</sub> = PERPENDICULAR RAMP LENGTH
  - CC = CEMENT CONCRETE
  - \* = TOLERANCE FOR CONSTRUCTION ±0.5%
  - USABLE SIDEWALK WIDTH PER AAB = W-W<sub>c</sub>
  - RAMP LENGTH, W<sub>r</sub> = W-4'-0" Min



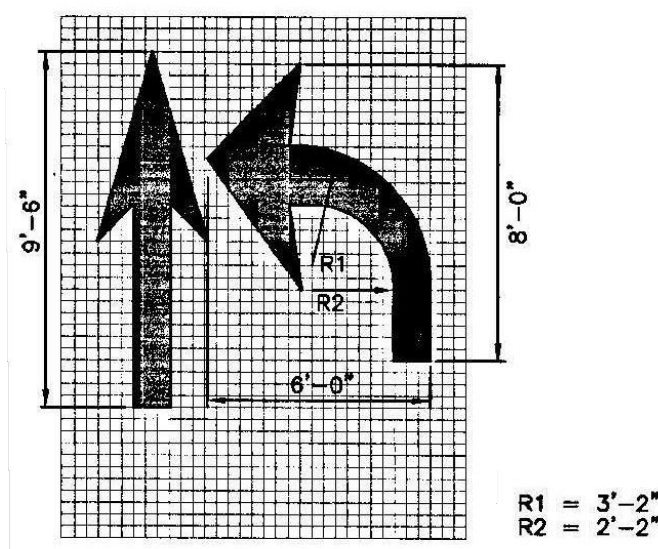
**WHEELCHAIR RAMPS LESS THAN 12'-4" SIDEWALK**



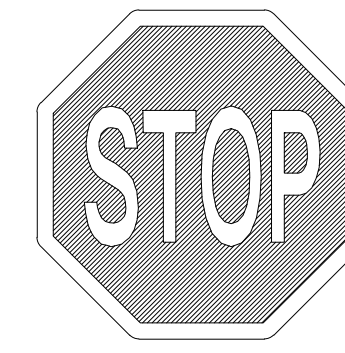
**ACCESSIBLE SYMBOL**  
NOT TO SCALE



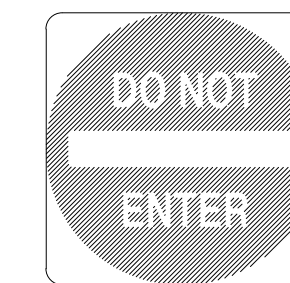
**PAVEMENT STRIPING**  
NOT TO SCALE



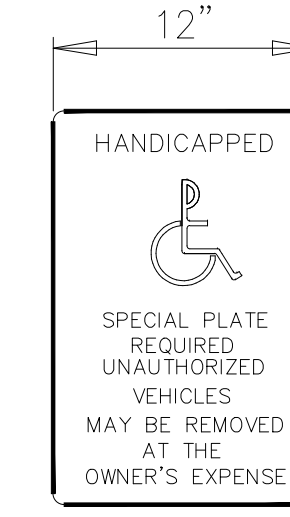
**PAVEMENT MARKINGS ARROWS**  
NOT TO SCALE



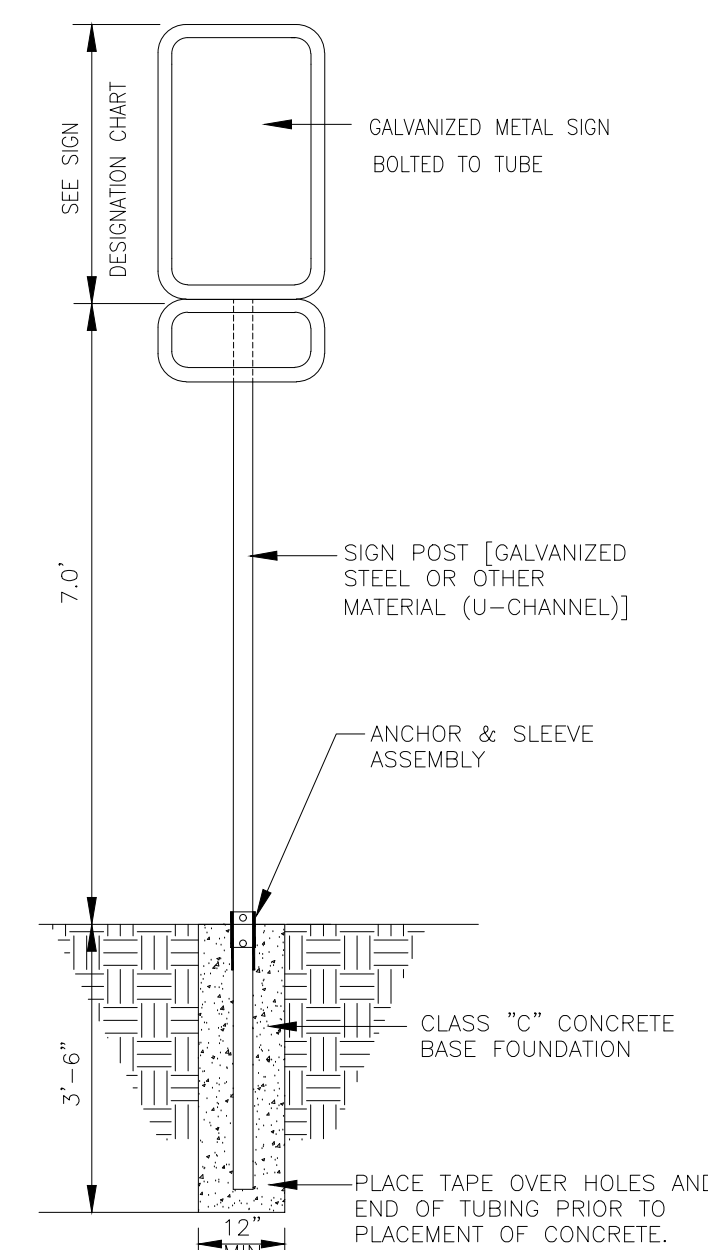
R-1  
36"x 36"  
**"STOP" SIGN**  
NOT TO SCALE



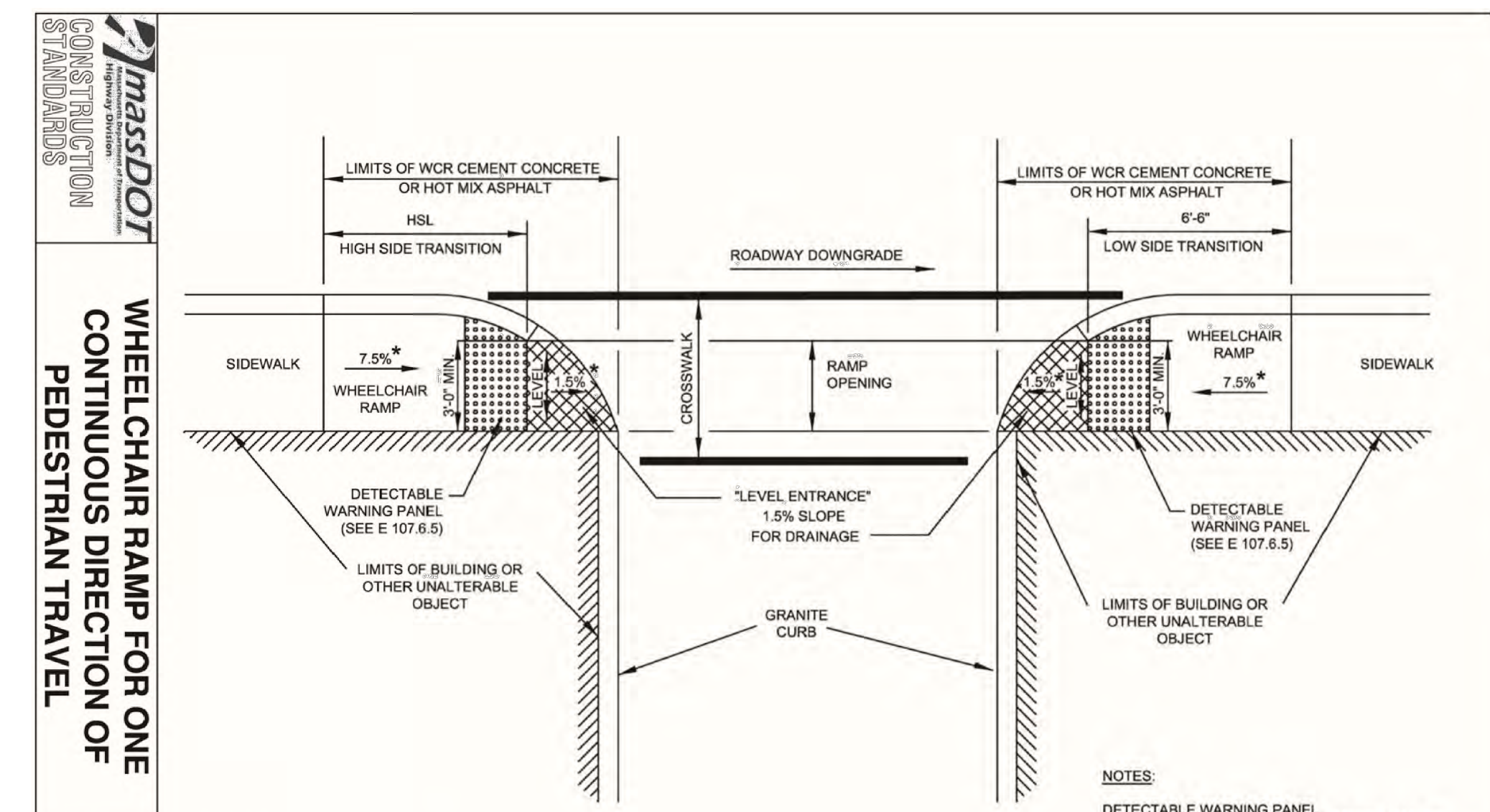
R5-1  
36"x 36"  
**"DO NOT ENTER" SIGN**  
NOT TO SCALE



"R7-8, R7-8A"  
**SIGN**  
NOT TO SCALE



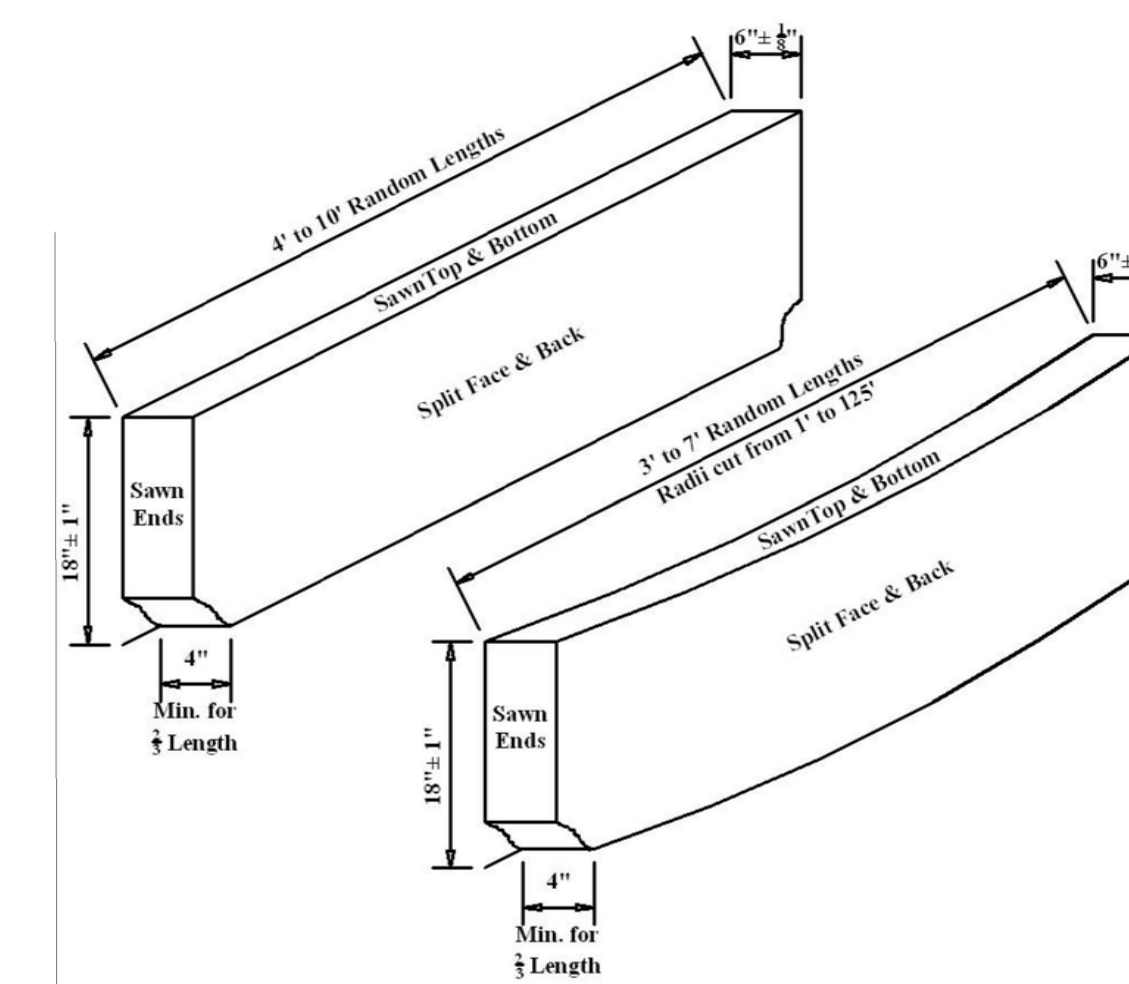
**ACCESSIBLE SIGNAGE**  
NOT TO SCALE



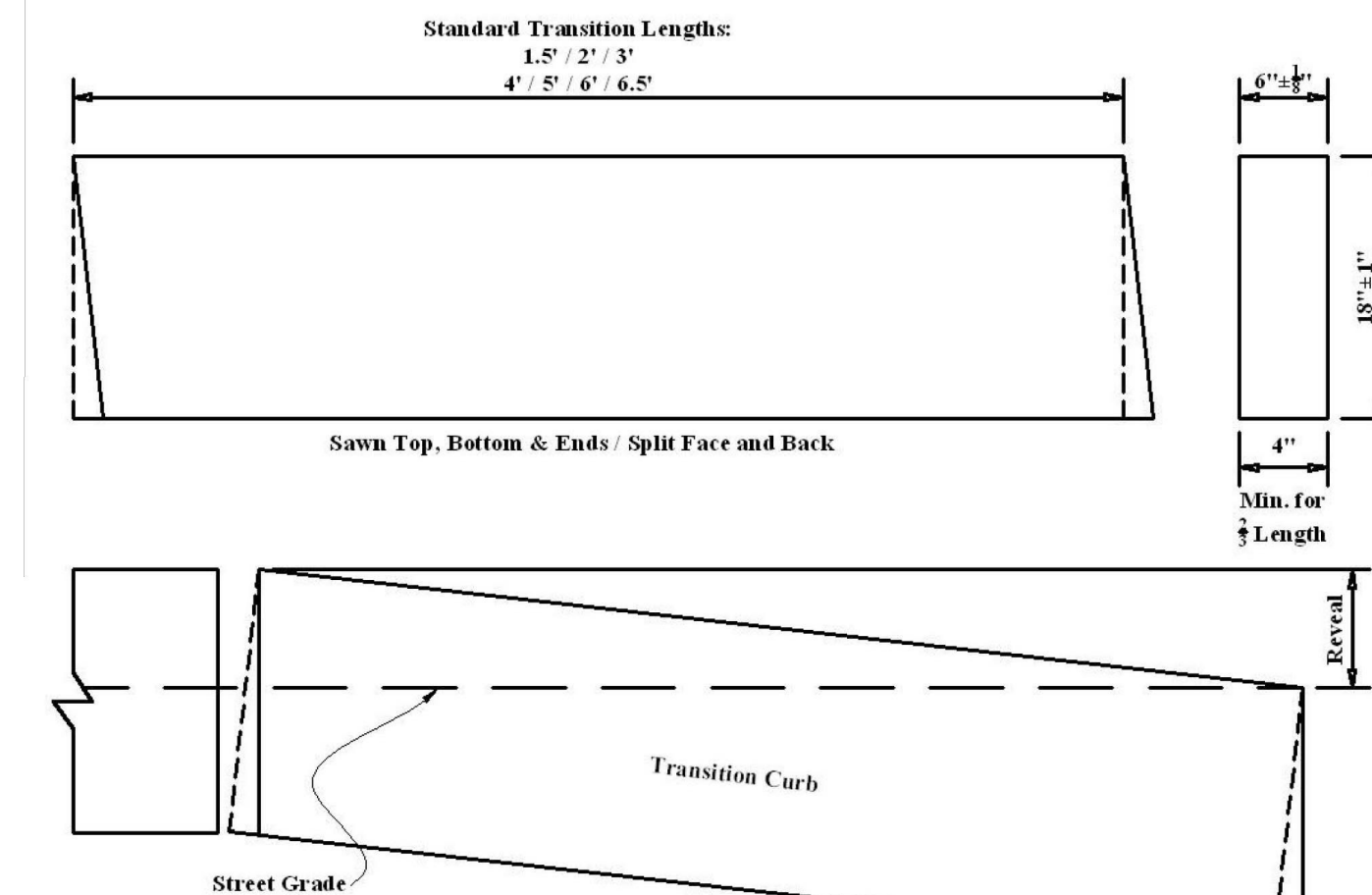
- LEGEND**
- HSL = HIGH SIDE TRANSITION LENGTH (SEE E 107.9.0)
  - \* = TOLERANCE FOR CONSTRUCTION ±0.5%

**WHEELCHAIR RAMP FOR ONE CONTINUOUS DIRECTION OF PEDESTRIAN TRAVEL**

DATE OF ISSUE: OCTOBER 2017  
DRAWING NUMBER: E 107.6.0



STRAIGHT & RADIUS  
(AS MANUFACTURED BY WILLIAMS STONE CO., INC.)  
**VA-4/ 6" X18" GRANITE CURBING**  
NOT TO SCALE

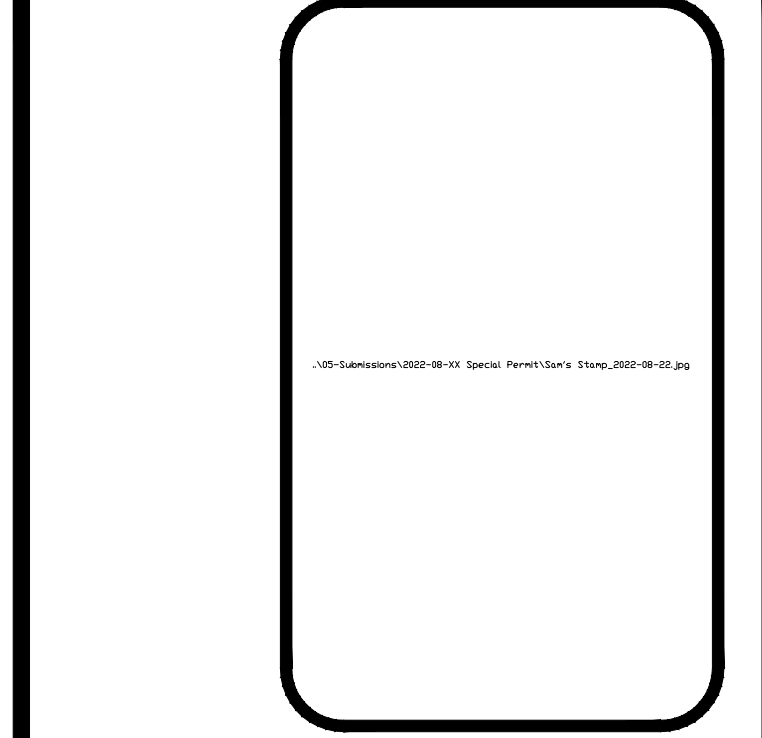


**VA-4/ 6" X18" TRANSITION CURBING**  
NOT TO SCALE

**CONSTRUCTION DETAILS I**

FOR  
**MIRASOL'S CAFE**  
(MAP 26; LOTS 60, 60A, 60B & 61)  
SITUATED AT  
**9 PEOPLES WAY & HUTTLESTON AVE**  
FAIRHAVEN, MASSACHUSETTS  
PREPARED FOR  
**CARPIONATO GROUP, LLC**

NO.	REVISION	BY	DATE



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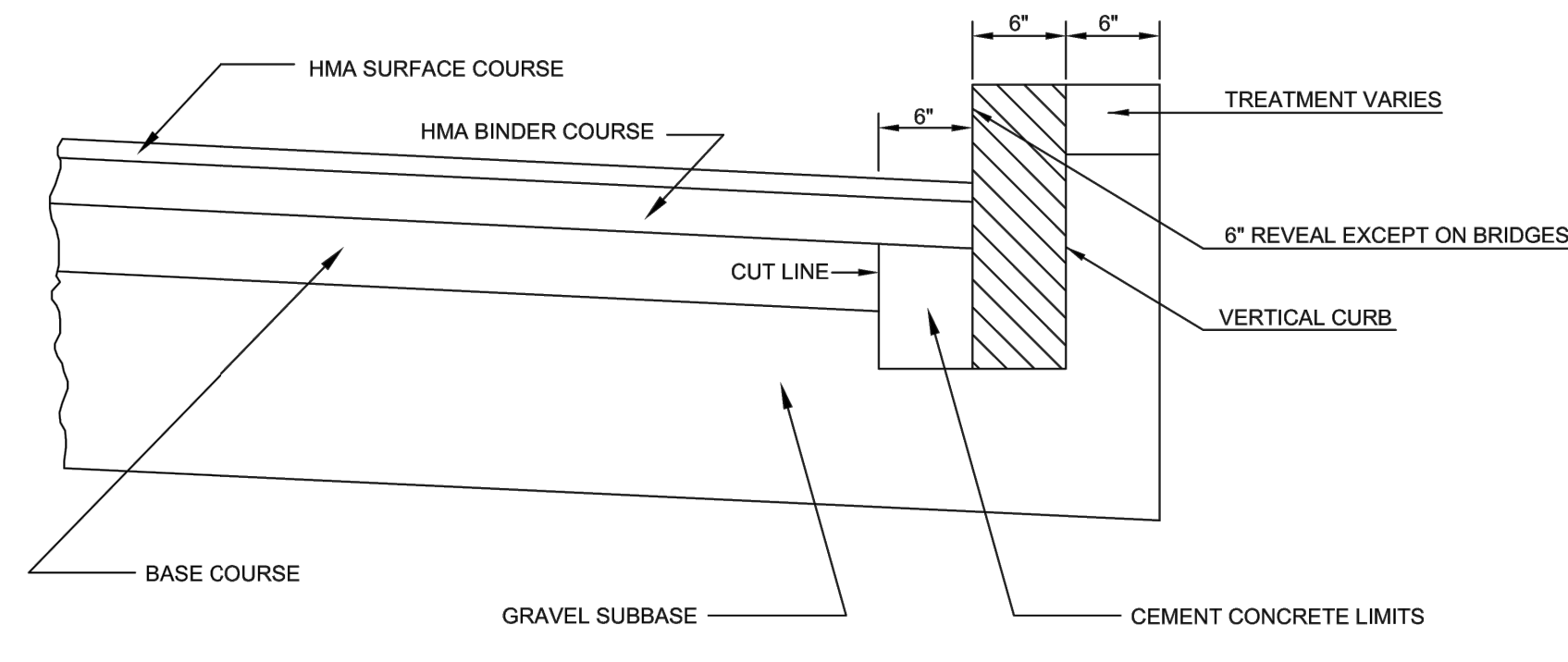
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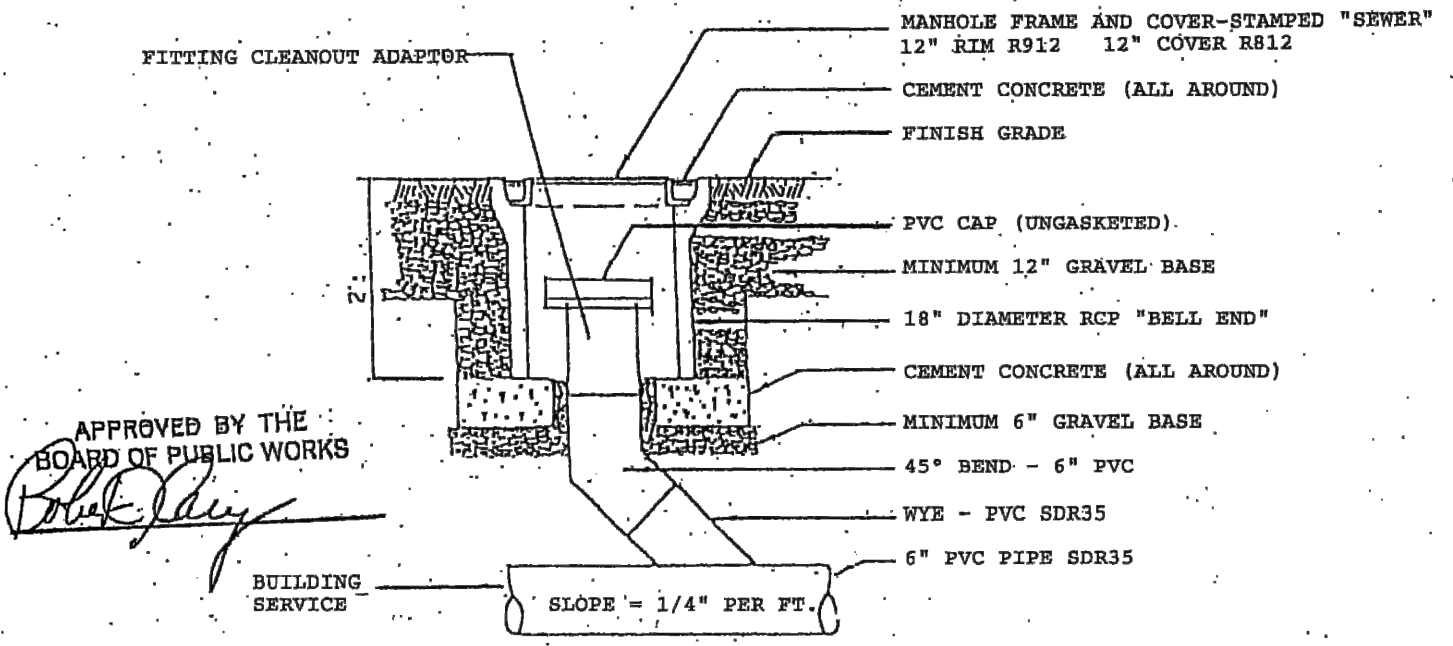
JOB NO. 7202-02	DRAWN BY R.A.S.
DWG. NO. 7202-02-DETAILS.DWG	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: AUGUST 22, 2022

SHEET  
**C-5**  
5 OF 7 SHEETS

**massDOT**  
CONSTRUCTION STANDARDS  
METHOD OF SETTING VERTICAL CURB  
DATE OF ISSUE: JUNE 2014  
DRAWING NUMBER: **E 106.3.0**



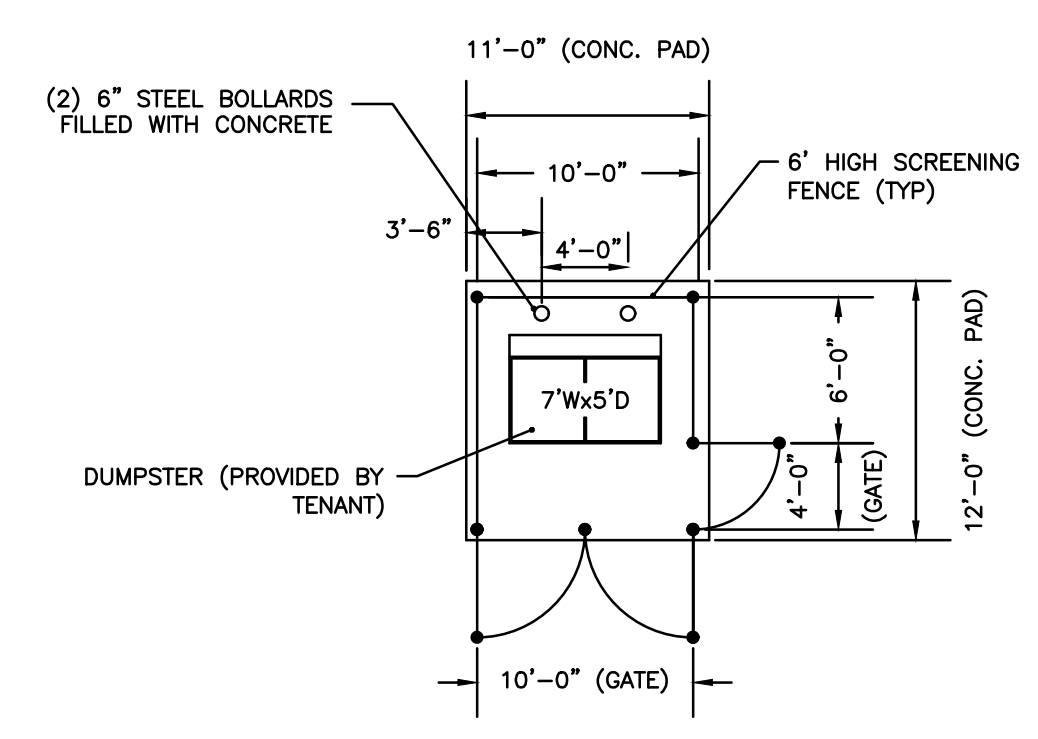
- NOTES:**
1. THIS PROCEDURE IS APPLICABLE ONLY IF CURB IS TO BE SET AFTER BASE COURSE IS IN PLACE PRIOR TO BINDER AND TOP PLACEMENT.
  2. CUT NEAT LINE 6" FROM CURB LINE AND REMOVE BASE AND GRAVEL. REPLACE WITH CEMENT CONCRETE.
  3. ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPTABLE UNDER SECTION M4 OF THE STANDARD SPECIFICATIONS MAY BE USED. ALL TEST REQUIREMENTS ARE WAIVED. HOT MIX ASPHALT SHALL NOT TO BE USED AS A SUBSTITUTE.
  4. PAYMENT PER FOOT OF CURB IS INCLUSIVE OF ALL ITEMS OF WORK REQUIRED TO COMPLETE PROPER INSTALLATION OF THE CURB.



**CLEANOUT DETAIL**

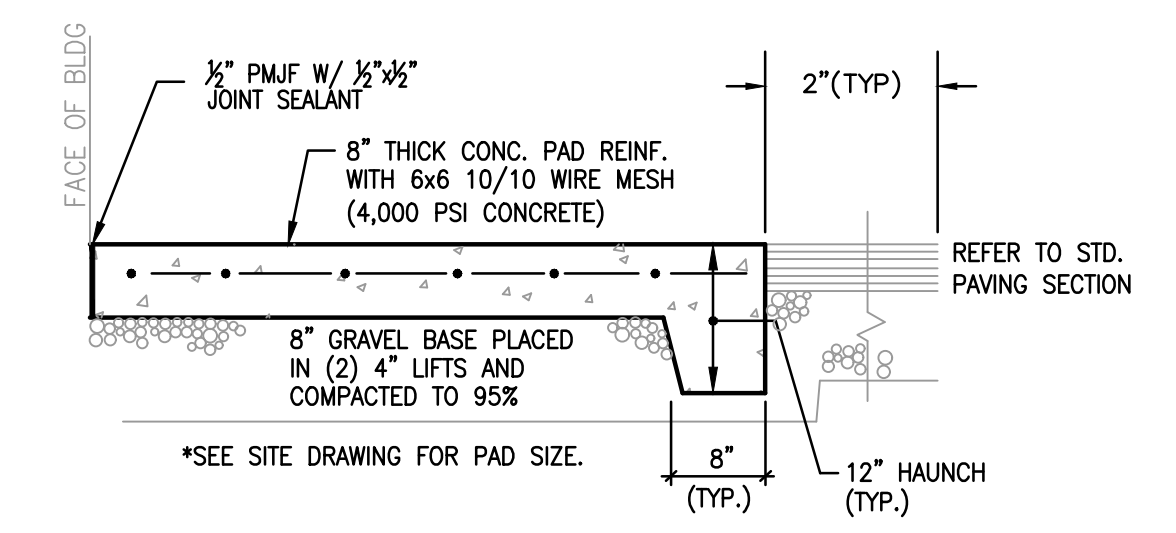
NOT TO SCALE

**NOTE:** REFER TO TOWN OF FAIRHAVEN 'BOARD OF PUBLIC WORKS REQUIREMENTS FOR SITE PLANS' FOR COMPLETE SEWER INSTALLATION AND INSPECTION REQUIREMENTS.



**DUMPSTER ENCLOSURE**

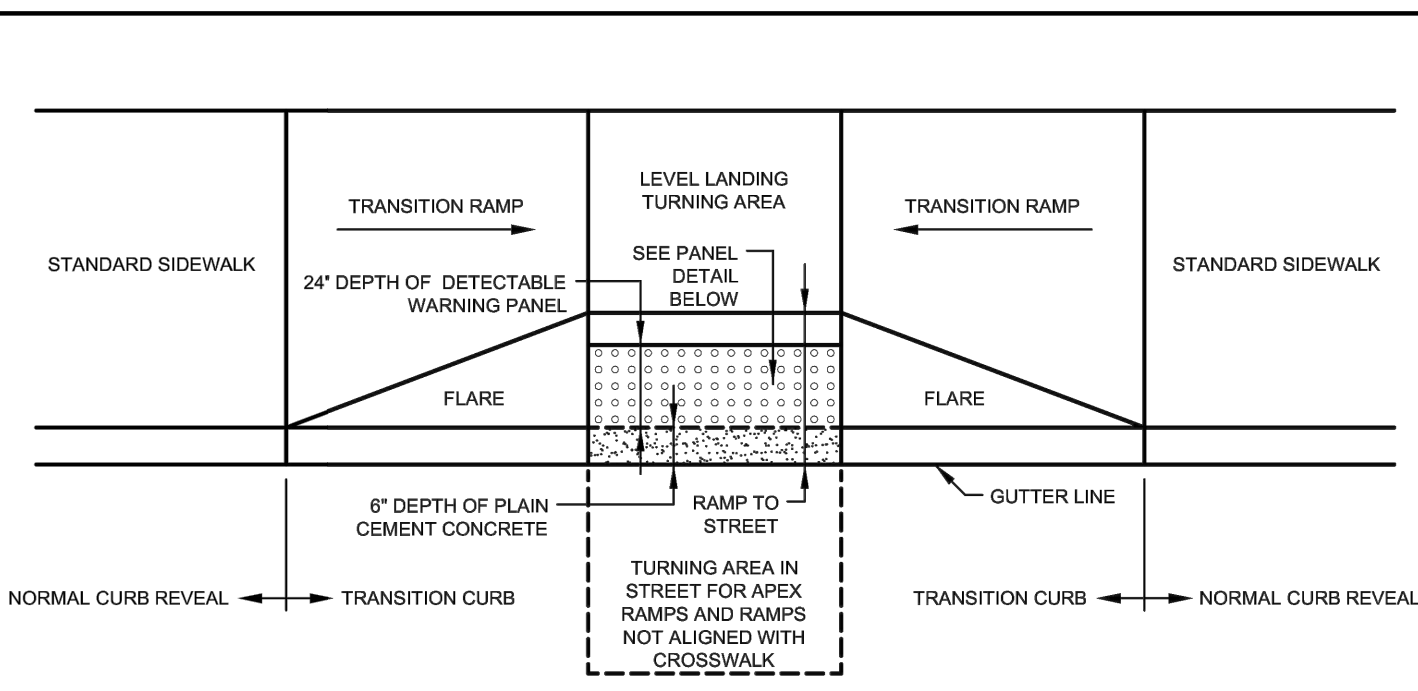
NOT TO SCALE



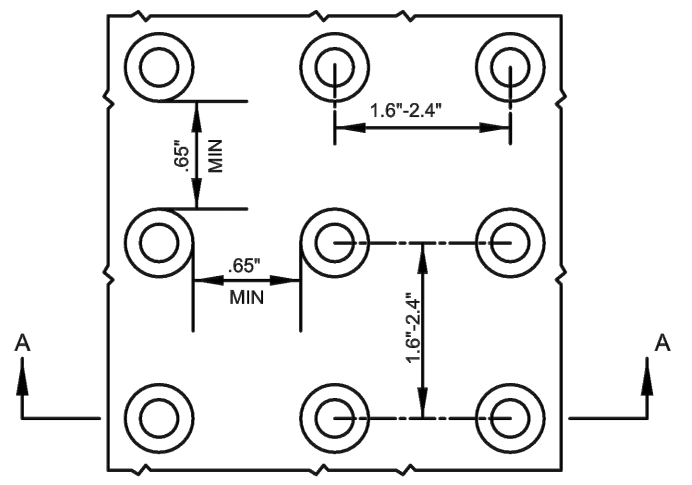
**DUMPSTER PAD**

NOT TO SCALE

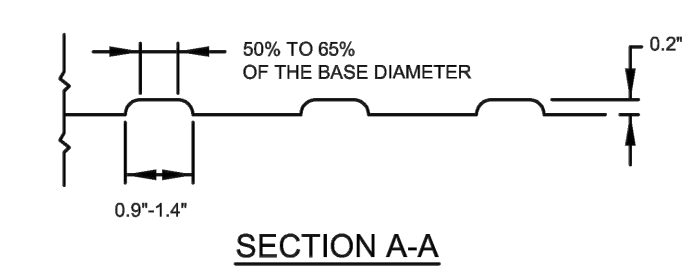
- NOTES:**
1. CONCRETE PADS SHALL BE INSTALLED WITH CONTRACTION JOINTS AGAINST ALL STRUCTURAL FEATURES AND/OR AT 24' CENTERS.
  2. TOOLED JOINTS SHALL BE INSTALLED AT 6' MAXIMUM SPACING EACH WAY.



**TYPICAL INSTALLATION**



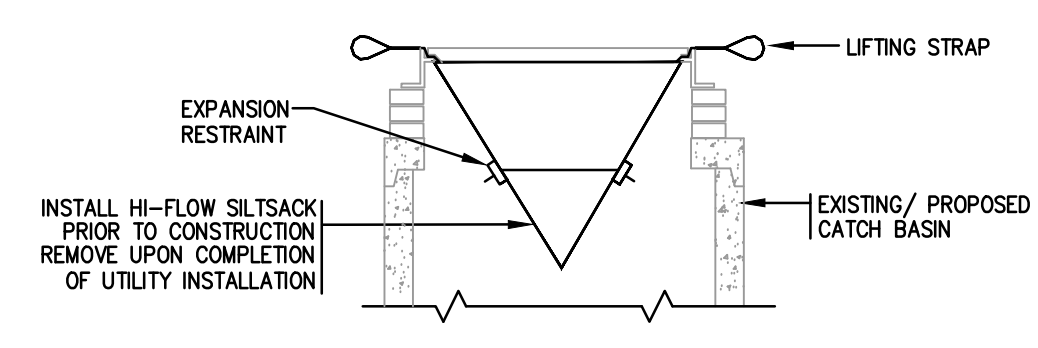
**DETAIL OF DETECTABLE WARNING PANEL**



**SECTION A-A**

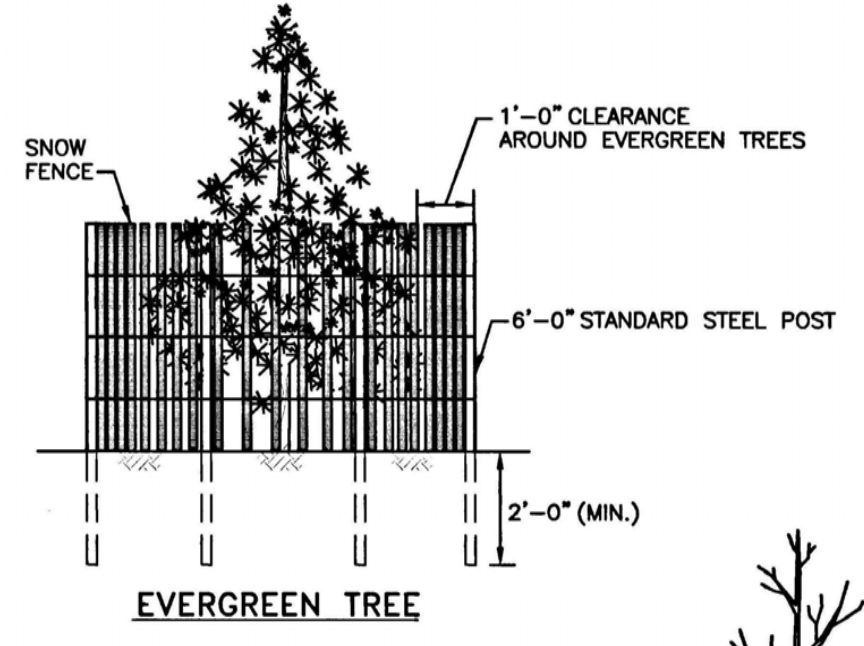
**NOTE:**  
PANELS MAY BE CONCRETE PRECAST OR CAST IN PLACE OR OTHER SUITABLE MATERIAL PERMANENTLY APPLIED TO THE RAMP. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

**massDOT** CONSTRUCTION STANDARDS  
**DETECTABLE WARNING PANEL FOR WHEELCHAIR RAMPS AND STANDARD RAMP TERMINOLOGY**  
DATE OF ISSUE: JUNE 2014  
DRAWING NUMBER: **E 107.6.5**

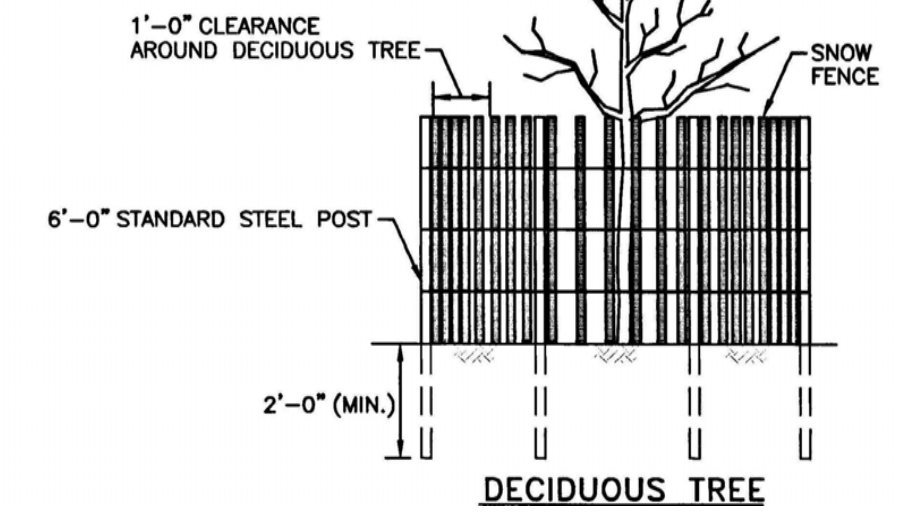


**INLET PROTECTION / SILTSACK AT CATCH BASIN**

NOT TO SCALE



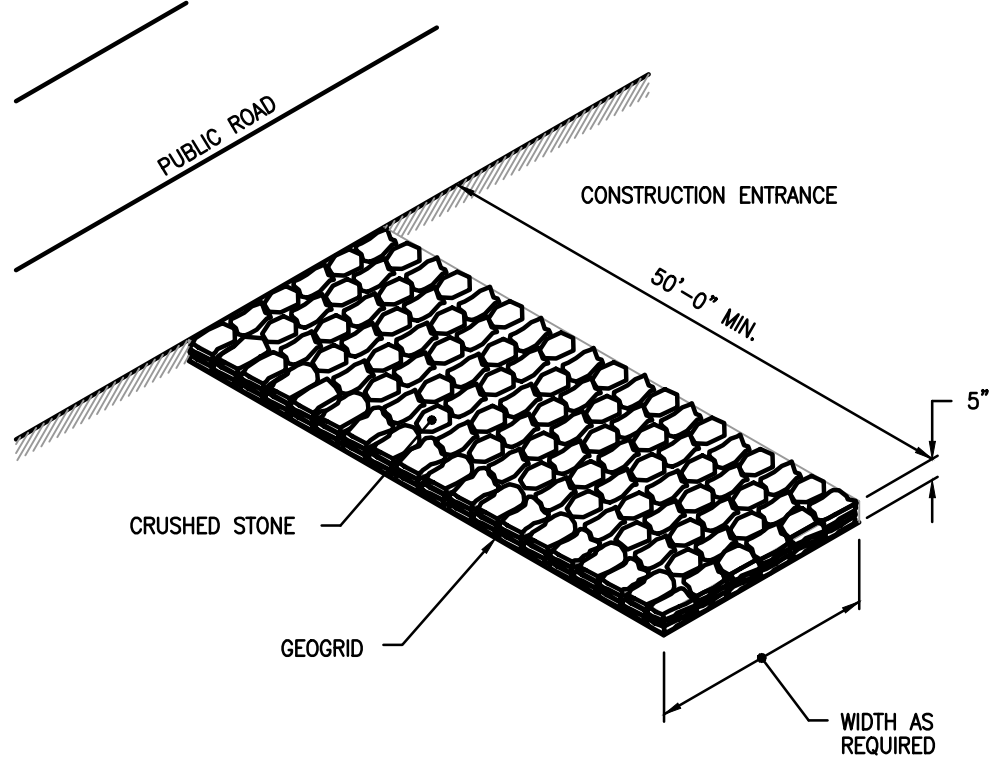
**EVERGREEN TREE**



**DECIDUOUS TREE**

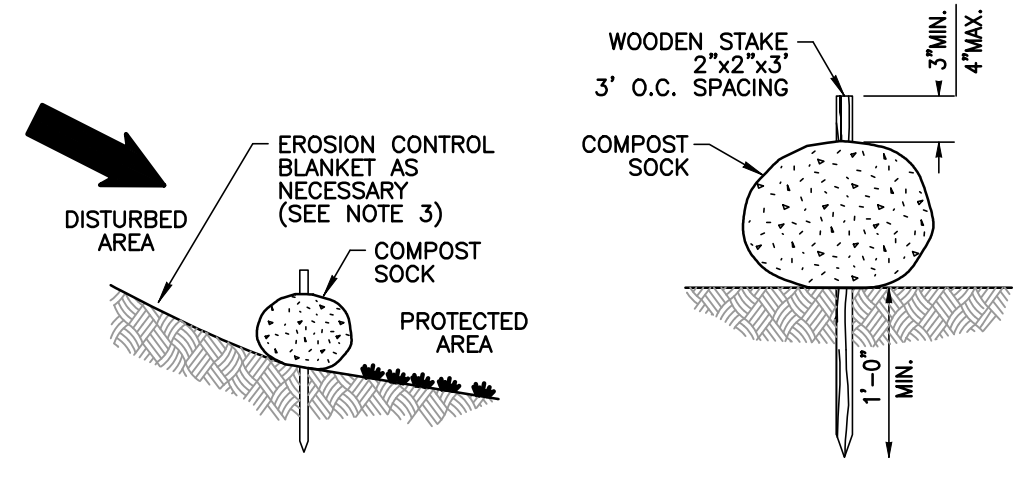
**DRIP LINE TREE PROTECTION DEVICE FOR EXISTING TREES**

NOT TO SCALE



**CONSTRUCTION ENTRANCE/ EXIT**

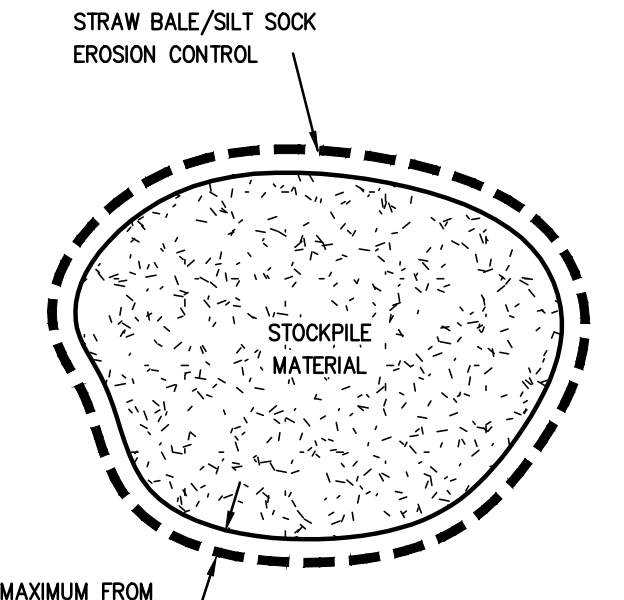
NOT TO SCALE



**COMPOST SILT SOCK**

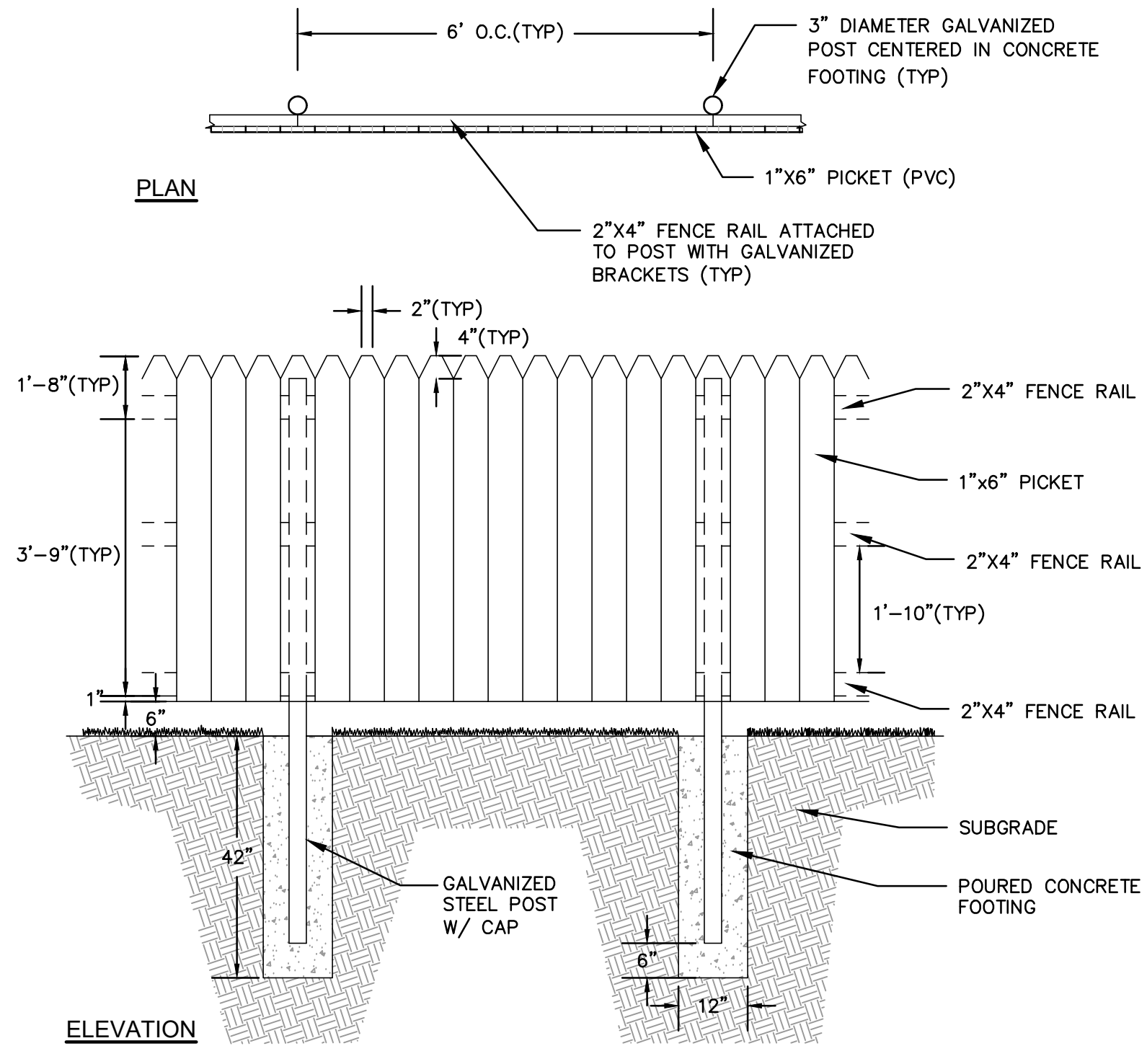
NOT TO SCALE

- NOTES:**
1. COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
  2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
  3. WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
  4. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
  5. ALWAYS INSTALL COMPOST SOCK ALONG SLOPE PERPENDICULAR TO FLOW AROUND SEDIMENT STORAGE AND TRUCK WASH-OUT AREAS.
  6. REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.
  7. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.



**STOCKPILE**

NOT TO SCALE



**SCREENING FENCE**

NOT TO SCALE

- NOTE:**
1. DETAIL PROVIDED FOR BASIS OF DESIGN PURPOSES. FINAL DIMENSIONAL REQUIREMENTS AND/OR FENCE MODEL SELECTION MAY VARY WITH OWNER APPROVAL.

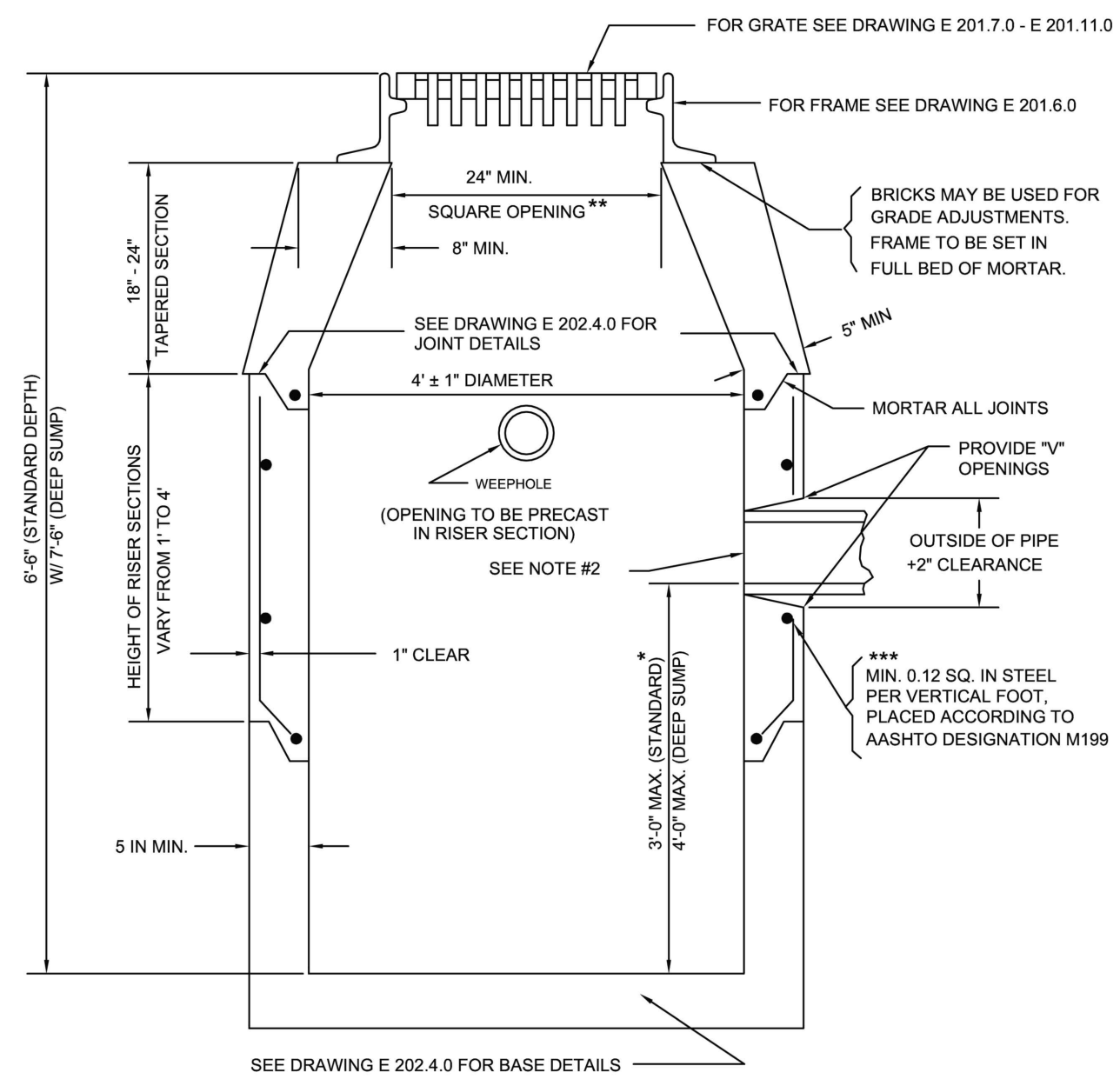
**CONSTRUCTION DETAILS 2**  
FOR  
**MIRASOL'S CAFE**  
(MAP 26; LOTS 60, 60A, 60B & 61)  
SITUATED AT  
**9 PEOPLES WAY & HITTLESTON AVE**  
FAIRHAVEN, MASSACHUSETTS  
PREPARED FOR  
**CARPIONATO GROUP, LLC**

NO.	REVISION	BY	DATE

**GAROFALO**  
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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS  
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DWG. NO. 7202-02-DETAILS.DWG	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: AUGUST 22, 2022

SHEET  
**C-6**  
6 OF 7 SHEETS



- NOTES:
1. DETAILS NOT INDICATED ABOVE ARE TO BE SIMILAR TO THOSE SHOWN ON E 201.3.0
  2. FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE.
  3. FOR DESCRIPTION, MATERIALS AND CONSTRUCTION METHOD, SEE STANDARD SPECIFICATIONS.
  4. ALL CONCRETE TO BE AIR ENTRAINED

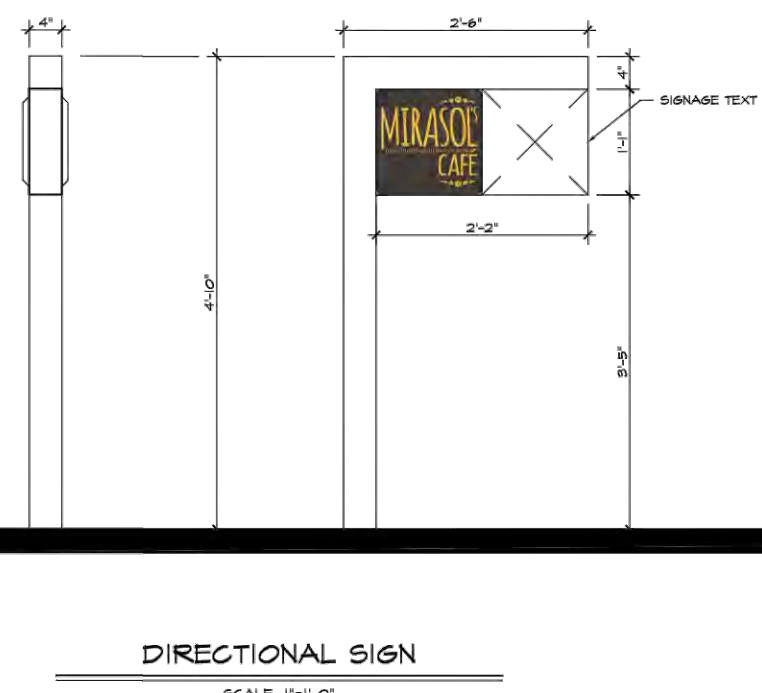


**PRECAST CONCRETE CATCH BASIN**

DATE OF ISSUE  
OCTOBER 2017  
DRAWING NUMBER  
**E 201.4.0**



AHARONIAN ASSOCIATES ARCHITECTS  
401-232-3010  
www.ahar.org



DIRECTIONAL SIGN  
SCALE: 1/4"=1'-0"



MONUMENT SIGN  
SCALE: 1/4"=1'-0"

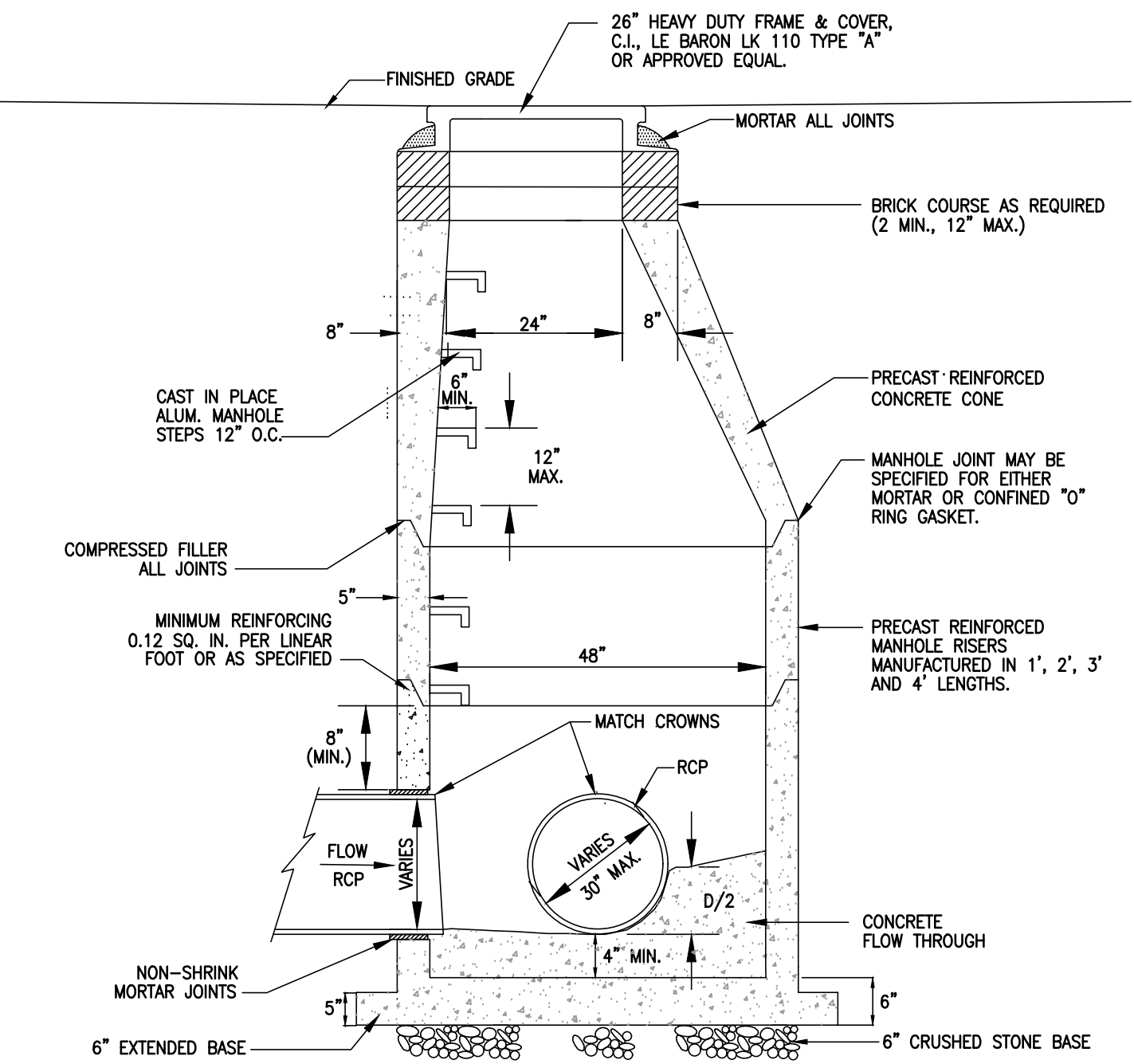
**PROPOSED SIGNAGE**

SCALE: 1/4"=1'-0"



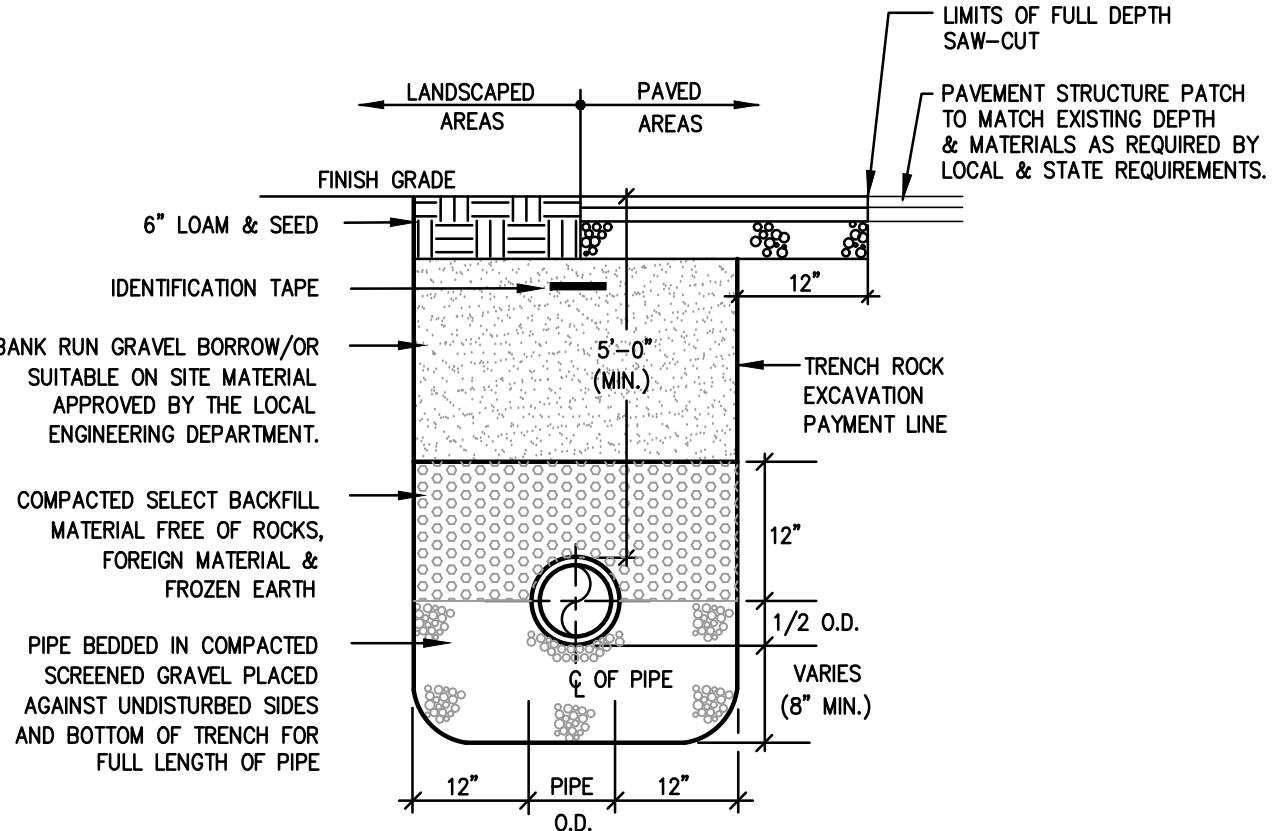
9 PEOPLES WAY  
FAIRHAVEN, MA  
SEPTEMBER 23, 2022

**PROPOSED MONUMENT SIGN DETAIL**  
N.T.S.



**PRECAST CONCRETE DRAIN MANHOLE**

NOT TO SCALE



**UTILITY TRENCH SECTION**

NOT TO SCALE

- NOTES:
1. METALIZED 2" WIDE DETECTABLE IDENTIFICATION TAPE SHALL BE INSTALLED OVER WATER LINES AND SEWER PIPE 12" BELOW FINISH GRADE.
  2. EXISTING FOUNDATION SHALL BE REMOVED TO 2" MINIMUM BELOW PROPOSED UTILITIES AND BACKFILLED WITH SELECT BACKFILL TO 95% DENSITY.
  3. PROVIDE TRENCH SHEETING & BRACING AS REQUIRED IN ACCORDANCE WITH O.S.H.A. REQUIREMENTS.
  4. ELECTRIC/TELEPHONE/CABLE MAINS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH UTILITY COMPANY STANDARDS AND ALL APPLICABLE CODES.
  5. GRAVITY SANITARY SEWER LINES SHALL BE BEDDED ON 3/4-INCH CRUSHED STONE PLACED AGAINST UNDISTURBED SIDES AND BOTTOM OF TRENCH FOR FULL LENGTH PIPE. CRUSHED STONE SHALL ALSO BE PLACED ABOVE THE SEWER PIPE AT A MINIMUM DEPTH OF 12-INCHES FOR FULL LENGTH OF PIPE.

**FEATURES & SPECIFICATIONS**

**INTENTIONS** — These specifications are for use with the SSS 20 4C DM18AS XXXX pole. The pole provides a robust yet cost-effective option for mounting new signs and lighting.

**CONSTRUCTION** — Pole shaft: The pole shaft is of uniform diameter and wall thickness and is made of a weatherable, galvanized, commercial quality steel tubing with a minimum yield of 55 KSI (170 MPa), or 50 KSI (345 MPa), 1.75" O.D. with a wall thickness of 0.1875". The pole shaft shall be galvanized to a minimum of 0.015 oz./sq. ft. of zinc. The pole shaft shall be galvanized to a minimum of 0.015 oz./sq. ft. of zinc. The pole shaft shall be galvanized to a minimum of 0.015 oz./sq. ft. of zinc. The pole shaft shall be galvanized to a minimum of 0.015 oz./sq. ft. of zinc.

**ANCHOR BASE POLES** — Anchor base poles are fabricated from steel that meets ASTM A500 standards and can be altered to match existing foundations, consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 standards, grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Top threaded portion (minimum 12") to be approved galvanized steel (G30 or G35).

**BASE COVER** — A durable ABS plastic top cover shall be base cover finished to match the pole, supplied with each pole assembly. Additional base cover options are available upon request.

**ANCHOR BOLT** — Anchor bolts are fabricated from steel that meets ASTM A500 standards and can be altered to match existing foundations, consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 standards, grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Top threaded portion (minimum 12") to be approved galvanized steel (G30 or G35).

**FINISH** — Color powder coated finish is coated with TSC-2 (highly reflective) polyester powder that meets 1A and 1B classifications of ASTM D3359. Powder coat finishes include Dark Bronze, White, Black, and Natural Aluminum colors. Additional colors and special finishes are available by quote and include, but are not limited to: Paint over lead dipped galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes.

**BUY AMERICAN** — Product with the BAA option is assembled in the USA and meets the Buy American government procurement requirements under 48 CFR 101.01 and 101.02. Please refer to [www.buyusa.gov](http://www.buyusa.gov) for additional information.

**INSTALLATION** — Do not erect poles without having bottom installed. Factory supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claims for structural damage or equipment failure to failure to use Lithonia Lighting factory templates. Poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage. Lithonia Lighting is not responsible for the foundation design.

**WARRANTY** — 1 year limited warranty. This is the only warranty provided and no other statements in this specification shall create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.lithonia.com](http://www.lithonia.com) Support: [support@lithonia.com](mailto:support@lithonia.com) and [www.lithonia.com](http://www.lithonia.com)

**NOTE:** Actual performance may differ as a result of end user environment and application. Specifications subject to change without notice.

Catalog Number	SSS 20 4C DM18AS XXXX
Item	Mirasol Cafe
Type	S1/S2 & S3 POLE

**SSS**  
SQUARE STRAIGHT STEEL  
Buy American

**LIGHTING POLE BASE DETAIL**  
N.T.S.

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85 CORLISS STREET  
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SCALE: AS SHOWN	APPROVED S.B.G. DATE: AUGUST 22, 2022

SHEET  
**C-7**  
7 OF 7 SHEETS



**PLANT LIST:**

CANOPY TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
AR	ACER RUBRUM 'FRANKSRED' FRANKSRED RED SUNSET MAPLE	3	2'-2.5" CAL.	
GT	GLEDITSIA TRIACANTHOS 'SKYCOLE' THORNLESS HONEY LOCUST SKYLINE	1	2'-2.5" CAL.	

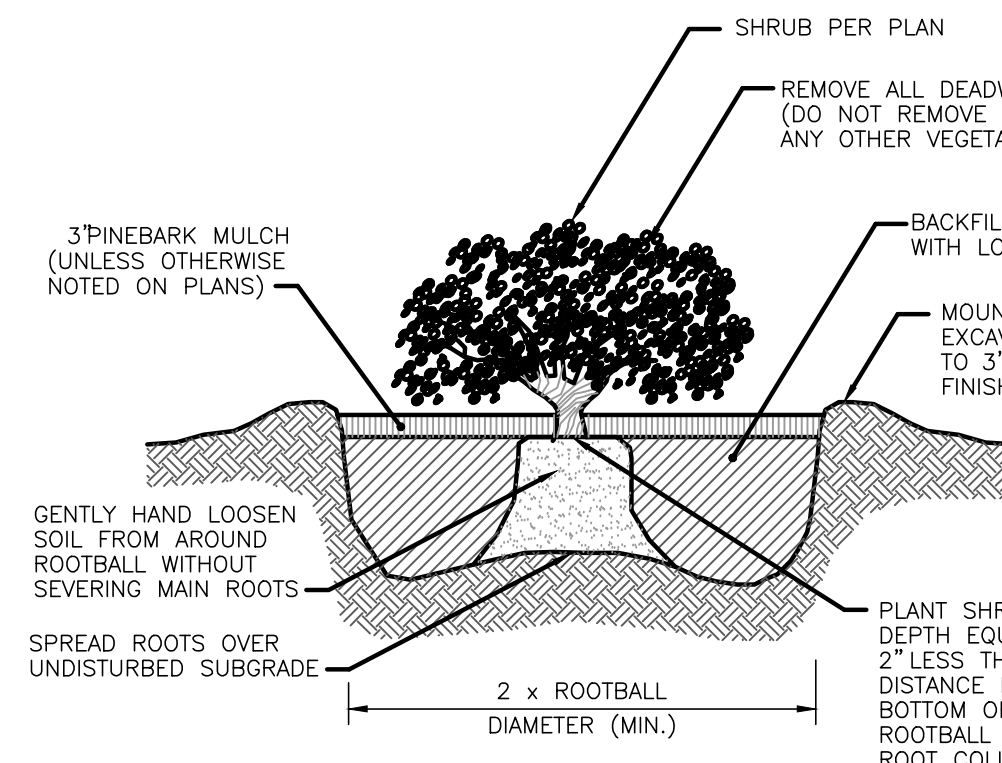
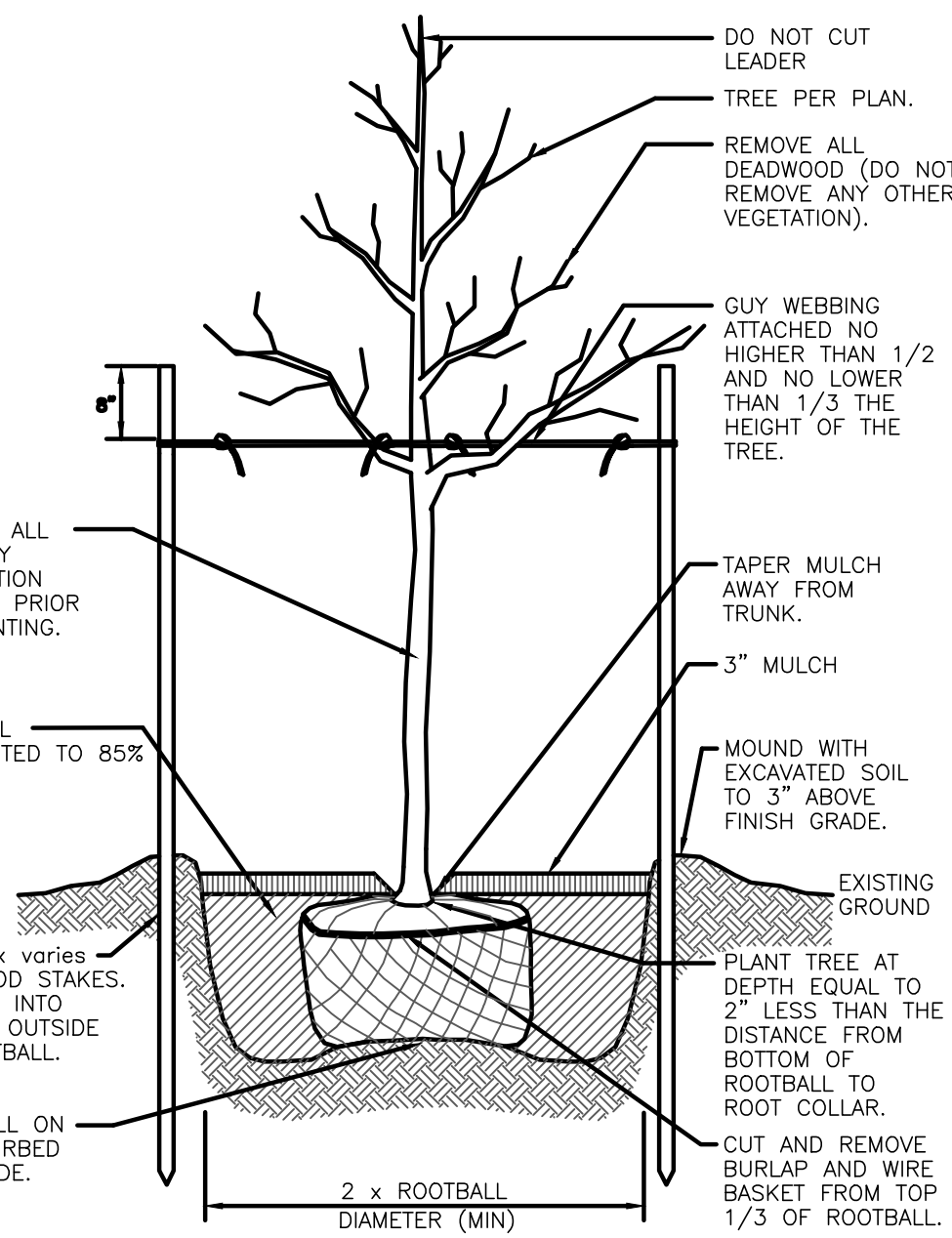
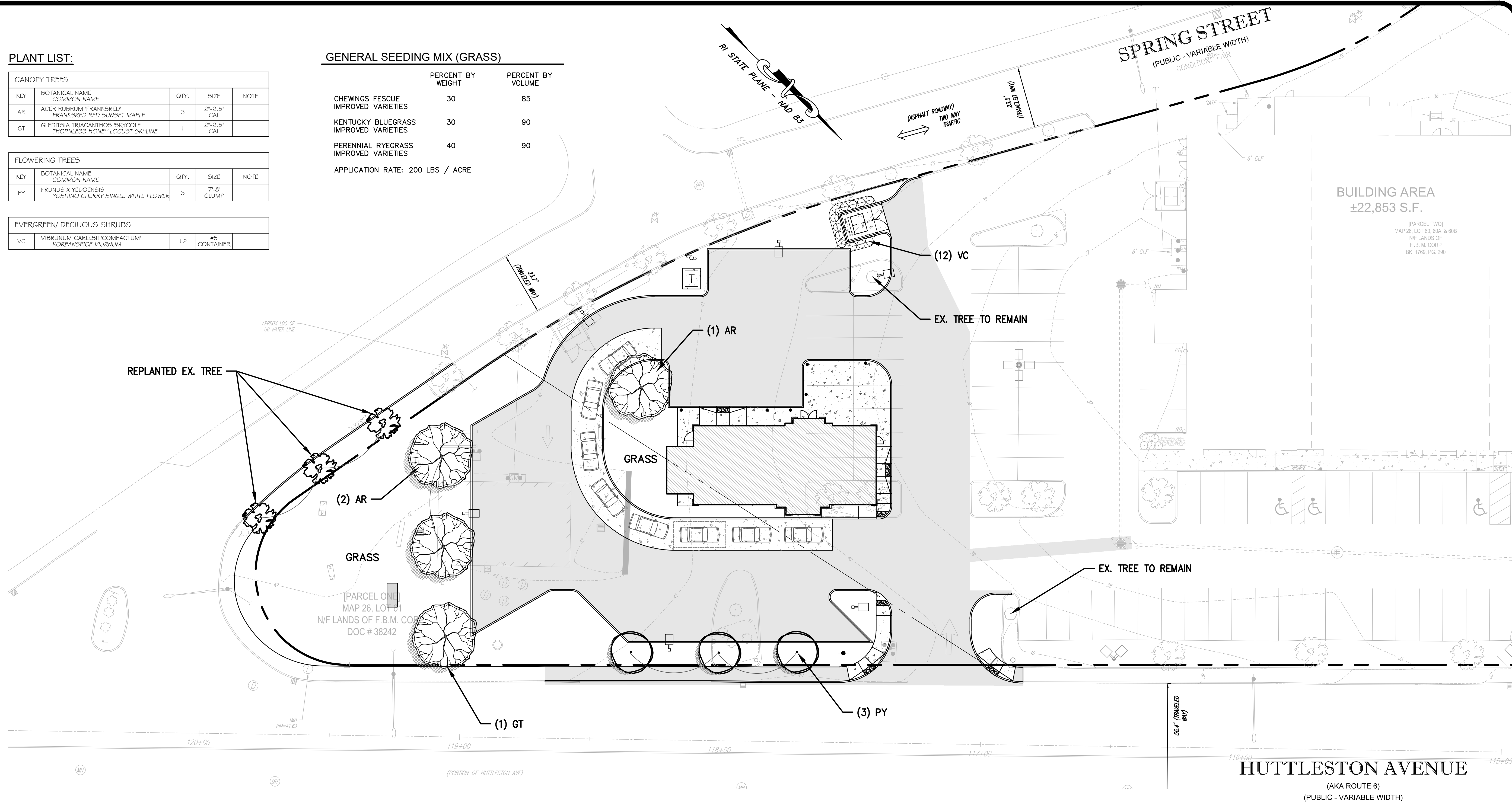
FLOWERING TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
FY	PRUNUS X YEDOENSIS YOSHINO CHERRY SINGLE WHITE FLOWER	3	7'-8" CLUMP	

EVERGREEN/ DECIDUOUS SHRUBS				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
VC	VIBURNUM CARLESH 'COMPACTUM' KOREANSPICE VIURNUM	12	#5 CONTAINER	

**GENERAL SEEDING MIX (GRASS)**

	PERCENT BY WEIGHT	PERCENT BY VOLUME
CHEWINGS FESCUE IMPROVED VARIETIES	30	85
KENTUCKY BLUEGRASS IMPROVED VARIETIES	30	90
PERENNIAL RYEGRASS IMPROVED VARIETIES	40	90

APPLICATION RATE: 200 LBS / ACRE



**GENERAL LANDSCAPE NOTES:**

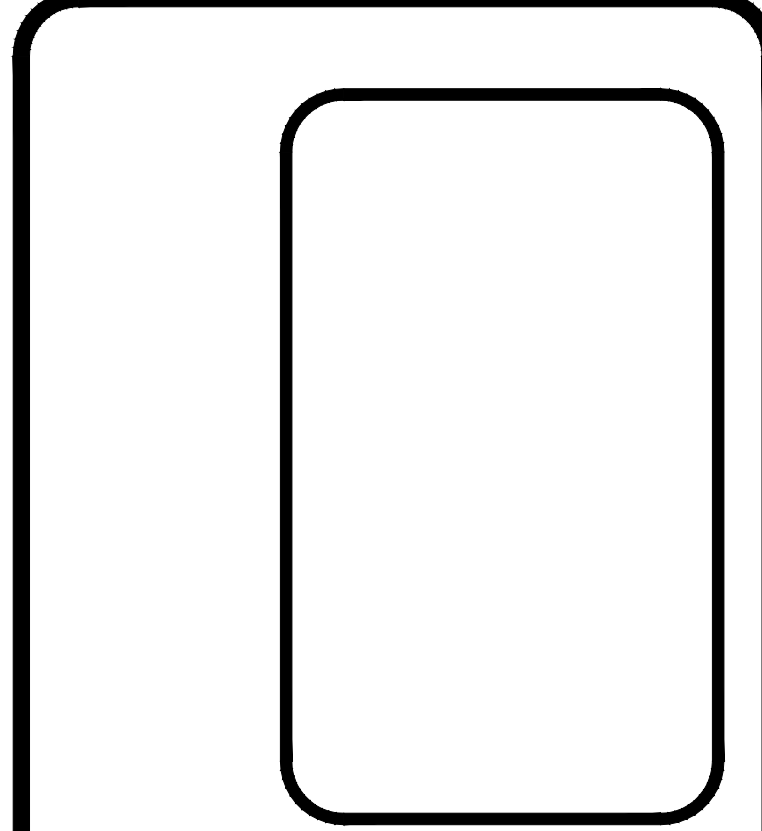
- THIS PLANTING PLAN HAS BEEN PREPARED TO DOCUMENT GENERAL COMPLIANCE TO BYLAW/SPECIAL PERMIT STANDARDS. FINAL PLANT MATERIALS MAY BE ADJUSTED AND SUPPLEMENTED AS WARRANTED TO MEET FINAL DESIRED OWNER/TENANT AESTHETICS.
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL PLANT MATERIAL SHALL MEET THE AMERICAN OF NURSERYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY. NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. IF THE FIRST YEAR ENDS DURING THE DORMANT PERIOD, THE GUARANTEE SHALL EXTEND TO THE START OF THE NEXT LEAFING. DURING THE ONE-YEAR GUARANTEE PERIOD THE CONTRACTOR SHALL EMPLOY ACCEPTED HORTICULTURAL PRACTICES TO KEEP THE PLANTS INSTALLED IN LIVING, HEALTHY CONDITION. FOLLOWING THE ONE-YEAR GUARANTEE PERIOD THE OWNER/OWNERS SHALL INSPECT ALL PLANT MATERIAL FOR HEALTHY ORNAMENTAL QUALITY. AT THAT TIME SHOULD ANY PLANT MATERIAL BE FOUND IN INADEQUATE HEALTH THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE THE PLANT IN KIND AND PROVIDE A ONE-YEAR GUARANTEE FOR THE REPLACEMENT PLANT.
- INSTALL ALL PLANT MATERIAL AS SHOWN IN DETAILS.
- PROTECTION OF EXISTING PLANTINGS: MAXIMUM EFFORT SHOULD BE MADE TO SAVE TREES OF OTHER PLANT SPECIMENS WHICH ARE LARGE FOR THEIR SPECIES, RARE TO THE AREA, OR OF SPECIAL HORTICULTURAL OR LANDSCAPE VALUE. CONTACT OWNER/LANDSCAPE ARCHITECT BEFORE REMOVING ANY SPECIMEN OF THIS TYPE UNLESS OTHERWISE NOTED ON THE PLANS. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF SHRUBS OR TREES DESIGNATED ON THE LANDSCAPE PLAN TO BE RETAINED. PROTECTIVE BARRIERS ARE TO BE INSTALLED AROUND EACH PLANT AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF SUPPORTING. THEY SHALL BE OF MINIMUM OF FOUR FEET (4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED.
- DISTURBED AREAS: ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT, AND ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE RAKED TO REMOVE STONES AND LOAMED AND SEEDED AS PER SPECIFICATIONS.

**LOAM AND SEEDING:**

- APPLICATION OF LOAM AND SEED SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- LOAM MATERIAL TO BE FURNISHED SHALL CONSIST OF SCREENED LOOSE, FRIABLE, FINE SANDY LOAM OR SANDY LOAM, AS DEFINED BY THE USDA'S SOIL CONSERVATION SERVICE IN THE SOIL SURVEY MANUAL ISSUED IN 1993. FREE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, COBBLES, STONES, BRUSH, NOXIOUS WEEDS, LITTER AND OTHER MATERIALS WHICH ARE LARGER THAN 1/2-INCH IN ANY DIMENSION AND WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED. ORGANIC MATTER SHALL CONSTITUTE NOT LESS THAN 5 PERCENT NOR MORE THAN 20 PERCENT OF THE LOAM AS DETERMINED BY LOSS-ON-IGNITION OF OVEN DRIED SAMPLES THAT HAVE BEEN DRAWN BY THE ENGINEER, UNLESS OTHERWISE SPECIFIED OR DIRECTED. THE LOAM SHALL HAVE AN ACIDITY RANGE OF 5.5 PH TO 7.6 PH.
- LOAM SHALL BE SPREAD TO A DEPTH OF 4" IN SEEDING AREAS AND PLACED TRUE TO LINES AND GRADES SHOWN ON THE PLANS.
- THE LOAMED SURFACE SHALL BE GRADED, AND ALL ROOTS, SODS, WEEDS, COBBLES OR STONES WITH ANY DIMENSION GREATER THAN 1 INCH SHALL BE REMOVED AND LEGALLY DISPOSED OF. AFTER SHAPING AND GRADING, ALL TRUCKS AND OTHER EQUIPMENT NOT REQUIRED TO PERFORM SEEDING, MULCHING OR MOWING OPERATIONS SHALL BE EXCLUDED FROM THE LOAMED AREAS.
- LIME (GROUND OR PELLETIZED) SHALL BE APPLIED DRY AND SPREAD EVENLY OVER THE ENTIRE SURFACE TO BE SEEDED. UNLESS OTHERWISE SPECIFIED, THE APPLICATION RATE SHALL BE 1 TON PER ACRE. RAKING SHALL BE COMPLETED AFTER THE FERTILIZER HAS BEEN APPLIED.
- SEED SHALL BE APPLIED ONLY DURING THE FOLLOWING DATES:  
SPRING SEEDING: MARCH 15 TO MAY 31.  
FALL SEEDING: AUGUST 15 TO OCTOBER 15.
- THE CONTRACTOR SHALL WATER ALL SEEDED AREAS AND RESEED AS NECESSARY FOR A PERIOD OF 2-MONTHS OR UNTIL A HEALTH STAND OF GRASS IS ESTABLISHED AND APPROVAL HAS BEEN MADE BY THE OWNER/LANDSCAPE ARCHITECT.

**LANDSCAPE PLAN**  
FOR  
**MIRASOL'S CAFE**  
(MAP 26; LOTS 60, 60A, 60B & 61)  
SITUATED AT  
**9 PEOPLES WAY & HUTTLESTON AVE**  
FAIRHAVEN, MASSACHUSETTS  
PREPARED FOR  
**CARPIONATO GROUP, LLC**

NO.	REVISION	BY	DATE



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JOB NO. 7202-02	DRAWN BY K.Y.Y.
DWG. NO. 7202-02-BASE.DWG	CHECK BY S.S.H
SCALE: AS SHOWN	APPROVED S.B.G
SHEET	DATE: AUGUST 22, 2022

**L-1**  
1 OF 1 SHEET

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Wattage
	S1	1	Lithonia Lighting	Fixture Head	DSX0 LED P4 40K BLC MVOLT	8656	0.95	92
	S2	4	Lithonia Lighting	Fixture Head	DSX0 LED P4 40K TFTM MVOLT with houseside shield	8243	0.95	92
	S3	1	Lithonia Lighting	Fixture Head	DSX0 LED P6 40K TFTM MVOLT with houseside shield	12465	0.95	134
	BL1	6	Lithonia Lighting	DSXB LED 16C 350 40K SYM	D-SERIES BOLLARD WITH 16 4000K LEDS OPERATED AT 350mA AND SYMMETRIC DISTRIBUTION	1674	0.95	20

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Mirasol Cafe		1.2 fc	13.9 fc	0.0 fc	N/A	N/A
Paved Areas Mirasol Cafe		1.9 fc	10.7 fc	0.2 fc	53.5:1	9.5:1

**D-Series Size 0 LED Area Light Fixture**

**Specifications**

Length: 10.5" (267mm)  
 Width: 10.5" (267mm)  
 Height: 1.5" (38mm)  
 Weight: 1.2 lbs (0.54kg)

**Introduction**

The modern styling of the D-Series is making an impression, making a lasting impression even in a dimly lit space, with its sleek, minimalist design. The D-Series offers the benefits of the latest in LED technology into a high-performance, high-efficiency, long-life fixture. The outstanding performance performance results in less heat and energy, greater performance and lower power density. It is ideal for applications of 4000+ lumens/fixture with typical average output of 7000 and expected service life of over 100,000 hours.

**Ordering Information**

EXAMPLE: DSX0 LED P4 40K TFM MVOLT SYM 16X16X16 0000

Code	Description	Code	Description
DSX0	DSX0 LED P4 40K TFM MVOLT SYM 16X16X16 0000	DSX0	DSX0 LED P4 40K TFM MVOLT SYM 16X16X16 0000

**D-Series LED Bollard**

**Specifications**

Height: 27.5" (700mm)  
 Diameter: 3.5" (89mm)

**Introduction**

The D-Series LED Bollard is a stylish, energy-saving, long-life outdoor lighting fixture. The sleek, minimalist design is perfect for the most demanding applications. All outdoor applications are built to last and will never wear the most rugged of lighting codes. The D-Series LED Bollard's rugged construction, durable finish and long-lasting LEDs will provide years of maintenance-free service.

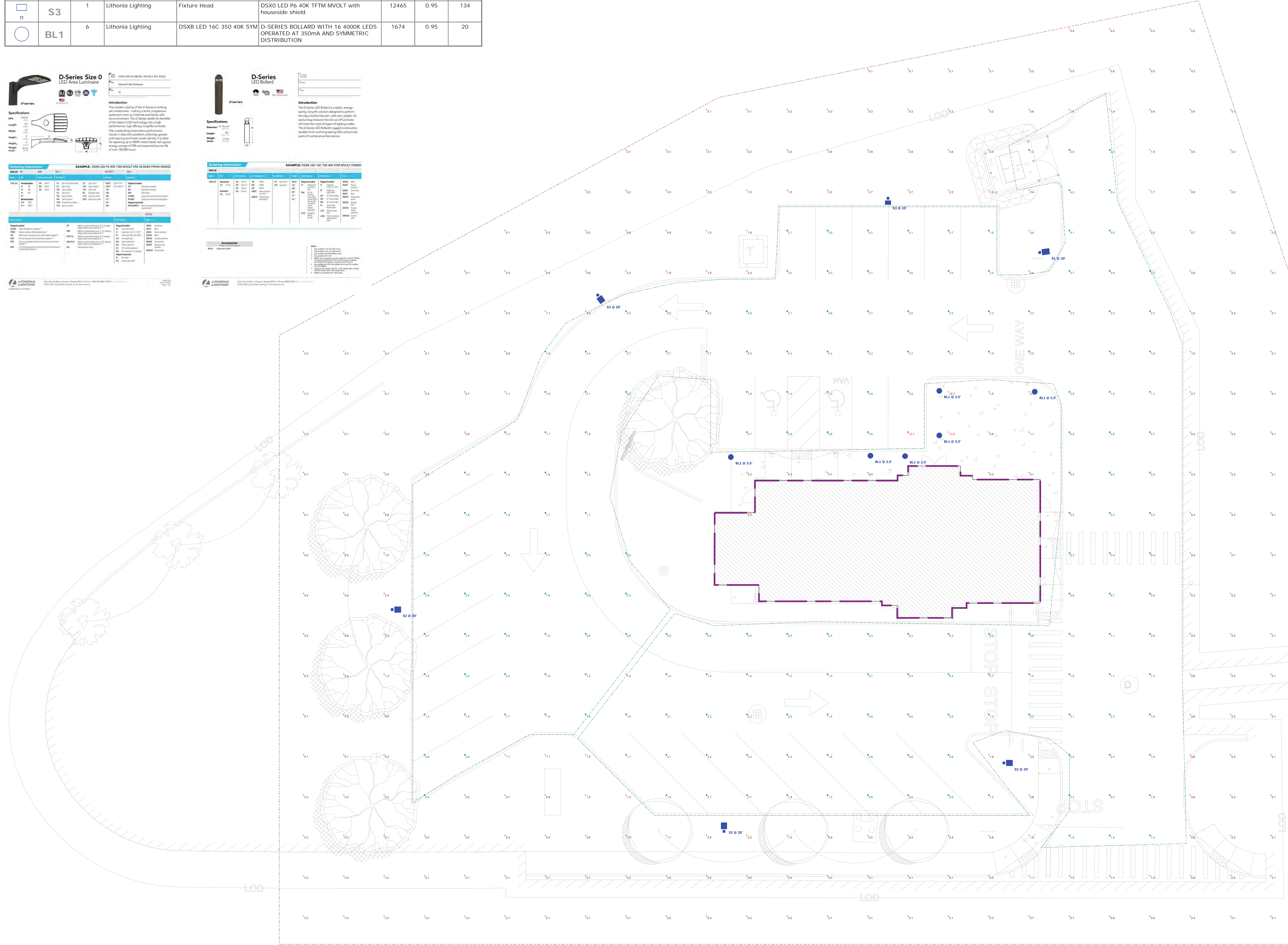
**Ordering Information**

EXAMPLE: DSXB LED 16C 350 40K SYM 0000

Code	Description	Code	Description
DSXB	DSXB LED 16C 350 40K SYM 0000	DSXB	DSXB LED 16C 350 40K SYM 0000

**Accessories**

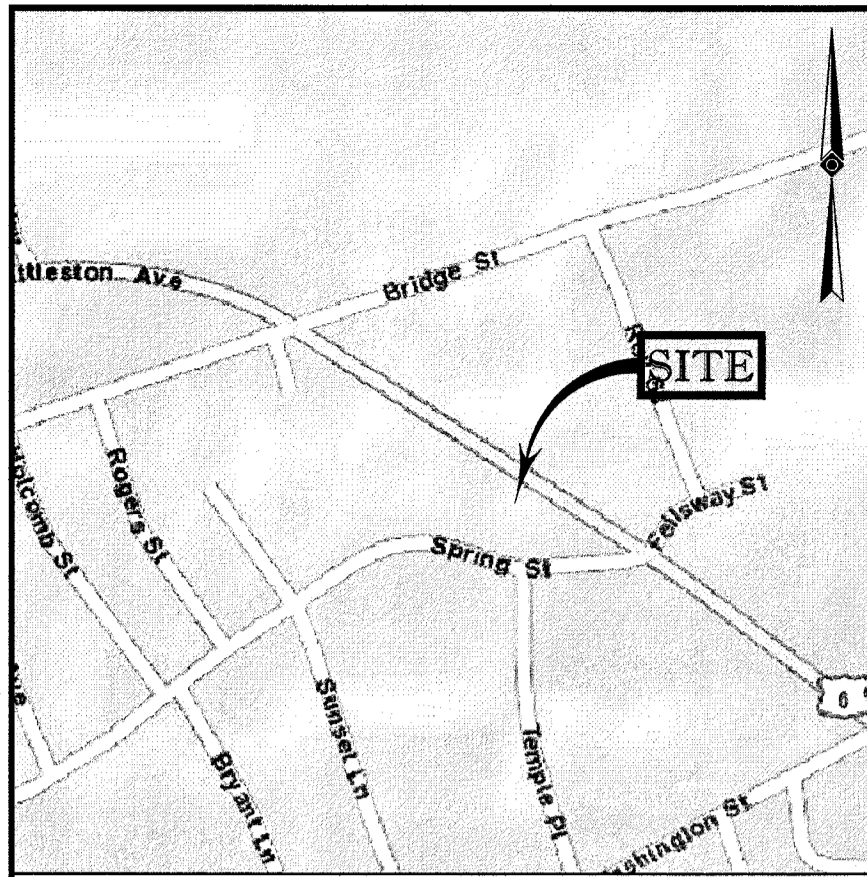
- DSXB-16C-350-40K-SYM-0000
- DSXB-16C-350-40K-SYM-0000



Plan View  
Scale: 1" = 8'

Mirasol Cafe  
 Fairhaven  
 Site Lighting Study  
 July 26, 2022

Designer  
 Date: 07/26/2022  
 Scale: Not to Scale  
 Drawing No.  
 Summary



LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS

ZONING INFORMATION  
BUSINESS (B) DISTRICT  
SOURCE: ZONING CHAPTER 198 FROM THE CODE OF THE TOWN OF FAIRHAVEN  
ARTICLE II - SECTION 198-17 INTENSITY OF USE REGULATIONS

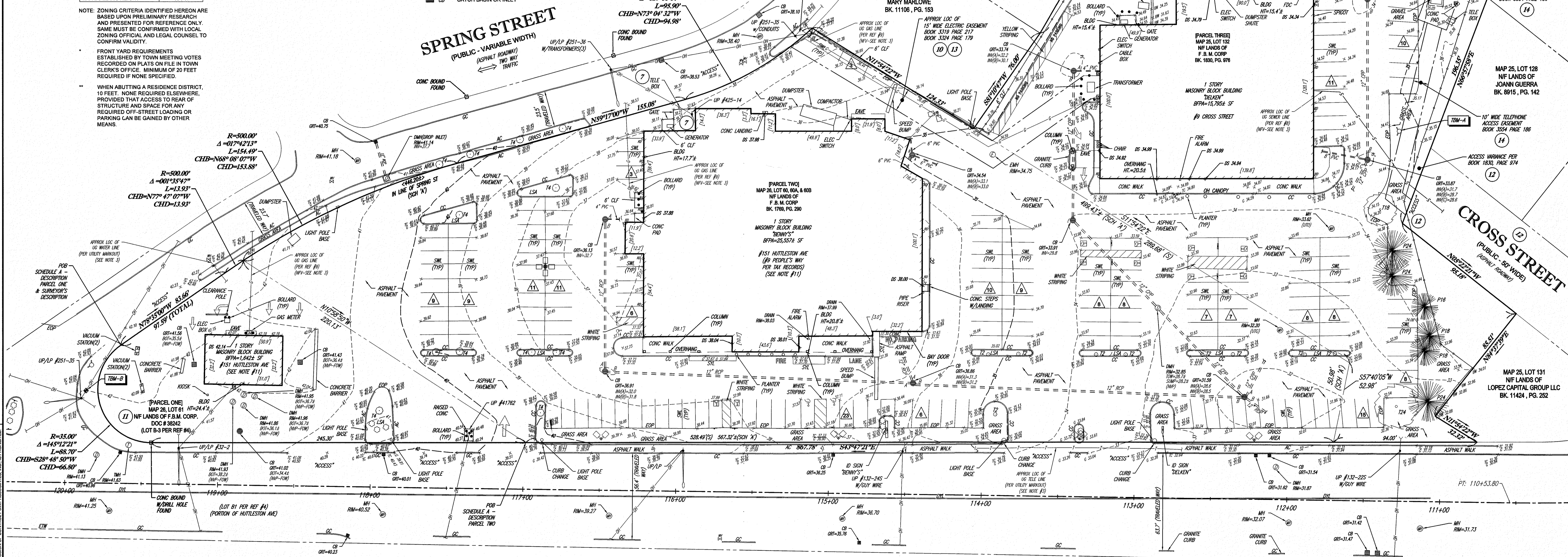
ITEMS	REQUIRED
MIN LOT AREA	15,000 SQ. FT.
MIN FRONTAGE	100 FT.
MIN FRONT YARD	-
MIN SIDE YARD	-
MIN REAR YARD	-
MAX BUILDING HEIGHT	40 FT.

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

FRONT YARD REQUIREMENTS ESTABLISHED BY TOWN MEETING VOTES RECORDED ON PLATS ON FILE IN TOWN CLERK'S OFFICE. MINIMUM OF 20 FEET REQUIRED IF NONE SPECIFIED.

WHEN ABUTTING A RESIDENCE DISTRICT, 10 FEET. NONE REQUIRED ELSEWHERE, PROVIDED THAT ACCESS TO REAR OF STRUCTURE AND SPACE FOR ANY REQUIRED OFF-STREET LOADING OR PARKING CAN BE GAINED BY OTHER MEANS.

- LEGEND
- |             |                                   |              |                         |
|-------------|-----------------------------------|--------------|-------------------------|
| --- 124 --- | EXISTING CONTOUR                  | AC           | ASPHALT CURB            |
| --- 125 --- | EXISTING SPOT ELEVATION           | GC           | GRANITE CURB            |
| × TC 123.45 | EXISTING TOP OF CURB ELEVATION    | CC           | CONCRETE CURB           |
| × G 122.85  | EXISTING GUTTER ELEVATION         | UD           | UNABLE TO OPEN          |
| × TW 123.45 | EXISTING TOP OF WALL ELEVATION    | (PARCEL ONE) | TITLE COMMITMENT PARCEL |
| × BW 122.95 | EXISTING BOTTOM OF WALL ELEVATION | (S)          | SURVEY DIMENSION        |
| × FF 123.45 | EXISTING FINISHED FLOOR ELEVATION |              |                         |
| × DS 123.45 | EXISTING DOOR SILL ELEVATION      |              |                         |
| ○           | TREE & TRUNK SIZE                 |              |                         |
| △           | SHRUBS                            |              |                         |
| △           | PARKING SPACE COUNT               |              |                         |
| AG          | ABOVE GROUND                      |              |                         |
| UG          | UNDER GROUND                      |              |                         |
| CLF         | CHAIN LINK FENCE                  |              |                         |
| EDC         | EDGE OF CONCRETE                  |              |                         |
| EDP         | EDGE OF PAVEMENT                  |              |                         |
| (TYP)       | TYPICAL                           |              |                         |
| SWL         | SOLID WHITE LINE                  |              |                         |
| DYL         | DOUBLE YELLOW LINE                |              |                         |
| ETW         | EDGE OF TRAFFIC WAY               |              |                         |
| HT          | HEIGHT                            |              |                         |
| BLDG        | BUILDING                          |              |                         |
| BFFA        | BUILDING FOOTPRINT AREA           |              |                         |
| NVP         | NO VISIBLE PIPE                   |              |                         |
| FW          | FULL OF WATER                     |              |                         |
| BOS         | BOTTOM OF STRUCTURE               |              |                         |
| TOW         | TOP OF WATER                      |              |                         |
| FDC         | FIRE DEPARTMENT CONNECTION        |              |                         |
| INV         | INVERT ELEVATION                  |              |                         |
| GRV         | GRATE ELEVATION                   |              |                         |
| PVC         | POLYVINYL CHLORIDE                |              |                         |
| CPP         | CORRUGATED PLASTIC PIPE           |              |                         |
| RCP         | REINFORCED CONCRETE PIPE          |              |                         |
| (I)         | TITLE EXCEPTION                   |              |                         |



UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 20174407878

UTILITY COMPANY	PHONE NUMBER
AT&T TRANSMISSION	800-331-0500
NSTAR ELECTRIC - COM	800-592-2000
NSTAR GAS	800-592-2000
COMCAST - REMBROKE	800-934-6499
VERIZON	800-922-0204
ON TARGET LOCATING	508-429-1022

(AKA ROUTE 6)  
PUBLIC - VARIABLE WIDTH  
(ASPHALT ROADWAY)  
TWO WAY TRAFFIC

SEE SHEET 2 OF 2 FOR NOTES, REFERENCES, EXHIBIT A, & SURVEYOR'S DESCRIPTION

GRAPHIC SCALE  
30 0 15 30 60 120  
(IN FEET)  
1 inch = 30 ft.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 8, 9, 11, 13 & 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON DECEMBER 22, 2017.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

GERRY L. HOLDRIGHT, PLS  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE: 11-22-17  
12-22-17

FIELD BOOK NO.: 17-14MA

FIELD BOOK PG.: 81-92

FIELD CREW: A.S., B.S.B.

DRAWN: PRIMA

REVIEWED: S.P.P.

APPROVED: G.L.H.

DATE: 3-15-18

SCALE: 1"=30'

FILE NO.: 03-170358

DWG. NO.: 1 OF 2

ALTA/NSPS LAND TITLE SURVEY  
**CARPIONATO GROUP, LLC**  
151 HUTTLESTON AVENUE & 9 CROSS STREET  
LOT 132, MAP 25 & LOTS 60A, 60B, 8, 61, MAP 26  
TOWN OF FAIRHAVEN, BRISTOL COUNTY  
COMMONWEALTH OF MASSACHUSETTS

**CONTROL POINT ASSOCIATES, INC.**  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
508.948.3000 - 508.948.3003 FAX

ALBANY, NY 518217910  
CHALFONT, PA 2157129800  
MANHATTAN, NY 946780111  
MT LAUREL, NJ 6098572099  
WARREN, NJ 9086680099

NOTES:

- 1. PROPERTY KNOWN AS LOTS 60A, 61 & 132 AS SHOWN ON THE TOWN OF FAIRHAVEN, BRISTOL COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 28.
2. MAP 25, LOT 132 AREA = 81,487 SQUARE FEET OR 1.871 ACRES
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY...

SCHEDULE A - LEGAL DESCRIPTION:

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:

PARCEL ONE: (REGISTERED LAND)

THAT PARCEL OF LAND SITUATED IN FAIRHAVEN, IN THE COUNTY OF BRISTOL AND THE COMMONWEALTH OF MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:
SOUTHERLY BY SPRING STREET, NINETY SEVEN AND 59/100 (97.59) FEET.
WESTERLY BY LAND NOW OR FORMERLY OF JOSEPH VICTORINI, TWO HUNDRED TWENTY AND 13/100 (220.13) FEET.

SAID LAND IS SHOWN AS LOT B-3 ON SUBDIVISION PLAN 62558, DRAWN BY A.B. APPLETON, OFFICE ENGINEER FOR DEPARTMENT OF PUBLIC WORKS, DATED DEC. 14, 1934, AND FILED IN THE LAND REGISTRATION OFFICE AT BOSTON, A COPY OF WHICH IS FILED IN BRISTOL COUNTY (S.D.) REGISTRY OF DEEDS, IN LAND REGISTRATION BOOK 11 AT PAGE 471, WITH CERTIFICATE OF TITLE NO. 2554.

PARCEL TWO: (RECORDED LAND)

BEGINNING AT THE NORTHEAST CORNER THEREOF, AT A POINT IN THE SOUTHWEST LINE OF THE STATE HIGHWAY ALSO KNOWN AS HUTTLESTON AVENUE, THE SAME BEING THE NORTHWEST CORNER OF LOT NO. B-3 ON SUBDIVISION PLAN 62558 DRAWN BY A.B. APPLETON, OFFICE ENGINEER FOR THE DEPARTMENT OF PUBLIC WORKS, DATED DECEMBER 14, 1934, A COPY OF WHICH IS FILED WITH THE BRISTOL COUNTY (S.D.) REGISTRY OF DEEDS IN LAND REGISTRATION BOOK 11 AT PAGE 471, WITH CERTIFICATE OF TITLE NO. 2554;

THENCE NORTHWESTERLY IN SAID LINE OF HUTTLESTON AVENUE, FIVE HUNDRED SIXTY SEVEN AND 32/100 (567.32) FEET, MORE OR LESS, TO LAND NOW OR FORMERLY OF ANTONE H. GRACIA;
THENCE WESTERLY BY LAST NAMED LAND, ABOUT FIFTY AND 98/100 (50.98) FEET TO OTHER LAND NOW OR FORMERLY OF SAID GRACIA;

FOR TITLE SEE DEEDS TO GRANOR FROM LOGAN R. JASON, ET UX, AND FROM LORETTA C. YOUNG, ET AL, DATED RESPECTIVELY SEPTEMBER 6, 1957 AND NOVEMBER 1, 1957 RECORDED IN SAID REGISTRY OF DEEDS, BOOK 1228 AT PAGE 82 AND IN BOOK 1233 AT PAGE 368, RESPECTIVELY.

PARCEL THREE: (RECORDED LAND)

THE LAND IN FAIRHAVEN, BRISTOL COUNTY, COMMONWEALTH OF MASSACHUSETTS, KNOWN AS 9 CROSS STREET AND LOCATED IN THE REAR OF 140 SPRING STREET, FAIRHAVEN, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A DRILL HOLE AT THE SOUTHEAST CORNER OF THE PREMISES HEREIN CONVEYED AND THE NORTHWEST CORNER OF LOT NO. 2 (TWO) ON PLAN OF LAND HERINAFTER MENTIONED;

THENCE NORTH 18°32'28" WEST, A DISTANCE OF 235.97 FEET TO A POINT AT LAND NOW OR FORMERLY OF EDWARD GRACIA;

THENCE NORTH 66°57'58" EAST ALONG LAND NOW OR FORMERLY OF EDWARD GRACIA AND JAMES R. AND ELEANOR GUERRA AND THE SOUTHERLY BOUNDARY OF CROSS STREET, A DISTANCE OF 196.35 FEET TO A CONCRETE BOUND;

THENCE NORTH 5°22'21" WEST ALONG THE EASTERLY LINE OF SAID CROSS STREET, A DISTANCE OF 95.18 FEET TO LAND NOW OR FORMERLY OF MANUEL SOUZA;

THENCE NORTH 84°37'39" EAST ALONG THE SOUTHERLY LINE OF SOUZA LAND, A DISTANCE OF 85.51 FEET TO A DRILL HOLE;

THENCE NORTH 11°54'22" WEST, A DISTANCE OF 32.32 FEET TO A STAKE ALONG THE SOUTHERLY LINE OF HUTTLESTON AVENUE;

THENCE SOUTH 43°47'21" EAST IN SAID SOUTHERLY LINE OF HUTTLESTON AVENUE, A DISTANCE OF 94.00 FEET;

THENCE SOUTH 57°40'05" WEST ALONG OTHER LAND OF THE GRANTEE, A DISTANCE OF 52.98 FEET TO A POINT;

THENCE SOUTH 11°54'22" EAST ALONG THE WESTERLY LINE OF OTHER LAND OF THIS GRANTEE, A DISTANCE OF 289.88 FEET TO A CONCRETE BOUND, WHICH SAID POINT IS THE NORTHEASTERLY CORNER OF PARCEL NO. 3 (THREE) AS SHOWN ON SAID PLAN;

THENCE SOUTH 81°10'47" WEST, A DISTANCE OF 76.00 FEET TO A CONCRETE BOUND; AND

THENCE SOUTH 76°22'54" WEST ALONG THE NORTHERLY LINE OF LOT NO. 2 (TWO) AS SHOWN ON SAID PLAN, A DISTANCE OF 185.37 FEET TO THE POINT OF BEGINNING.

BEING SHOWN AS LOT NO. 1 (ONE) ON SUBDIVISION PLAN OF LAND IN FAIRHAVEN, MASS., BELONGING TO HILDA GRACIA SCALE: 1" = 50' AUGUST 4, 1981, GERALD M. FITZGERALD, REGISTERED LAND SURVEYOR, AND RECORDED IN BRISTOL COUNTY (S.D.) REGISTRY OF DEEDS IN PLAN BOOK 106 AT PAGE 5.

REFERENCES:

- 1. THE TAX ASSESSOR'S MAP OF FAIRHAVEN, BRISTOL COUNTY, MASSACHUSETTS, SHEET #28.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 394 OF 550," MAP NUMBER 2500S0394G, MAP REVISED JULY 16, 2014.
3. MAP ENTITLED "SUBDIVISION PLAN OF LAND IN FAIRHAVEN, MASS. BELONGING TO HILDA GRACIA" DATED AUGUST 4, 1981, RECORDED WITH THE BRISTOL COUNTY SOUTH REGISTRY OF DEEDS IN PLAN BOOK 106 PAGE 5.

SURVEYOR'S METES AND BOUNDS DESCRIPTION
MAP 25, LOT 132 & MAP 25, LOTS 60, 60A, 60B, & 61
TOWN OF FAIRHAVEN, BRISTOL COUNTY, MASSACHUSETTS

BEGINNING AT A POINT ON THE NORTHERLY LINE OF SPRING STREET (PUBLIC-VARIABLE WIDTH), AND FROM SAID POINT OF BEGINNING RUNNING THENCE, THE FOLLOWING FIVE (5) COURSES ALONG SPRING STREET:

- 1. NORTH 78 DEGREES - 35 MINUTES - 00 SECONDS WEST, A DISTANCE OF 83.66 FEET, THENCE;
2. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 01 DEGREE - 35 MINUTES - 47 SECONDS, AN ARC LENGTH OF 13.93 FEET, A CHORD BEARING OF NORTH 77 DEGREES - 47 MINUTES - 07 SECONDS WEST, AND A CHORD DISTANCE OF 13.93 FEET, THENCE;
3. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 17 DEGREES - 42 MINUTES - 13 SECONDS, AN ARC LENGTH OF 154.49 FEET, A CHORD BEARING OF NORTH 68 DEGREES - 08 MINUTES - 07 SECONDS WEST, AND A CHORD DISTANCE OF 153.88 FEET, THENCE;

CONTAINING 218,129 SQUARE FEET OR 5.008 ACRES

UTILITIES:

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Table with columns: UTILITY COMPANY, PHONE NUMBER. Includes AT&T TRANSMISSION, NSTAR ELECTRIC, COMCAST, VERIZON, ON TARGET LOCATING.



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

THIS SURVEY IS CERTIFIED TO:
CARPIONATO GROUP, LLC
FIRST AMERICAN TITLE INSURANCE COMPANY
SAVINGS INSTITUTE BANK AND TRUST COMPANY
CGMA SEEKONK L.C., A MASSACHUSETTS LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2015 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 8, 9, 11, 13 & 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON DECEMBER 22, 2017.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

ALTA/NSPS LAND TITLE SURVEY
CARPIONATO GROUP, LLC
151 HUTTLESTON AVENUE & 9 CROSS STREET
LOT 132, MAP 25 & LOTS 60, 60A, 60, & 61, MAP 26
TOWN OF FAIRHAVEN, BRISTOL COUNTY
COMMONWEALTH OF MASSACHUSETTS
CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX

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