



September 25, 2019

Whitney McClees Conservation Agent and Sustainability Coordinator Fairhaven Town Hall 40 Center Street Fairhaven, MA 02719

RE: Updated Plans and Information
Notice of Intent Submittal
46 Charity Stevens Lane Solar Project
46 Charity Stevens Lane, Fairhaven, MA 02719 (Map 40, Lot 8)
DEP File No. SE 023-1307

Dear Conservation Commission:

Enclosed, please find updated plans and documents relative to the above listed Notice of Intent filing for the 46 Charity Stevens Lane Solar Project on behalf of Fairhaven MA 4, LLC. We have provided copies of the following items for the Conservation Commission:

- 1. Eight (8) full size copies of Site Development Plans prepared by Atlantic Design Engineers revised dated 9/24/19;
- 2. One (1) 11 X 17 set of plans revised dated 9/24/19;
- 3. (1) Copy Revised Recharge Volume Calculations dated 9/24/19;
- 4. (1) Copy Revised Long-Term Stormwater Operation and Maintenance Plan dated 9/24/19;
- 5. (1) Memory Stick of this Entire Submittal.

These items address comments received from GCC Associates (erosion barrier at southeast corner of site, revised recharge volume calculations/stone trench, and revised Long-Term Stormwater Operation and Maintenance Plan) and the Conservation Commission (clarification of erosion control barrier placement outside of the fence, native seed mix, addition of erosion control barrier around the isolated ponds, incorporation of a 25' no disturb zone, and elimination of the shading easement tree copicing.)

If you have any questions or require further information, please don't hesitate to contact me at (508) 888-9282.

Sincerely,

ATLANTIC DESIGN ENGINEERS, INC

Richard J. Tabaczynski, P.E.

Vice President

cc: DEP-SERO

GCC Associates, Inc.

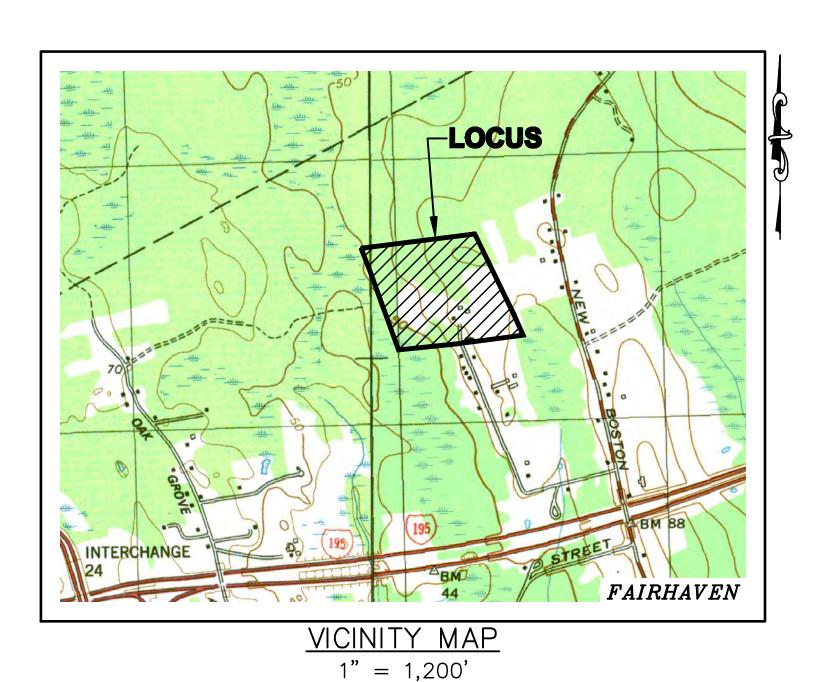
SITE DEVELOPMENT PLANS

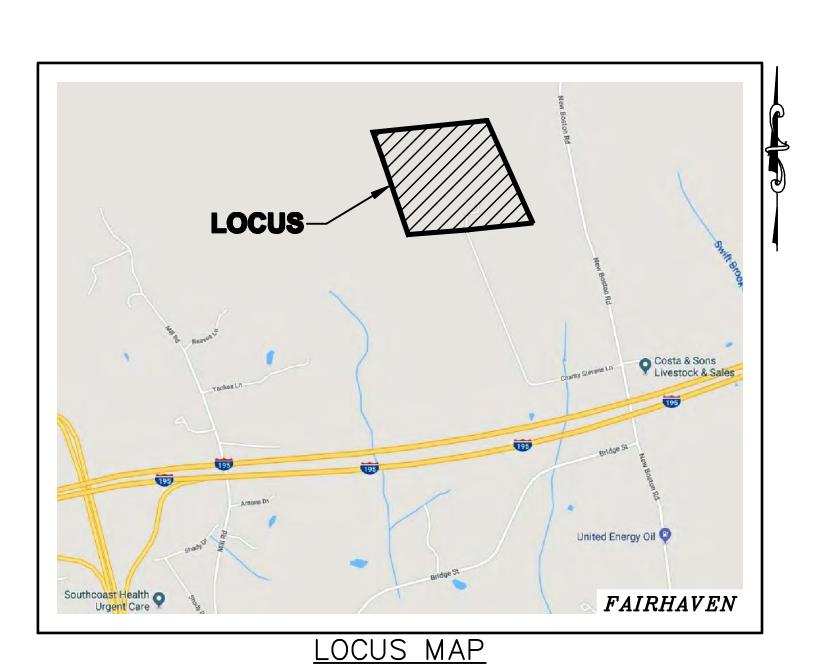
FOR

46 CHARITY STEVENS LANE SOLAR PROJECT

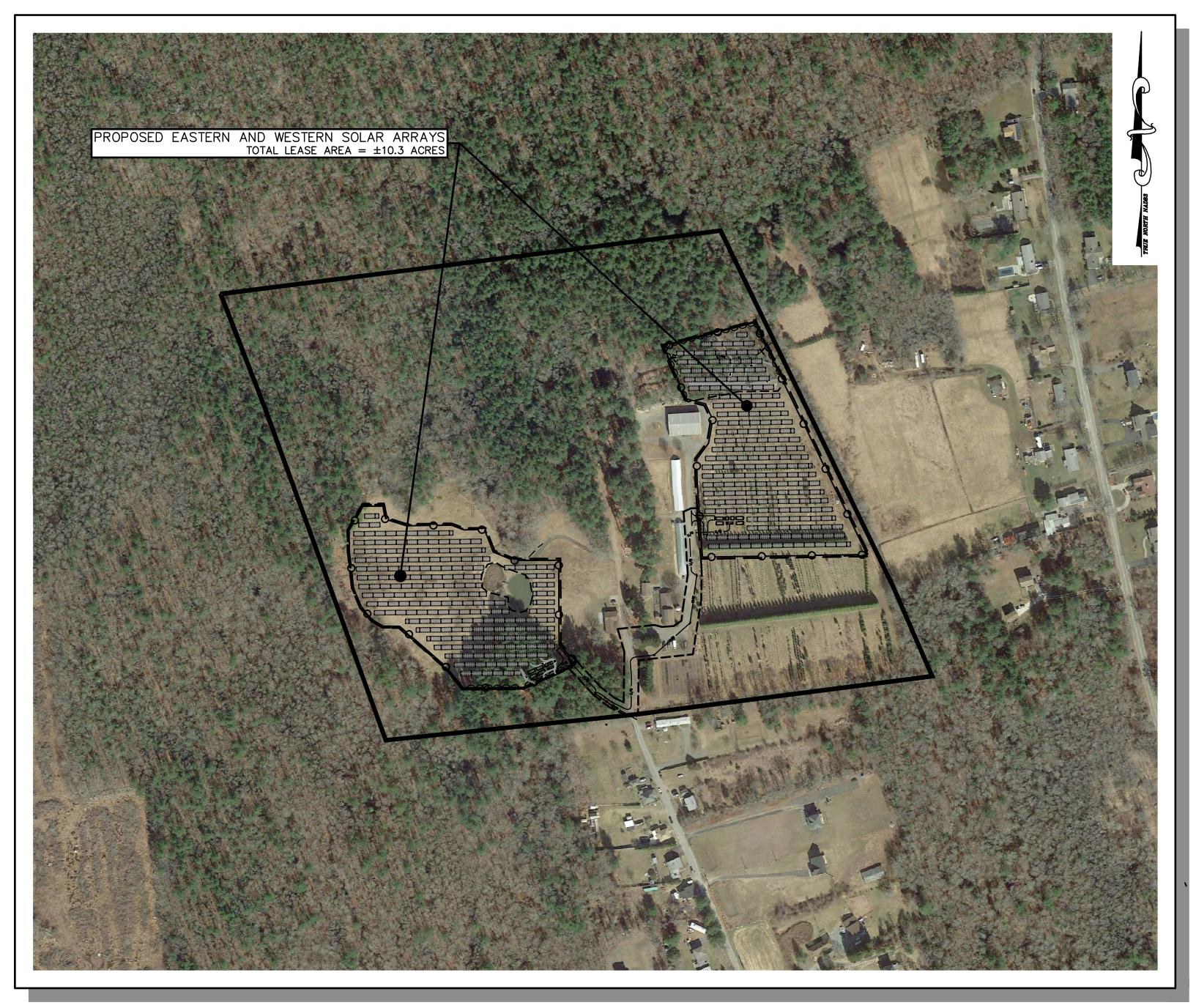
FAIRHAVEN, MASSACHUSETTS

DATE: AUGUST 23, 2019 REVISED: SEPTEMBER 11, 2019 REVISED: SEPTEMBER 24, 2019





1" = 1,200'



NOTE:

"THE CONTRACTOR SHALL GIVE SEVEN (7) DAYS'
NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE
COMMENCING WORK IN THE FIELD"

SHEET NO.	TITLE	SCALE
1 2 3 4 5 6	COVER SHEET OVERALL EXISTING CONDITIONS PLAN OVERALL SITE DEVELOPMENT PLAN SITE DEVELOPMENT PLAN SITE DEVELOPMENT PLAN DETAILS PLAN	1" = 200' 1" = 80' 1" = 80' 1" = 40' 1" = 40' N.T.S.

<u>OWNER:</u>

HASKELL FAMILY REVOCABLE TRUST 46 CHARITY STEVENS LANE FAIRHAVEN, MASSACHUSETTS 02719

APPLICANT:

FAIRHAVEN MA 4, LLC C/O CLEAN ENERGY COLLECTIVE, LLC 27 B MIDSTATE DR., SUITE 106 AUBURN, MASSACHUSETTS 01501

ENGINEER:





FILE: 3119.01-SITE-R2

Sheet of

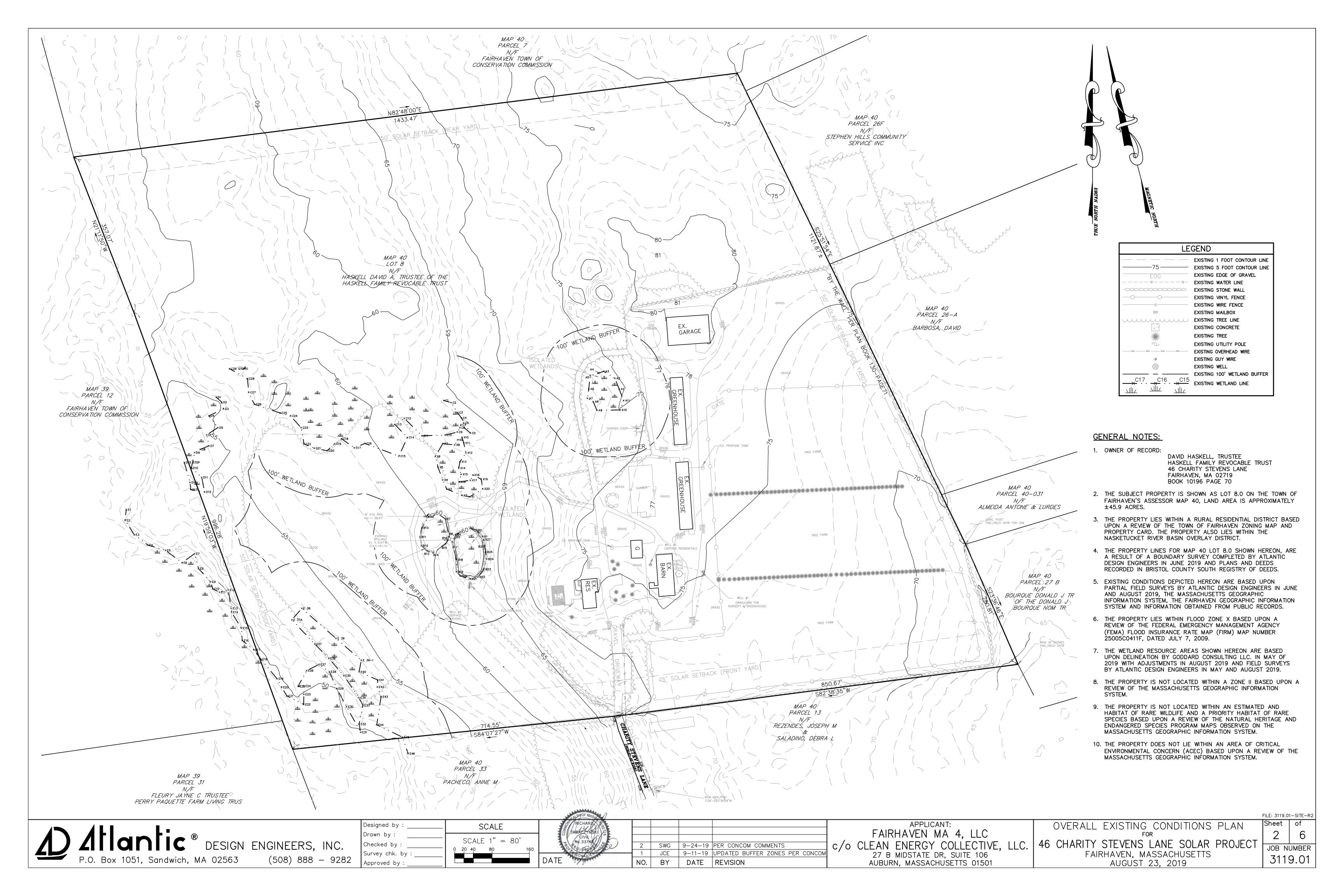
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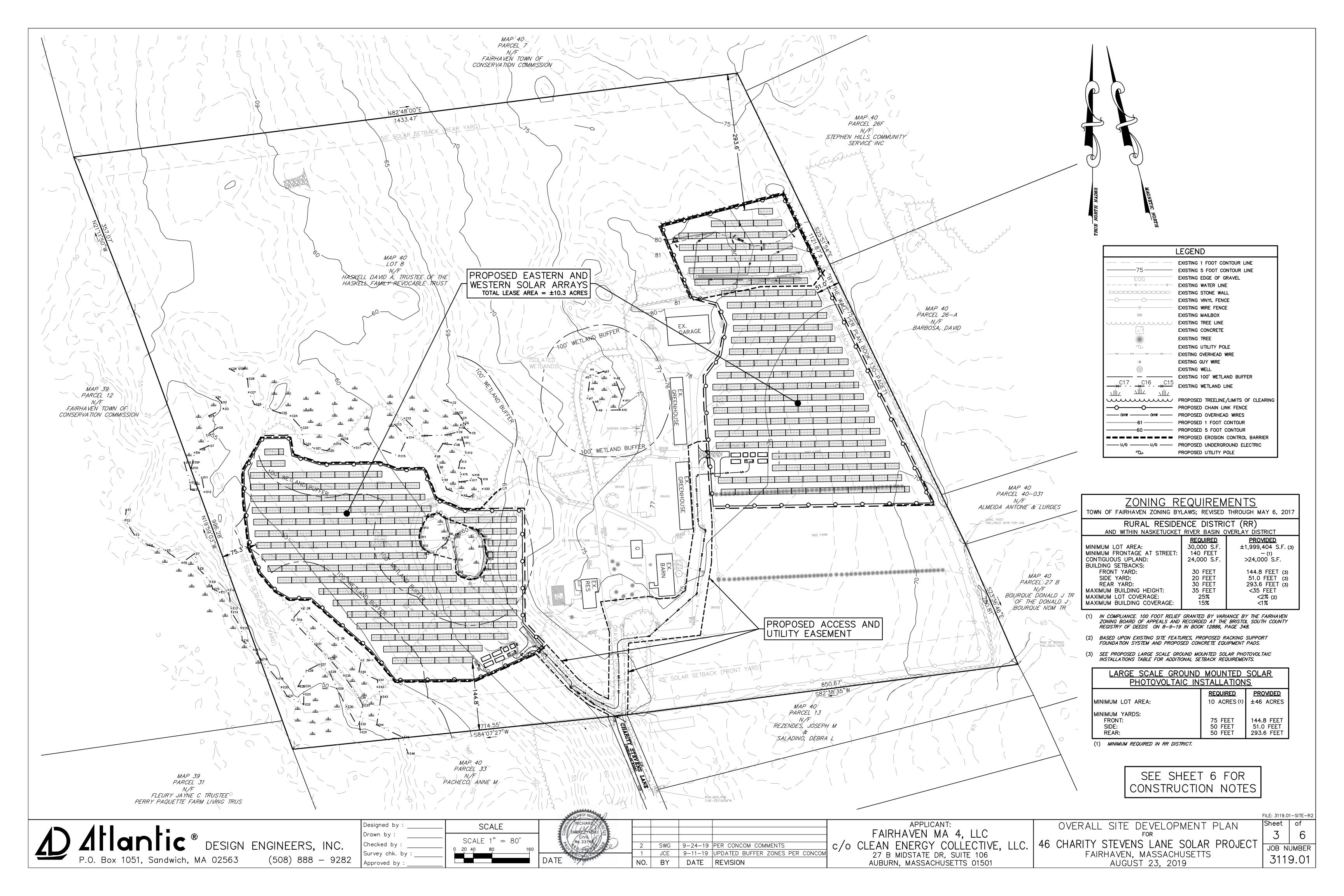
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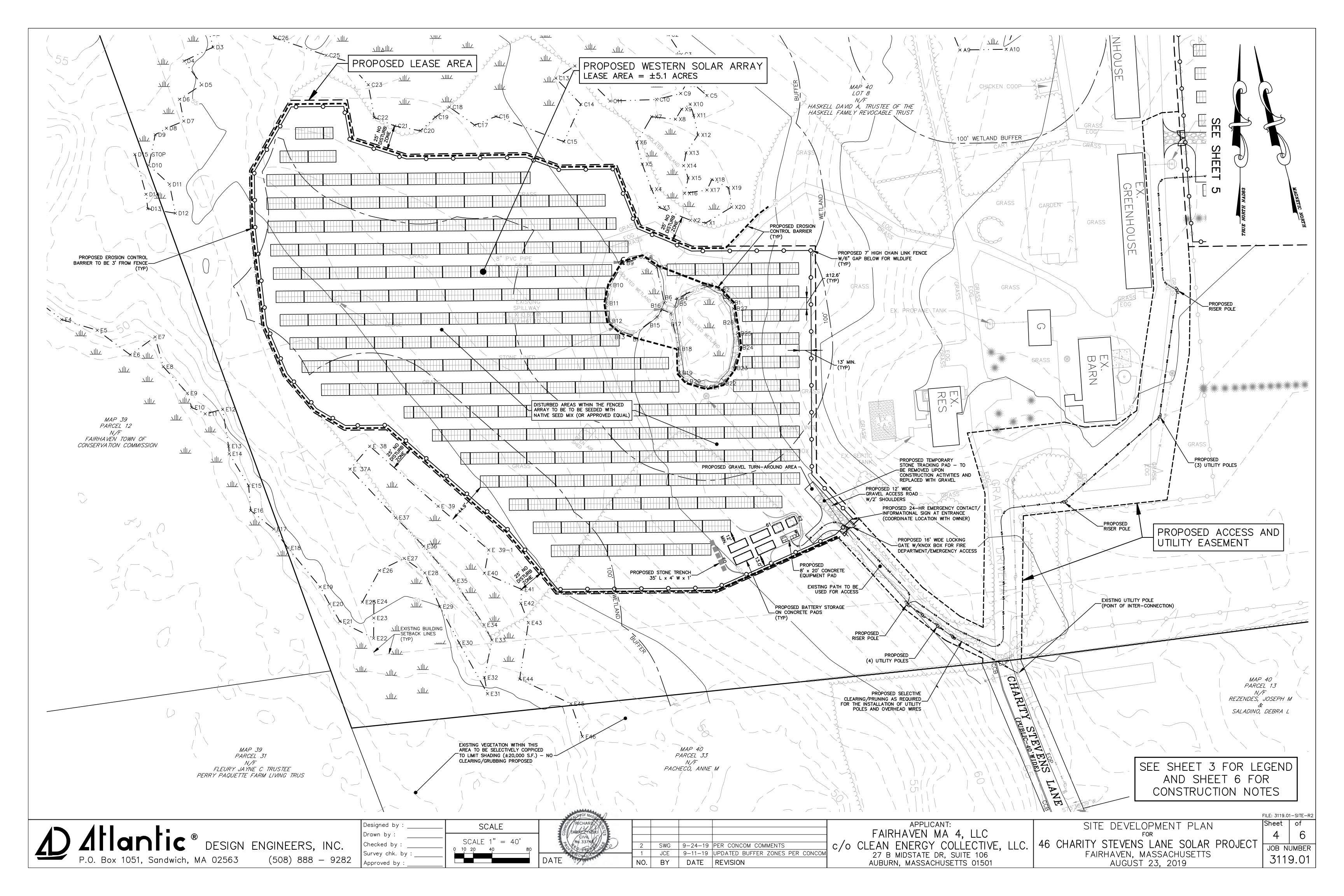
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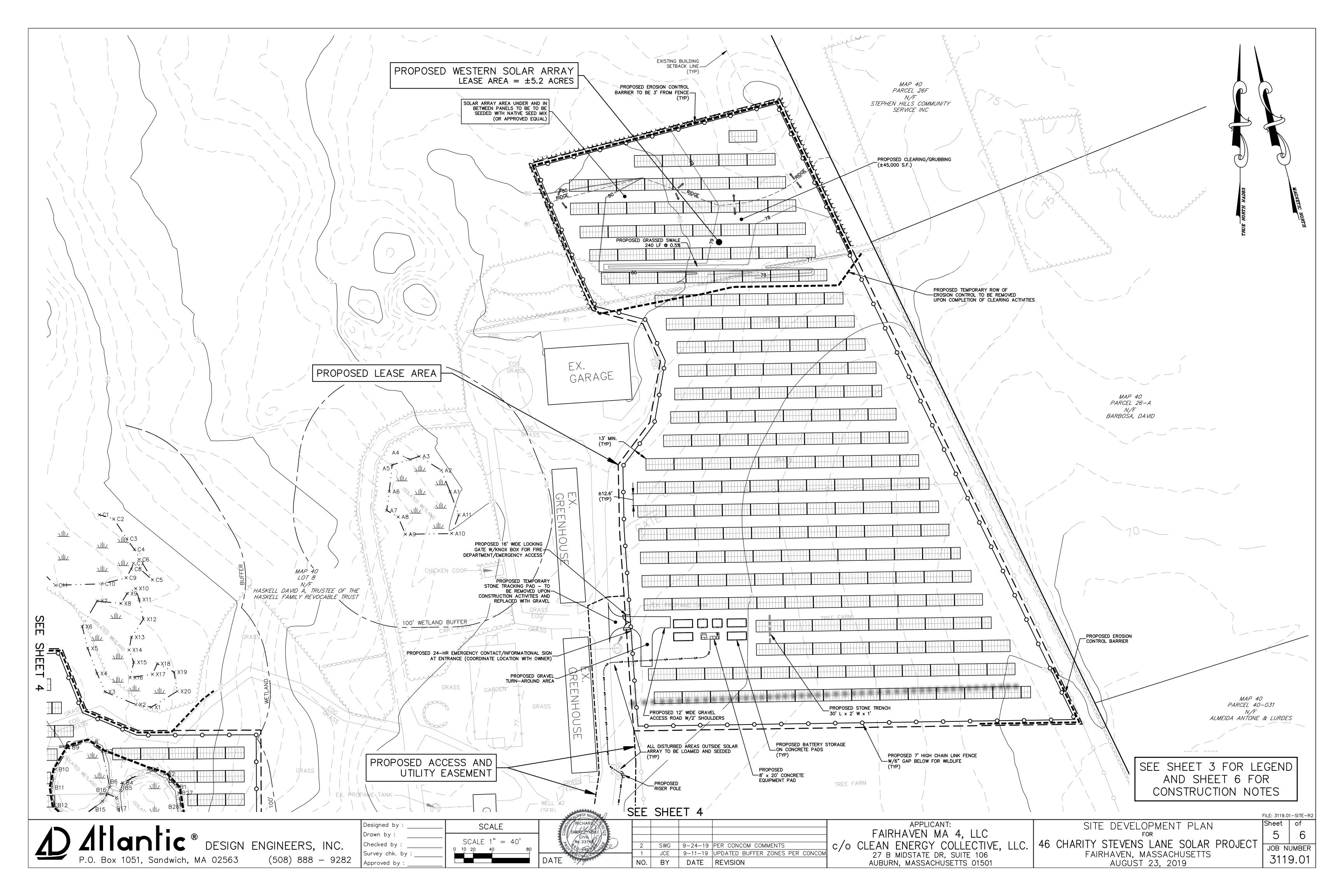
OVERALL LOCATION PLAN

SCALE: 1" = 200'









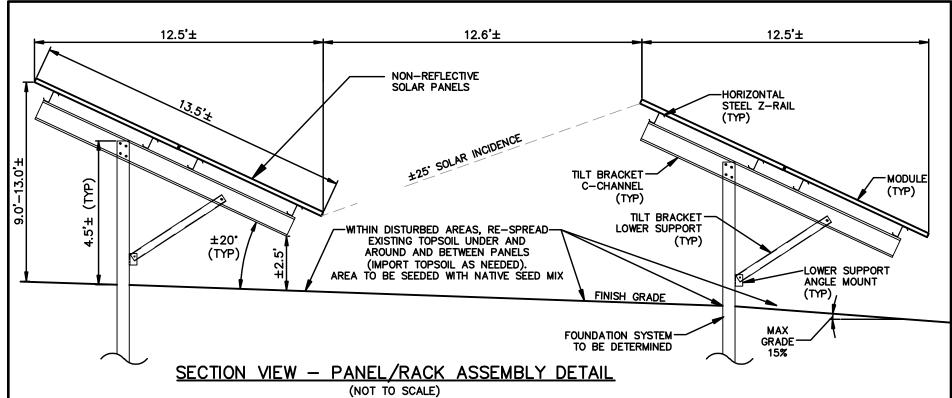


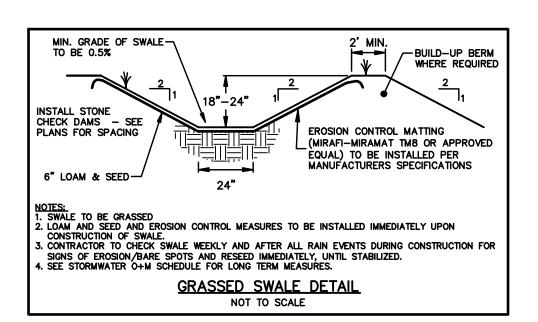
46 Charity Stevens Lane Fairhaven, MA 02719

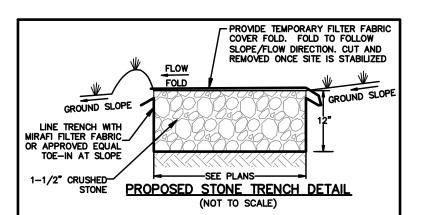
24-Hour Emergency Contact #: 844-232-7253

CleanEnergyCo.com

NOTE — SIGNAGE TO CONFORM TO LOCAL SIGNAGE REQUIREMENTS. FINAL SIGN DESIGN TO BE SUBMITTED AS PART OF BUILDING PERMIT APPLICATION PACKAGE. TYPICAL SITE INFORMATION / 24-HR EMERGENCY CONTACT SIGN







SEDIMENT AND EROSION CONTROL NOTES:

- PRIOR TO COMMENCING SITE WORK OR EARTHWORK OPERATIONS, INSTALL SEDIMENT CONTROL BARRIERS AND MAINTAIN THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- ALL MATERIALS AND STOCKPILES SHALL BE STORED ON LEVEL AREAS OUTSIDE OF ANY FLOOD ZONES, WETLANDS OR BUFFER ZONE AREAS. ALL STOCKPILES SHALL BE SURROUNDED BY SILT SOCK, SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND SHALL BE SEEDED OR STABILIZED IF
- SEDIMENTATION CONTROL DEVICES AND EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND MAINTAINED AS NECESSARY
 THROUGHOUT ALL PHASES OF CONSTRUCTION AND PROMPTLY AFTER EACH
- 5. ANY SLOPE STEEPER THAN 3:1 SHALL BE EQUIPPED WITH SLOPE STABILIZATION FABRIC OR EROSION CONTROL MATTING.
- 6. ADDITIONAL SEDIMENT CONTROL MEASURES SHALL BE INSTITUTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER AND/OR THE
- THE CONTRACTOR MUST REPAIR OR RE-SEED ANY AREAS THAT DO NOT DEVELOP WITHIN A PERIOD OF ONE YEAR AT NO ADDITIONAL EXPENSE TO
- 8. MATERIAL STOCKPILES SHALL NOT BE LOCATED WITHIN THE PATH OF EXISTING OR PROPOSED WATERCOURSES (BOTH TEMPORARY OR
- PERMANENT) OR THOSE AREAS SUBJECT TO STORM WATER FLOW. SEDIMENT CONTROL DEVICES AND SEDIMENT CONTROL BARRIERS MAY BE REMOVED ONLY AFTER THE SITE HAS BEEN STABILIZED AND APPROVED BY THE CONSERVATION COMMISSION
- 10. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION, WHICH REMAIN DISTURBED BUT INACTIVE FOR AT LEAST 14 DAYS, SHALL RECEIVE TEMPORARY SEEDING IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES. IN ALL CASES, STABILIZATION MEASURES SHALL BE IMPLEMENTED AS SOON AS POSSIBLE IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.
- 1. EARTHWORK ACTIVITY ON THE SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED AWAY FROM ABUTTING STRUCTURES,
- 12. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL SILT SOCK AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEERS, CONSERVATION COMMISSION, OR THE BOARD TO MITIGATE ANY EMERGENCY CONTROL.
- 13. REFER TO CONSTRUCTION DETAILS FOR ADDITIONAL EROSION CONTROL
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITING, RELOCATION AND AUGMENTATION OF SEDIMENT AND EROSION CONTROL DEVICES AS THE PROJECT PROGRESSES AND THE SITE DRAINAGE CONDITIONS CHANGE.
- 15. THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED SOIL. EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED
- 16. ANY DISTURBED SOILS NOT PERMANENTLY STABILIZED PRIOR TO OCTOBER 15 OF ANY YEAR SHALL BE TEMPORARILY STABILIZED TO PREVENT EROSION UNTIL ACTIVE USE RESUMES..

CONSTRUCTION PERIOD STORMWATER OPERATION AND MAINTENANCE:

PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE. THE ENTRANCE PAD SHOULD BE INSPECTED WEEKLY AT

A MINIMUM, AFTER MAJOR STORM EVENTS (2" OR GREATER) AND DURING PERIODS OF HEAVY USE. WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS II THE GRAVEL, THE PAD SHOULD BE TOP DRESSED WITH NEW STONE OR REPLACED COMPLETELY. WHERE SEDIMENT HAS BEEN TRACKED—OUT FROM

YOUR SITE ONTO PAVED ROADS, SIDEWALKS, OR OTHER PAVED AREAS OUTSIDE OF YOUR SITE, REMOVE THE DEPOSITED SEDIMENT BY THE END OF

OF THE NEXT BUSINESS DAY IF TRACK-OUT OCCURS ON A NON-BUSINESS.

TRACKED-OUT SEDIMENT INTO ANY STORMWATER CONVEYANCE, STORM DRAIN

LEAST DAILY DURING PROLONGED RAINFALL. AFTER CONSTRUCTION, INSPECT AT

MONTHS TO ENSURE THAT THE VEGETATION IN THE CHANNELS IS ESTABLISHED

ADEQUATELY. ACCUMULATED SEDIMENT SHALL BE REMOVED AT LEAST ONCE A

DAY. REMOVE THE TRACK-OUT BY SWEEPING, SHOVELING, OR VACUUMING

THESE SURFACES, OR BY USING OTHER SIMILARLY EFFECTIVE MEANS OF

DURING CONSTRUCTION GRASSED LINED SWALES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RUN-OFF PRODUCING RAINFALL EVENT AND AT

A MINIMUM OF TWICE A YEAR, OR AFTER MAJOR STORM EVENTS (2* OR

ADDITIONAL INSPECTIONS SHOULD BE SCHEDULED DURING THE FIRST FEW

YEAR OR BEFORE IT EXCEEDS 0.5' IN DEPTH, WHICHEVER OCCURS FIRST. SWALES SHALL BE MOWED AS NEEDED. CLIPPINGS TO BE REMOVED FROM SWALES, AREAS IMMEDIATELY UP-GRADIENT AND PROPERLY DISPOSED OF.

INSPECT AFTER EVERY MAJOR STORM EVENT (2" OR GREATER) DURING CONSTRUCTION. ONCE SITE IS STABILIZED AND RE-VEGETATED, CUT

AWAY/REMOVE TEMPORARY COVER FOLD AND INSPECT AND FOR THE FIRST

FEW MONTHS AFTER CONSTRUCTION TO ENSURE PROPER STABILIZATION AND FUNCTION, THEREAFTER INSPECT AT LEAST TWICE PER YEAR DURING WET

AFTER CONSTRUCTION. ONCE CONSTRUCTION IS COMPLETED CHECK FOR ACCUMULATION OF SEDIMENT, DEBRIS AND LEAF LITTER TWICE A YEAR THEREAFTER.

WEATHER TO ENSURE THE SYSTEM IS WORKING PROPERLY. REMOVE SEDIMENT AS NECESSARY DURING CONSTRUCTION, AND AT LEAST EVERY FIVE YEARS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSPECTION AND

2. UPON COMPLETION OF CONSTRUCTION, THE OPERATION AND MAINTENANCE OF

FAIRHAVEN MA 4, LLC

3. DISPOSAL OF ACCUMULATED SEDIMENT AND HYDROCARBONS TO BE IN

MAINTENANCE SHALL BE PROPERLY DISPOSED OF OFF SITE.

4. THERE SHALL BE NO ILLICIT DISCHARGE OF ANY WASTE OR WASTE WATER

RESPONSIBILITY OF THE SYSTEM OWNER:

ALL COMPONENTS OF THE STORMWATER MANAGEMENT SYSTEM WILL BE THE

AUBURN, MASSACHUSETTS 01501

c/o CLEAN ENERGY COLLECTIVE, LLC. 27 B MIDSTATE DR, SUITE 106

ALL COMPONENTS OF THE STORMWATER MANAGEMENT SYSTEM AT THE COMPLETION OF CONSTRUCTION, IMMEDIATELY PRIOR TO TURNING OVER OPERATION AND MAINTENANCE RESPONSIBILITY TO THE PROJECT PROPONENT.

GREATER). REPAIR ERODED SPOTS IMMEDIATELY AFTER INSPECTION.

THE SAME BUSINESS DAY IN WHICH THE TRACK-OUT OCCURS OR BY THE END

SCHEDULE:

SEDIMENT CONTROL BARRIERS:

INLET, OR WATER OF THE U.S.*)

GRASSED SWALE:

I. THE PROPERTY LINES FOR MAP 40 LOT 8.0 SHOWN HEREON, ARE A RESULT OF A BOUNDARY SURVEY COMPLETED BY ATLANTIC DESIGN

CONSTRUCTION NOTES:

ENGINEERS IN JUNE 2019 AND PLANS AND DEEDS RECORDED IN BRISTOL SEDIMENT CONTROL BARRIERS (SILT SOCK, ETC.) SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RUN-OFF PRODUCING RAINFALL EVENT AND AT

EXISTING CONDITIONS DEPICTED HEREON ARE BASED UPON A PARTIAL FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS IN JUNE 2019, THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM, THE FAIRHAVEN GEOGRAPHIC INFORMATION SYSTEM AND INFORMATION OBTAINED FROM LEAST DAILY DURING PROLONGED RAINFALL. SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE—HALF THE HEIGHT OF THE BARRIER. SEDIMENT SHOULD BE DISPOSED OF IN A SUITABLE AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURAL PUBLIC RECORDS.

3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MAY BE FOUND IN THE PLAN. STONE TRACKING PAD:
THE CONSTRUCTION ENTRANCE TRACKING PADS SHOULD BE MAINTAINED IN A
CONDITION THAT WILL PREVENT TRACKING OR FLOW OF SEDIMENT ONTO THE

CONTRACTOR SHALL VERIFY ALL CRITICAL ELEVATIONS AND INVERTS PRIOR TO CONSTRUCTION.

WHERE AN EXISTING PUBLIC UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED AND THE INFORMATION FURNISHED TO

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT

THE UTILITY COMPANY AND OWNER FOR RESOLUTION OF THE CONFLICT.

7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIGSAFE, THE TOWN OF FAIRHAVEN DEPARTMENT OF PUBLIC WORKS AND ALL UTILITY COMPANIES A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION ACTIVITIES FOR LOCATION OF ALL UNDERGROUND UTILITIES AND UTILITY

8. ALL BUILDINGS, SURFACE, AND SUBSURFACE IMPROVEMENTS ON AREAS ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN HEREON.

9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND RIM AND INVERTS BEFORE COMMENCING WORK. AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND

10. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES WITH THE UTILITY COMPANY, IF NECESSARY. IF ANY INTERRUPTIONS IN SERVICE ARE NECESSARY TO ABUTTING PROPERTY OWNERS, A MINIMUM OF 48 HOURS NOTICE SHALL BE GIVEN.

11. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND MASSACHUSETTS HIGHWAY DEPARTMENT REQUIREMENTS FOR ALL WORK WITHIN PUBLIC STREETS.

12. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE RESTORED BY THE CONTRACTOR TO MAINTENANCE OF ALL STORMWATER AND EROSION CONTROL FACILITIES UNTIL THE PROJECT CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL CLEAN THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

13. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY COMPANIES ARE COMPLETED PRIOR TO INSTALLATION, BACKFILLING, ANNOUNCED BUILDING POSSESSION, AND THE FINAL CONNECTION OF

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SURVEY CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE PROPOSED

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE RECORDS OF THE LOCATION AND ELEVATION OF ALL WORK INSTALLED.

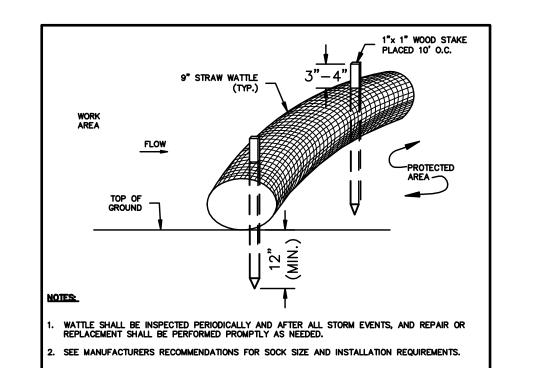
THE SYSTEM OWNER SHALL COMPLY WITH THE POST CONSTRUCTION LONG TERM STORMWATER OPERATION AND MAINTENANCE PLAN APPROVED FOR THIS PROJECT. 16. THE CONTRACTOR SHALL INSTITUTE AND MAINTAIN ALL SAFETY MEASURES NECESSARY TO PROTECT THE PUBLIC DURING CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO BARRICADES, SIGNS, FENCES, FLAGGERS, LIGHTING, POLICE DETAIL, AND ANY OTHER MEANS AS DIRECTED BY THE TOWN. NO ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS. TRENCHES ARE TO REMAIN OPEN OVERNIGHT.

17. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIAL AND OTHER DEBRIS RESULTING FROM THE WORK. AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL INTO THE STORMWATER MANAGEMENT SYSTEM. THE MAINTENANCE OF THE FACILITY SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT ANY DISCHARGE OF WASTE OR WASTE WATER INTO STORMWATER MANAGEMENT SYSTEM. ANY WASTE OIL OR OTHER WASTE PRODUCTS GENERATED DURING REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERIMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED FROM THE SITE.

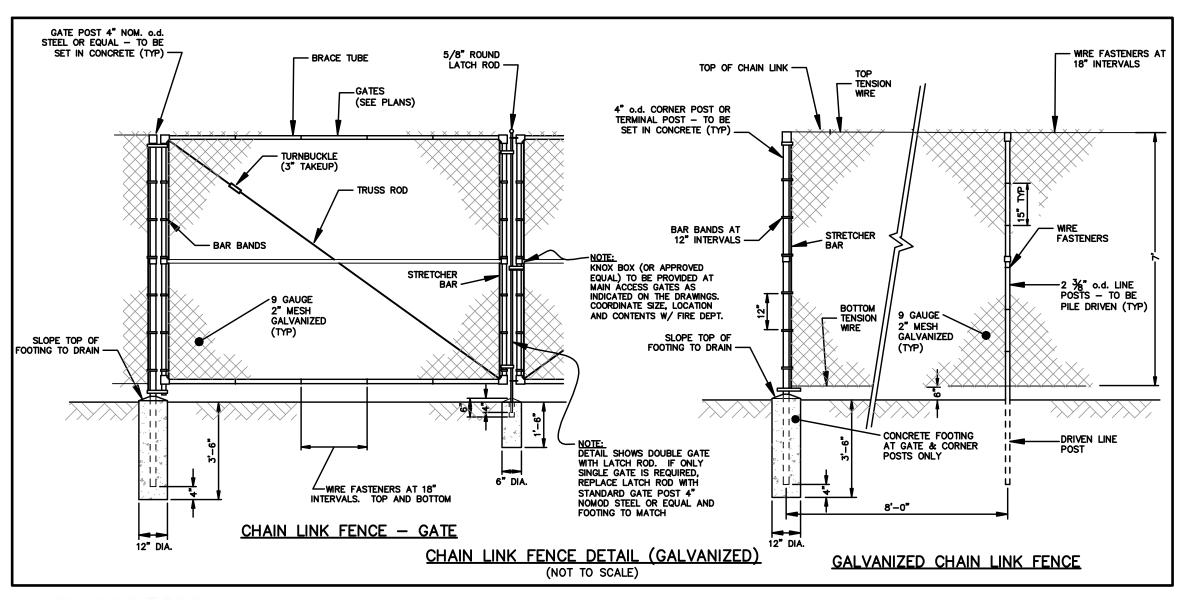
> 18. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPROVED PERMITS AND WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES AND REGULATIONS.

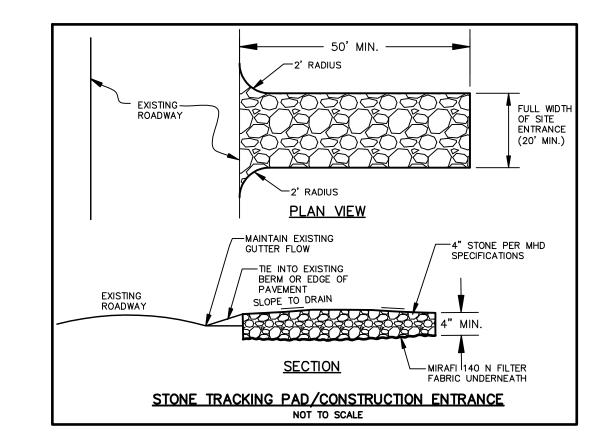
19. CONTRACTOR TO DESIGNATE A SPECIFIC AREA FOR COMBUSTIBLE MATERIALS, APPROVED BY THE FIRE DEPARTMENT, SO THAT COMBUSTIBLES ARE NOT SPREAD THROUGHOUT THE CONSTRUCTION SITE.

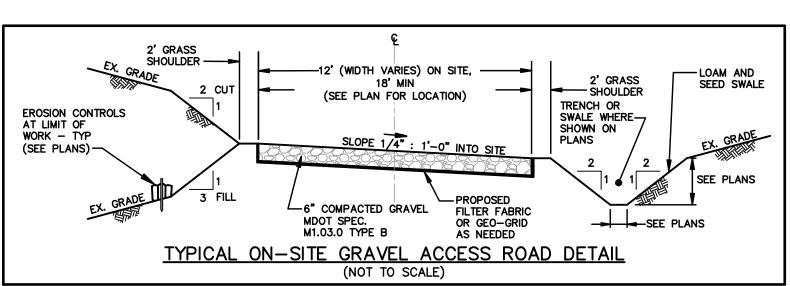
STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR CONSTRUCTION ACTIVITIES FOR THIS PROJECT.



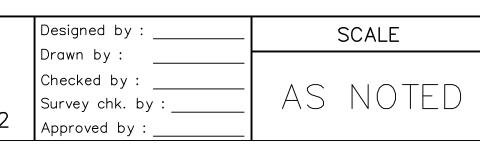
STRAW WATTLE — EROSION CONTROL DETAIL (NOT TO SCALE)

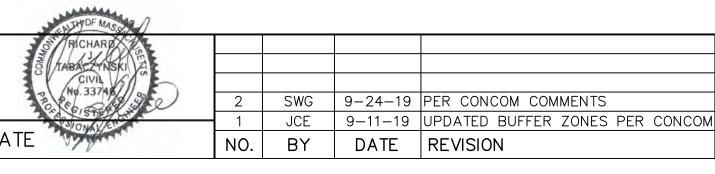












APPLICANT: FAIRHAVEN MA 4, LLC c/o CLEAN ENERGY COLLECTIVE, LLC. 27 B MIDSTATE DR, SUITE 106 AUBURN, MASSACHUSETTS 01501

DETAILS PLAN 46 CHARITY STEVENS LANE SOLAR PROJECT FAIRHAVEN, MASSACHUSETTS AUGUST 23, 2019

Sheet JOB NUMBER 3119.01

FILE: 3119.01-DET-R

Required Recharge Volume-R1

Job Design Engineer: Atlantic Design Engineers, INC 3119.01 No.: **46 CHARITY STEVENS LANE** Calc'd Project Name: PMJ By:

SOLAR PROJECT

Location: Fairhaven, MA 9/24/2019 Date:

The groundwater recharge volume is required for the proposed **impervious** surfaces.

Rv = (F) (Aimp)Rv = Required Recharge Volume Aimp= Impervious Area on site

F = Target Depth Factor: 0.60 inch for A soils and 0.25" for C soils

Subcatchment Area: 1S

Total New Impervious Area for the Design Point= 1,100

> Required Recharge Volume (Rv)= 1,100 * 0.60" * (1/12)= 55.00 cf

Infiltration Trench (4' x 1' D x 35' Volume Provided in stormwater BMP= 56.00 cf

L) 40% Voids

Subcatchment Area: 2S

Total New Impervious Area for the Design Point= 1,100

> Required Recharge Volume (Rv)= 1,100 * 0.25" * (1/12)= 22.91 cf

Infiltration Trench (2' x 1' D x 30' Volume Provided in stormwater BMP= 24.00 cf

L) 40% Voids

Total Required Recharge Volume on Site= 55.00 cf Total Recharge Volume Provided in stormwater BMPs on Site= 56.00 cf

46 Charity Stevens Lane Solar Project

At

46 Charity Stevens Lane, Fairhaven, MA 02719 Post-Construction Long Term Stormwater Operation & Maintenance Plan Revised 9/24/19

A. GENERAL NOTES

- 1. The contractor shall be responsible for the proper inspection and maintenance of all stormwater and erosion control facilities until the project construction is completed. The contractor shall clean all components of the stormwater management system at the completion of construction, immediately prior to turning over operation and maintenance responsibility to the owner. Erosion control should be removed after the vegetation meets the established standards.
- **2.** Upon completion of construction, the operation and maintenance of all components of the stormwater management system will be the responsibility of the system owner:

Fairhaven MA 4, LLC c/o Clean Energy Collective, LLC 27B Midstate Drive, Suite 106 Auburn, MA 01501

Signature	Date

- 3. The owner/contractor shall file an inspection report with the Town of Fairhaven Conservation Commission following each site inspection as recommended in the Operation & Maintenance (O&M) Schedule. The inspection report shall identify the date of inspection, name, and contact number of responsible party, specific structures inspected, specific maintenance and/or repairs required and general observations. Any deficiencies noted in the inspection report shall be corrected to the Town of Fairhaven Conservation Commission's satisfaction.
- **4.** Disposal of accumulated sediment and hydrocarbons to be in accordance with the applicable local, state, and federal guidelines and regulations.

Long-Term Operation and Maintenance Plan 46 Charity Stevens Lane Solar Project Revised September 24, 2019 – Page 2

5.	. There shall be no illicit discharge of any waste or waste water into the stormwater				
	management system. The maintenance of the facility shall be undertaken in such a				
	manner as to prevent any discharge of waste or waste water into the stormwater				
	management system. Any waste oil or other waste products generated during the				
	maintenance shall be properly disposed of offsite.				
	Simulation MAAIIC Details				
	Signature – Fairhaven MA4, LLC Date				

B. STORMWATER SYSTEM/BMPs

Erosion Control Barriers:

Erosion control barriers (haybales, silt fence, etc.) should be inspected immediately after each run-off producing rainfall event and at least daily during prolonged rainfall. Sediment deposits must be removed when the level of deposition reaches approximately one-half the height of the barrier. Sediment shall be disposed of in a suitable area and protected from erosion by either structural or vegetative means. Erosion control should be removed after the vegetation meets the established standards.

Stone Trench:

Inspect after every major storm event (2" or greater) during construction. Once site is stabilized and re-vegetated, cut away/remove temporary cover fold and inspect and for the first few months after construction to ensure proper stabilization and function, thereafter inspect at least twice per year during wet weather to ensure the system is working properly. Remove sediment as necessary during construction and at least every five years after construction. Once construction is completed check for accumulation of sediment, debris and leaf litter at least twice a year thereafter.

Grassed Swale:

During construction grassed lined swales shall be inspected immediately after each run-off producing rainfall event and at least daily during prolonged rainfall. After construction, inspect at a minimum of twice a year, or after major storm events (2" or greater). Repair eroded spots immediately after inspection. Additional inspections should be scheduled during the first few months to ensure that the vegetation in the channels is established adequately. Accumulated sediment shall be removed at least once a year or before it exceeds 0.5' in depth, whichever occurs first. Swales shall be moved as needed. Clippings to be removed from swales, areas immediately upgradient and properly disposed of.

Vegetated Areas:

The state of vegetation within the project area will be inspected during normal maintenance visits a minimum of twice per year. Vegetated areas within the arrays will be mowed to maintain a grass height of approximately 12 inches. Use of a weed whacker is recommended underneath the panels and around the posts of the racking system. Woody seedlings may also be removed by hand. The inspector shall monitor the ground cover growth rate and areas of erosion or bare soil will be repaired immediately after inspection. The state of vegetation outside of the fenced in solar development area will be monitored to confirm that excessive growth which will result in shading of the solar panels has not occurred. If shading is visible, the area will be trimmed/cut as necessary. The use of herbicides, pesticides, fertilizers or chemicals for maintenance of vegetation throughout the array and outside the fence is prohibited.

C. ESTIMATED ANNUAL BUDGET

The estimated annual budget for the activities required in this Long-Term Stormwater Operation and Maintenance Plan is \$1,000.00.

D. SAMPLE OPERATION AND MAINTENANCE LOG

(Next Page)

SAMPLE OPERATION AND MAINTENANCE LOG

46 CHARITY STEVENS LANE SOLAR PROJECT FAIRHAVEN, MASSACHUSETTS

LONG TERM STORMWATER OPERATION & MAINTENANCE PLAN

Date:		
Inspectors Name:		
Inspectors Contact Information	:	
Signature:		
O&M ITEM:	COMMENTS, CORRECTIVE ACTION NEEDED	, AND NOTES:
Erosion Control Barriers		
Stone Trench		
Grassed Swales		
Vegetated Areas		
Other		
Other		
Other		